



Administrative Approval Action

Case File / Name: SUB-0048-2021
DSLCL - Triangle Drive Road Extension

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: The site is generally located on the south side of Glenwood Avenue, east of Toyota Drive, with the common street addresses of 8901, 8919 and 8917 Glenwood Avenue.

REQUEST: Recombination and subdivision of approximately 23 acres included in the AOD and MPOD overlay districts and zoned IX-3-PK and IX-3 into three lots with the dedication of public street right-of-way for the extension of Triangle Drive through the property.

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated December 14, 2022 by WithersRavenel.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

Public Utilities

1. A Downstream Sewer Capacity Study in compliance with the City of Raleigh Public Utilities Department Handbook shall be submitted by the Project Engineer for review and approval.

Stormwater

2. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
3. A 100-year floodplain analysis shall be submitted and approved by the Engineering Services Department prior to the issuance of any grading or site permit (UDO 9.3).
4. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).
5. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).

Urban Forestry



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6. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.
7. Submit a final tree conservation plan that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required (UDO 9.1.5).

☒ **LEGAL DOCUMENTS** - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Right of Way Deed of Easement Required
<input checked="" type="checkbox"/>	Slope Easement Deed of Easement Required

<input checked="" type="checkbox"/>	Utility Placement Deed of Easement Required
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☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

Engineering

1. A fee-in-lieu for 600 linear feet of 6 ft sidewalk and curb and gutter is paid to the City of Raleigh (UDO 8.1.10).
2. A public street right-of-way deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
3. A 5' utility placement easement deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)



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4. A public infrastructure surety shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.
5. A slope easement (area to be determined at SPR Review) deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

Public Utilities

6. Infrastructure Construction Plans (concurrent submittal) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.

Stormwater

7. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).
8. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
9. The flood prone areas, as approved by the City Stormwater Engineer and shown on the preliminary plan, shall be shown on the recorded map (UDO 9.3.3.G).
10. The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office (UDO 9.2.2.G).
11. The maximum allocated impervious area for all applicable lots in the subdivision should be identified on all maps for recording. Lot 1 - Separate SWMP, Lot 2 - 2.53 ac, Lot 3 - 4.19 ac
12. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
13. The riparian buffers, in accordance with the preliminary plan and the State of North Carolina regulations, shall be shown on plats for recording along with required buffer statement (Recorded Map Checklist).

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14. A public infrastructure surety for 85 street trees shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.
15. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1). This development proposes 3.78 acres of tree conservation area.

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

Public Utilities

1. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

Stormwater

2. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
3. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
4. The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office (UDO 9.2.2.G).
5. Impervious restrictions for each lot must be recorded on a plat prior to building permit issuance. Lot 1 - Separate SWMP, Lot 2 - 2.53 ac, Lot 3 - 4.19 ac
6. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).

Urban Forestry

7. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 14 street trees along Glenwood Ave and 73 street trees along Triangle Drive.
8. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1).



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The following are required prior to issuance of building occupancy permit:

General

1. Final inspection of all tree conservation areas and right of way street trees by Urban Forestry Staff
2. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.

Stormwater

3. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

EXPIRATION DATES: If significant construction has not taken place on a project after preliminary subdivision approval, that approval may "sunset" and be declared void, requiring re-approval before permits may be issued. To avoid allowing this preliminary approval to "sunset", the following must take place by the following dates:

3-Year Sunset Date: February 8, 2026
Record at least ½ of the land area approved.

5-Year Sunset Date: February 8, 2028
Record entire subdivision.

I hereby certify this administrative decision.

Signed: *Daniel L. Stegall* **Date:** 02/08/2023
Development Services Dir/Designee
Staff Coordinator: Rachel Smith

8901, 8919 & 8917 GLENWOOD AVE., RALEIGH, NC

5TH SUBMITTAL: 12/14/2022



- [illegible]

1. THE APPARATUS ROAD SURFACE IS REQUIRED TO BE WITHIN 150 FEET (NFPA 138); NO SPRINKLING SYSTEM PROPOSED.
2. FIRE HYDRANT SHALL BE LOCATED WITHIN 300' AS MEASURED ALONG THE PATH OF APPARATUS ACCESS ROAD (NCFE 507.5.1).
3. FIRE FLOW ANALYSIS MUST BE PROVIDED AT TIME OF BUILDING PERMITS PER THE 2012 NCFE, SECTION 507.3.

