

# Preliminary Subdivision Application

## Planning and Development

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



**INSTRUCTIONS:** This form is used when submitting a Preliminary Subdivision (UDO Section 10.2.5). Please check the appropriate review type and include the plan checklist document. Please email all documents and your preliminary subdivision plans to [SiteReview@raleighnc.gov](mailto:SiteReview@raleighnc.gov).

DEVELOPMENT TYPE (UDO Section 2.1.2)			
<input checked="" type="radio"/> Conventional Subdivision	<input type="radio"/> Compact Development	<input type="radio"/> Conservation Development	<input type="radio"/> Cottage Court
NOTE: Subdivisions may require City Council approval if in a Metro Park Overlay or Historic Overlay District			
GENERAL INFORMATION			
Scoping/sketch plan case number(s):			
Development name (subject to approval):			
Property Address(es):			
Recorded Deed PIN(s):			
What is your project type?	<input type="checkbox"/> Single family <input type="checkbox"/> Apartment	<input type="checkbox"/> Townhouse <input type="checkbox"/> Non-residential	<input type="checkbox"/> Attached houses Other: _____

CURRENT PROPERTY OWNER/DEVELOPER INFORMATION	
<b>NOTE: Please attach purchase agreement when submitting this form</b>	
Company:	Owner/Developer Name and Title:
Address:	
Phone #:	Email:
APPLICANT INFORMATION	
Company:	Contact Name and Title:
	Address:
Phone #:	Email:

Continue to page 2 >>

DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)	
ZONING INFORMATION	
Gross site acreage:	
Zoning districts (if more than one, provide acreage of each):	
Overlay district:	Inside City limits?      Yes      No
Conditional Use District (CUD) Case # Z-	Board of Adjustment (BOA) Case # A-

STORMWATER INFORMATION	
Existing Impervious Surface: Acres: _____ Square Feet: _____	Proposed Impervious Surface: Acres: _____ Square Feet: _____
Neuse River Buffer      Yes      No	Wetlands      Yes      No
Is this a flood hazard area?      Yes      No	
If yes, please provide the following:	
Alluvial soils: _____	
Flood study: _____	
FEMA Map Panel #:	
NUMBER OF LOTS AND DENSITY	
Total # of townhouse lots:	Detached      Attached
Total # of single-family lots:	
Proposed density for each zoning district (UDO 1.5.2.F):	
Total # of open space and/or common area lots:	
Total # of requested lots:	

SIGNATURE BLOCK	
<p>The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.</p> <p>I, _____ will serve as the agent regarding this application, and will receive and respond to administrative comments, resubmit plans and applicable documentation, and will represent the property owner(s) in any public meeting regarding this application.</p> <p>I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.</p>	
Signature:	Date:
Printed Name:	
Signature:	Date:
Printed Name:	

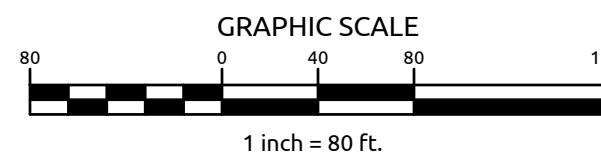
Please email your completed application to [SiteReview@raleighnc.gov](mailto:SiteReview@raleighnc.gov).