1. THERE ARE NO SOLID WASTE SERVICES PROPOSED WITH THIS SITE.
2. THE DEVELOPER WILL COMPLY WITH ALL APPLICABLE REQUIREMENTS SET FORTH IN THE SOLID WASTE MANUAL

[illegible]



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919-238-0359

rcocconcelli@withersravenel.com



Sheet Number	Sheet Title
C0.0	COVER
C1.0	OVERALL EXISTING CONDITIONS
C1.1	EXISTING CONDITIONS AND DEMOLITION PLAN
C1.2	EXISTING CONDITIONS AND DEMOLITION PLAN
C1.3	EXISTING CONDITIONS AND DEMOLITION PLAN
C2.0	OVERALL SITE PLAN
C2.1	SITE PLAN
C2.2	SITE PLAN
C2.3	SITE PLAN
C3.0	GLENWOOD AVE IMPROVEMENTS
C4.0	OVERALL GRADING AND DRAINAGE
C4.1	GRADING AND DRAINAGE PLAN
C4.2	GRADING AND DRAINAGE PLAN
C4.3	GRADING AND DRAINAGE PLAN
C4.4	TRIANGLE DRIVE ROAD PROFILE
C5.0	OVERALL UTILITY PLAN
C5.1	UTILITY PLAN
C5.2	UTILITY PLAN
C5.3	UTILITY PLAN
C5.4	SANITARY PROFILES
C6.0	SCM 1 PLAN AND DETAILS
C7.0	SITE DETAILS
L1.0	TREE CONSERVATION PLAN
L2.0	OVERALL LANDSCAPE PLAN
L2.1	LANDSCAPE PLAN
L2.2	LANDSCAPE PLAN
L3.0	LANDSCAPE DETAILS
L4.0	LIGHTING PLAN

PARCEL NOS. : 0777-39-0029, 077739-0413, & 0777-29-749
(PREVIOUSLY 0777-39-2384, 0777-29-9505, & 0777-28-7975)

PARCEL REFERENCES: BM 2022 PG 1349;
DB 16337 PG179, TRACT A BM 1985 PG 159;
DB 16337 PG179, TRACT B BM 1985 PG 159;
DB 16333 PG985, BM 1980, PG 489

ZONING: IX-3-PK & IX-3

OVERLAY: AIRPORT OVERLAY DISTRICT (AOD); METROPARK OVERLAY DISTRICT (MPOD)

PROPERTY INFORMATION:

OWNER(S) NAME: ANDERSON TRIANGLE DR., LLC.; ANDERSON REAL ESTATE #4, LLC.

OWNER ADDRESS: 9101 GLENWOOD AVENUE, RALEIGH, NC 27617

ZONING: IX-3, AOD, MPOD

SITE ACREAGE: 22.87 AC

<u>IMPERVIOUS SURFACE AREA:</u>	2.50 AC (PRE DEVELOPMENT)
	1.73 AC (POST DEVELOPMENT)
<u>PERVIOUS SURFACE AREA:</u>	20.37 AC (PRE DEVELOPMENT)
	21.14 AC (POST DEVELOPMENT)