TOTAL: 9.12 AC

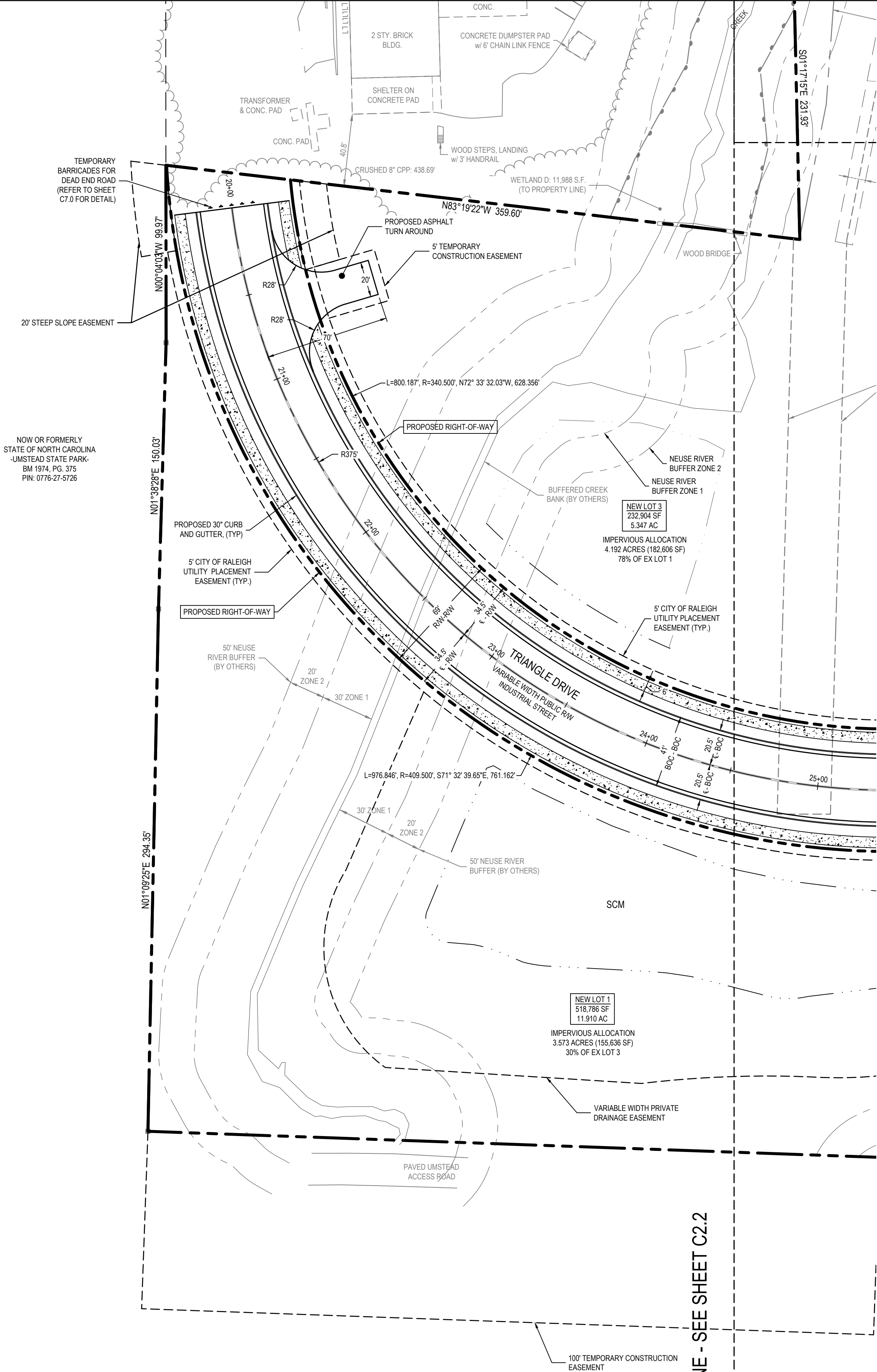


1. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND NCDDOT STANDARDS AND SPECIFICATIONS IF APPLICABLE.
2. THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY PERMIT FOR ANY WORK WHICH REQUIRES THE CLOSURE OF A TRAVEL LANE(S), PARKING SPACE, OR SIDEWALK FROM RIGHT-OF-WAY SERVICES AT LEAST 48 HOURS IN ADVANCE.
3. CONSTRUCTION PLANS FOR PUBLIC AND PRIVATE STREETS OR UTILITIES SHALL BE REVIEWED BY THE CITY OF RALEIGH. THE CITY OF RALEIGH, THE PUBLIC WORKS DEPARTMENT AND PUBLIC UTILITIES DEPARTMENT PRIOR TO ISSUANCE OF PERMITS OR RECORDINGS OF ANY PLAN FOR THIS DEVELOPMENT.
4. FIELD ADJUSTMENTS TO THIS PLAN MAY BE REQUIRED BY CITY OF RALEIGH INSPECTOR AS NEEDED DURING CONSTRUCTION.
5. ALL SURVEY INFORMATION PROVIDED TO WITHERSVALENCE, RALEIGH, NORTH CAROLINA BY THE CITY OF RALEIGH, SHALL BE IN ACCORDANCE WITH THE DIGITAL FORM 1A, MARCH 2015, AND SUPPLEMENTAL INFORMATION WAS OBTAINED FROM WAKE COUNTY GIS.
6. ALL PROPOSED CURB AND GUTTER WITHIN PUBLIC RIGHT OF WAY SHOWN ON PLANS TO BE 30" CITY OF RALEIGH STANDARD CONCRETE CURB AND GUTTER. AND ALL OTHER PROPOSED CURB AND GUTTER TO BE 24" CONCRETE CURB AND GUTTER UNLESS OTHERWISE STATED ON PLANS.
7. ALL DIMENSIONS SHOWN ARE TO FACE OF CURB, UNLESS OTHERWISE STATED ON PLANS.
8. WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN 2 FEET AND 8 FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN ANY CASE OR PART. OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO: SIGN, FENCE, TREE, TRUNK, BRANCH, OR PARKING VEHICLE.
9. UNLESS NOTED, ACCESS ROUTE FOR EMERGENCY VEHICLES SHALL PROVIDE AN INSIDE TURNING RADIUS OF 30 FEET.
10. TRASH AND CARBOARD DUMPSTERS(S) ENCLOSURE SHALL COMPATIBLE WITH MATERIAL, AND/OR COLOR OF THE PRINCIPAL BUILDING.
11. ALL HVAC UNITS SHALL BE SCREENED FROM VIEW OF THE PUBLIC RIGHT OF WAY.
12. CONTRACTOR TO FIELD LOCATE AND VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT PRIOR TO ANY CONSTRUCTION ACTIVITIES. CONTRACT NO ONE A11 FOR FIELD LOCATE AND VERIFY UTILITIES.
13. HANDICAP PARKING SPACE(S) AND VC ACCESSABLES, SHALL BE NO GREATER THAN TWO PERCENT (2%) PITCH IN ANY DIRECTION(S) AS PER ADA STANDARDS.
14. PROVIDE SIGNAGE AND STRIPING OF HANDICAP SPACES AS PER ADA STANDARDS.
15. ALL RETAINING WALLS GREATER THAN 30" IN HEIGHT TO INCLUDE SAFETY RAIL OR FENCE. NO RETAINING WALLS ARE PERMITTED IN THE RIGHT-OF-WAY UNLESS APPROVED BY ENCROACHMENT.
16. THE MINIMUM CURB CLEARANCE FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 50 FEET FROM THE POINT OF TANGENCY OF THE CURB FOR MIXED-USE COMMERCIAL DRIVEWAY. NO DRIVEWAYS SHALL ENCRACH ON THIS MINIMUM CURB CLEARANCE.
17. VC ACCESS RAMP(S) WILL BE PROVIDED IN ACCORDANCE WITH CITY OF RALEIGH PUBLIC WORKS DEPARTMENT STANDARDS, PROWAG STANDARDS AND ADAAG SPECIFICATIONS.
18. ALL RAMPS AND HANDRAILS SHALL CONFORM TO ANSI STANDARDS.
19. ALL ABOVE GROUND UTILITY DEVICES (TO INCLUDE BUT NOT LIMITED TO TELEPHONE, CABLE, FIBER, ELECTRICAL, TRANSFORMERS, BACKFLOW DEVICE, HOTBOX, ETC) SHALL BE SCREENED FROM OFF-SITE VIEW BY EVERGREENED SHRUBS, FENCE, OR WALL.
20. ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE VISUAL AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTE AND SIDEWALKS AND PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
21. IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO "CITY OF RALEIGH STREET DESIGN MANUAL" AND CONTACT PUBLIC WORKS DEPARTMENT FOR FURTHER GUIDANCE.
22. PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE CITY OF RALEIGH PUBLIC WORKS DEPARTMENT / TRANSPORTATION FIELD SERVICES STAFF TO REVIEW THE SPECIFIC ELEMENTS OF THE PLAN AND ANY OTHER REQUIREMENTS. THIS MEETING SHALL BE REQUIRED TO INCLUDE CONSTRUCTION ENGINEERING INSPECTIONS AT \$19,956.2499 TO SET UP THE MEETING.
23. THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.
24. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL BE RESPONSIBLE FOR THE PROVISIONS OF THE PROWAG (MOST CURRENT EDITION).
25. ANY TEMPORARY STREET CLOSURE MUST BE SUBMITTED A MINIMUM OF 2 WEEKS PRIOR TO THE START OF WORK. SET "RIGHT-OF-WAY SURVEYS" ON [WWW.RALEIGH.GOV](http://WWW.RALEIGH.GOV). COMPLETE AND SEND THE RIGHT-OF-WAY OBSTRUCTION PERMIT TO [RIGHTOFWAYSERVICES@raleigh.gov](mailto:RIGHTOFWAYSERVICES@raleigh.gov).
26. PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
27. ALL WALLS WITH HEIGHTS IN EXCESS OF 28" REQUIRE A SAFETY FENCE TO BE INSTALLED ON THE TOP OF THE WALL.
28. ALL HANDICAP RAMPS AND STAIRS REQUIRE A HANDRAIL TO BE INSTALLED ALONG THE LENGTH OF IT.
29. FIRE-SUDDO WASTE TRUCK ROUTE TO BE PAVED WITH HEAVY DUTY ASPHALT. HEAVY DUTY ASPHALT MUST BE CAPABLE OF SUPPORTING THE LOAD OF A FIRE APPARATUS WITH A MAX. WEIGHT OF 80,000 LBS. SHALL BE SURFACED TO PROTECT FROM OTHER DANGEROUS TRAFFIC. PER NCWOC 503.2.3. PAVEMENT DETAILS WILL BE PROVIDED ON SPR FPLANS.
30. ALL WORK WITHIN PUBLIC RIGHT-OF-WAY SHALL CONFORM WITH CITY OF RALEIGH AND NCDDOT STANDARD SPECIFICATIONS AND DETAILS.





U:\2025\0105\20250105 Triangle Drive Extension\CADD\drawing\tri\tri01.dwg, Thursday, August 21, 2025 7:48:17 PM, C:\WINDOWS\ASBBS

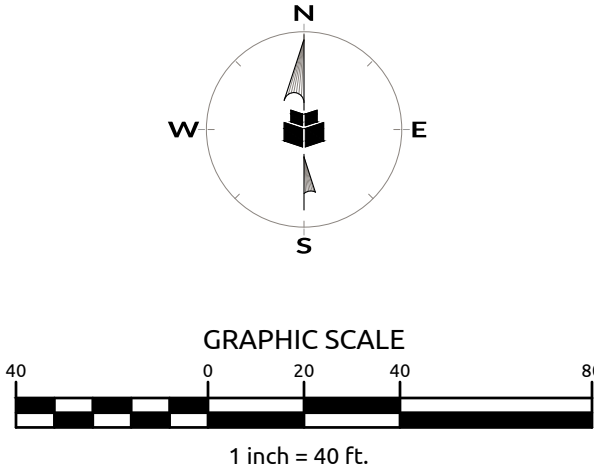


GENERAL SITE NOTES

- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS IF APPLICABLE.
- THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY PERMIT FOR ANY WORK WHICH REQUIRES THE CLOSURE OF A TRAVEL LANE(S), PARKING SPACE, OR SIDEWALK FROM RIGHT-OF-WAY SERVICES AT LEAST 48 HOURS IN ADVANCE.
- IF CONSTRUCTION PLANS FOR PUBLIC AND PRIVATE STREETS OR UTILITIES SHOWN ON THIS PLAN ARE REQUIRED, THEY MUST BE APPROVED BY THE PUBLIC WORKS DEPARTMENT AND PUBLIC UTILITIES DEPARTMENT PRIOR TO ISSUANCE OF PERMITS OR RECORDING OF ANY PLAT FOR THIS DEVELOPMENT.
- FIELD ADJUSTMENTS TO THIS PLAN MAY BE REQUIRED BY CITY OF RALEIGH INSPECTOR AS NEEDED DURING CONSTRUCTION.
- ALL SURVEY INFORMATION PROVIDED TO WITHERSRAVENEL, RALEIGH, NORTH CAROLINA OFFICE BY WITHERSRAVENEL, CARY, NORTH CAROLINA OFFICE IN DIGITAL FORMAT IN MARCH 2019, AND SUPPLEMENTAL INFORMATION WAS OBTAINED FROM WAKE COUNTY GIS.
- ALL PROPOSED CURB AND GUTTER WITHIN PUBLIC RIGHT OF WAY SHOWN ON PLANS TO BE 30" CITY OF RALEIGH STANDARD CONCRETE CURB AND GUTTER AND ALL OTHER PROPOSED CURB AND GUTTER TO BE 24" CONCRETE CURB AND GUTTER UNLESS OTHERWISE STATED ON PLANS.
- ALL DIMENSIONS SHOWN ARE TO FACE OF CURB, UNLESS OTHERWISE STATED ON PLANS.
- WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN 2 FEET AND 8 FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN WHOLE OR PART. OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO ANY BERM, FOLIAGE, FENCE, WALL, SIGN, OR PARKED VEHICLE.
- UNLESS NOTED, ACCESS ROUTE FOR EMERGENCY VEHICLES SHALL PROVIDE AN INSIDE TURNING RADIUS OF 28' MINIMUM.
- TRASH AND CARDBOARD DUMPSTER(S) ENCLOSURE SHALL COMPATIBLE WITH MATERIAL AND/OR COLOR OF THE PRINCIPAL BUILDING.
- ALL HVAC UNITS SHALL BE SCREENED FROM VIEW OF THE PUBLIC RIGHT OF WAY.
- CONTRACTOR TO FIELD LOCATE AND VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT PRIOR TO ANY CONSTRUCTION ACTIVITIES. CONTACT NO ONE AT 811 FOR FIELD LOCATION OF UNDERGROUND UTILITIES.
- HANDICAP PARKING SPACE(S) AND HC ACCESS AISLE(S) SHALL BE NO GREATER THAN TWO PERCENT (2%) PITCH IN ANY DIRECTION(S) AS PER ADA STANDARDS.
- PROVIDE SIGNAGE AND STRIPING OF HANDICAP SPACES AS PER ADA STANDARDS.
- ALL RETAINING WALLS GREATER THAN 30" IN HEIGHT TO INCLUDE SAFETY RAIL OR FENCE. NO RETAINING WALLS ARE PERMITTED IN THE RIGHT-OF-WAY UNLESS APPROVED BY ENCROACHMENT.
- THE MINIMUM CORNER CLEARANCE FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 50 FEET FROM THE POINT OF TANGENCY OF THE CURB FOR MIXED-USE/COMMERCIAL DRIVEWAY. NO DRIVEWAYS SHALL ENCROACH ON THIS MINIMUM CORNER CLEARANCE.
- WC ACCESS RAMPS WILL BE PROVIDED IN ACCORDANCE WITH CITY OF RALEIGH PUBLIC WORKS DEPARTMENT STANDARDS, PROWAG STANDARDS AND ADAAG SPECIFICATIONS.
- ALL RAMPS AND HANDRAILS SHALL BE CONFORM TO ANSI STANDARDS.
- ALL ABOVE GROUND UTILITY DEVICES (TO INCLUDE BUT NOT LIMITED TO TELEPHONE AND CABLE PEDESTALS, ELECTRICAL TRANSFORMERS, BACKFLOW DEVICE HOTBOX, ETC) SHALL BE SCREENED FROM OFF-SITE VIEW BY EVERGREEN SHRUBS, FENCE, OR WALL.
- ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PPOWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO "CITY OF RALEIGH STREET DESIGN MANUAL" AND CONTACT PUBLIC WORKS DEPARTMENT FOR FURTHER GUIDANCE.
- PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE CITY OF RALEIGH PUBLIC WORKS DEPARTMENT / TRANSPORTATION FIELD SERVICES STAFF TO REVIEW THE SPECIFIC COMPONENTS OF THE PLAN AND OPERATION OF THESE FACILITIES DURING CONSTRUCTION. CONTACT ENGINEERING INSPECTIONS AT 919.998.2409 TO SET UP THE MEETING.
- THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION).
- ANY TEMPORARY STREET CLOSURE MUST BE SUBMITTED A MINIMUM OF 2 WEEKS PRIOR TO THE START OF WORK. SEE "RIGHT-OF-WAY CLOSURES" ON WWW.RALEIGHNC.GOV. COMPLETE AND SEND THE RIGHT-OF-WAY OBSTRUCTION PERMIT TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV.
- PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
- ALL WALLS WITH HEIGHTS IN EXCESS OF 28" REQUIRE A SAFETY FENCE TO BE INSTALLED ALONG THE TOP OF WALL.
- ALL HANDICAP RAMPS AND STAIRS REQUIRE A HANDRAIL TO BE INSTALLED ALONG THE LENGTH OF IT.
- FIRE/SOLID WASTE TRUCK ROUTE TO BE PAVED WITH HEAVY DUTY ASPHALT. HEAVY DUTY ASPHALT MUST BE CAPABLE OF SUPPORTING THE LOAD OF A FIRE APPARATUS WITH A MIN. WEIGHT OF 80,000 LBS AND SHALL BE SURFACED TO PROVIDE ALL WEATHER DRIVING CAPABILITIES, PER NCFD 503.2.3. PAVEMENT DETAILS WILL BE PROVIDED ON SPR PLANS.
- ALL WORK WITHIN PUBLIC RIGHT-OF-WAY SHALL CONFORM WITH CITY OF RALEIGH AND NCDOT STANDARD SPECIFICATIONS AND DETAILS.

SITE PLAN LEGEND

- 1' CONTOUR INTERVAL
- 5' CONTOUR INTERVAL
- PROPERTY LINE
- ROADWAY CENTERLINE
- RIGHT OF WAY LIMITS
- EASEMENT LINE
- CURB & GUTTER
- EDGE OF PAVEMENT
- SIDEWALK
- SANITARY SEWER FACILITIES
- STORM SEWER FACILITIES
- WATERLINE
- FIRE HYDRANT ASSEMBLY
- FORCE MAIN
- STRUCTURES
- FENCING STRUCTURE



TRIANGLE DRIVE EXTENSION

RALEIGH, NC

SITE PLAN

Job No.	09200182	Drawn By	WR
Date	7/16/2021	Designer	WR

PRELIMINARY  
NOT APPROVED FOR  
CONSTRUCTION

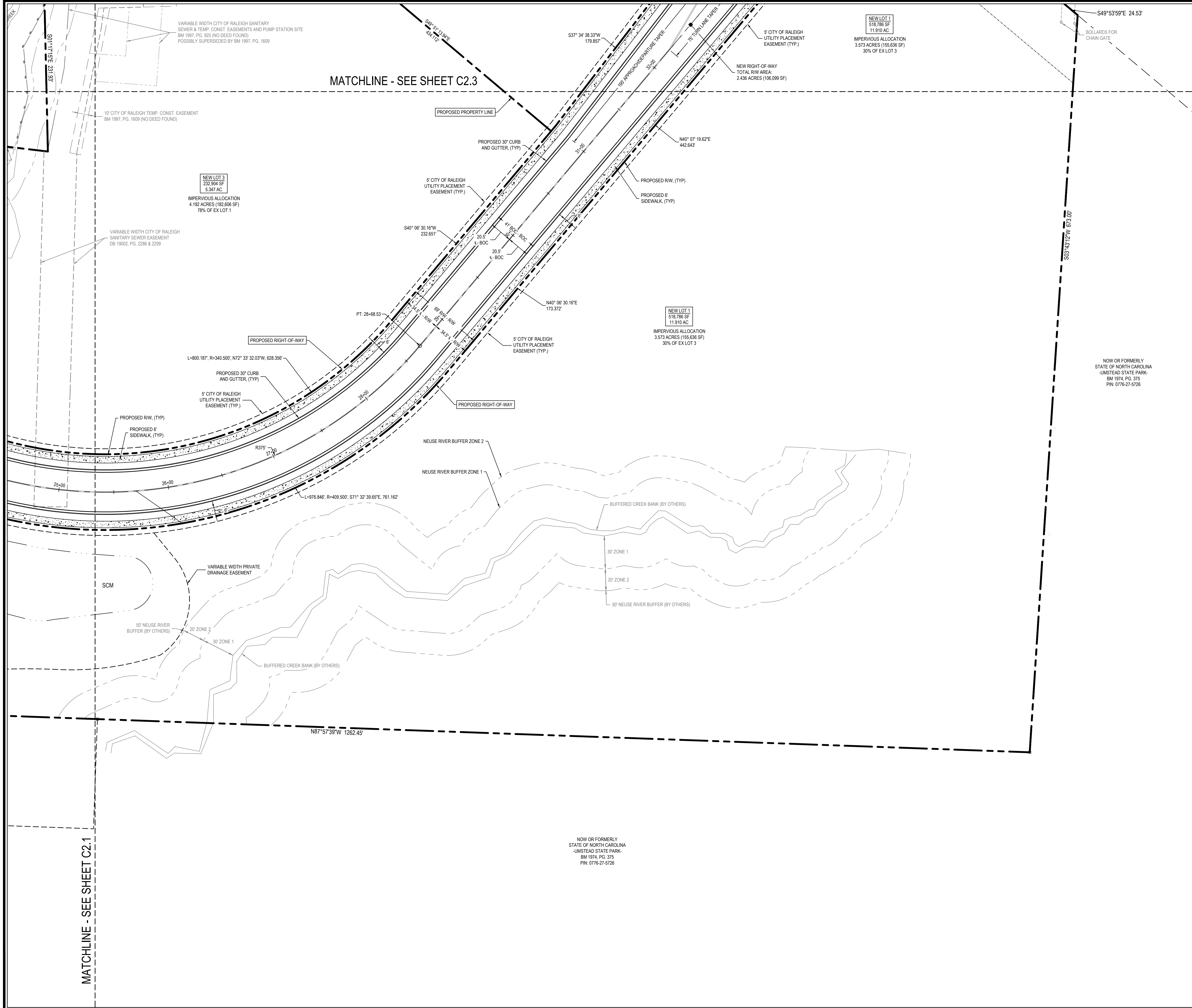
Revisions		
1	CITY OF RALEIGH COMMENTS	08/25/21
2	CITY OF RALEIGH COMMENTS	03/29/22
3	CITY OF RALEIGH COMMENTS	08/26/22

Sheet No.

C2.1



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**SITE PLAN LEGEND**

- 1' CONTOUR INTERVAL
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- STRUCTURES
- FENCING STRUCTURE

**GRAPHIC SCALE**

1 inch = 40 ft.

0 20 40 80

N  
W E  
S

**WithersRavenel**  
Engineers | Planners

**TRIANGLE DRIVE EXTENSION**

RALEIGH, NC

**SITE PLAN**

Job No. 09200182 Drawn By WR  
Date 7/16/2021 Designer WR

**PRELIMINARY**  
NOT APPROVED FOR  
CONSTRUCTION

Revisions

1	CITY OF RALEIGH COMMENTS	08/25/21
2	CITY OF RALEIGH COMMENTS	03/29/22
3	CITY OF RALEIGH COMMENTS	08/26/22

Sheet No.

**C2.2**