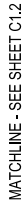
APPLICANT: WITHERSRAVENEL

CASE NUMBER: SUB-0048-2021

PARKING SPACES PROVIDED: N/A

<u>DISTURBED AREA:</u>	9.07 AC (ON-SITE DISTURBANCE)
	.05 AC OFF-SITE (DAM)
TOTAL:	9.12 AC

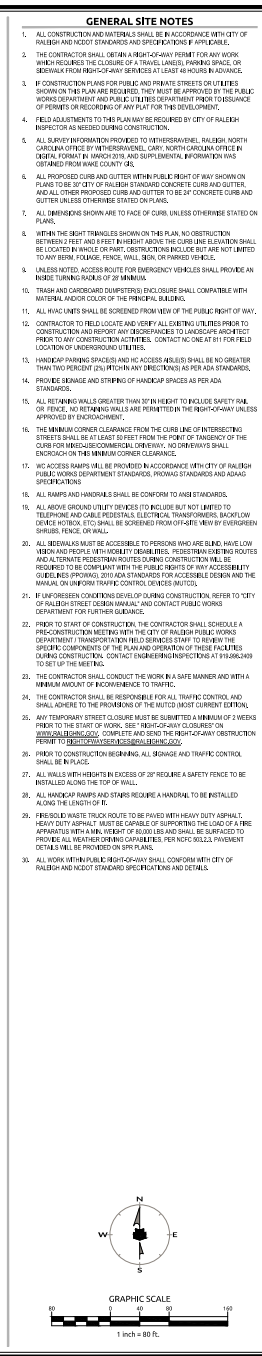


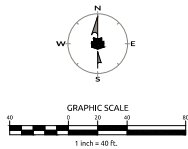


C1.1

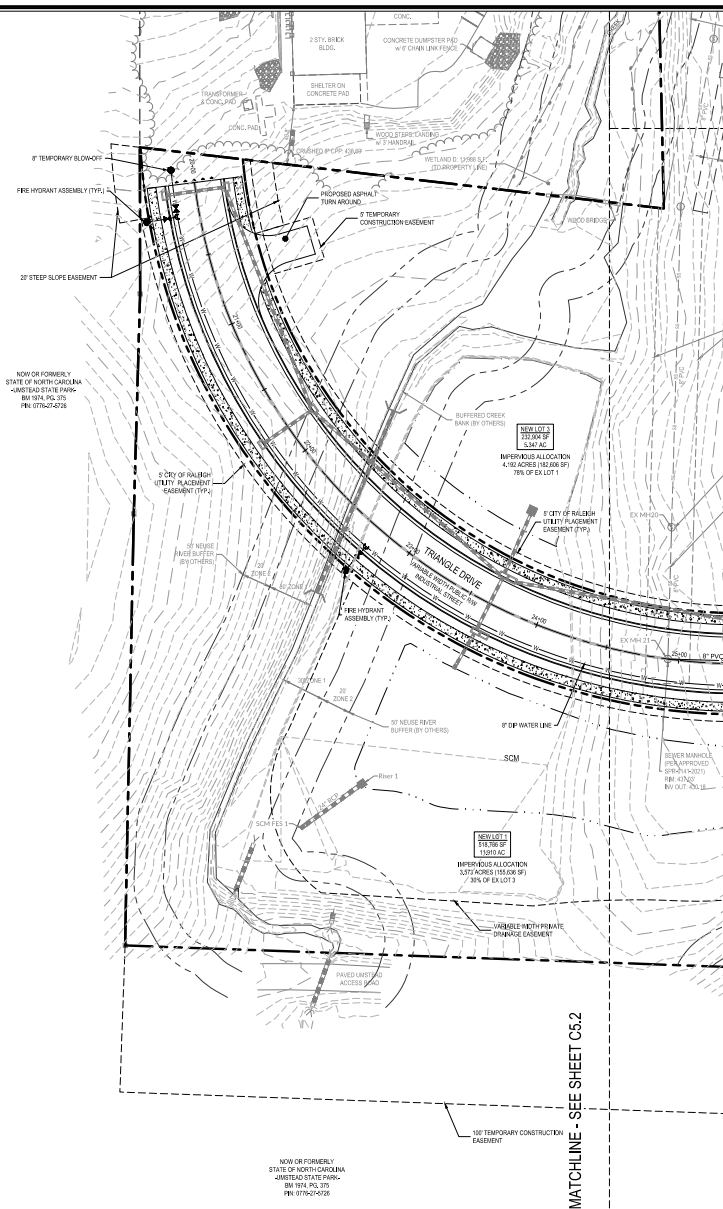


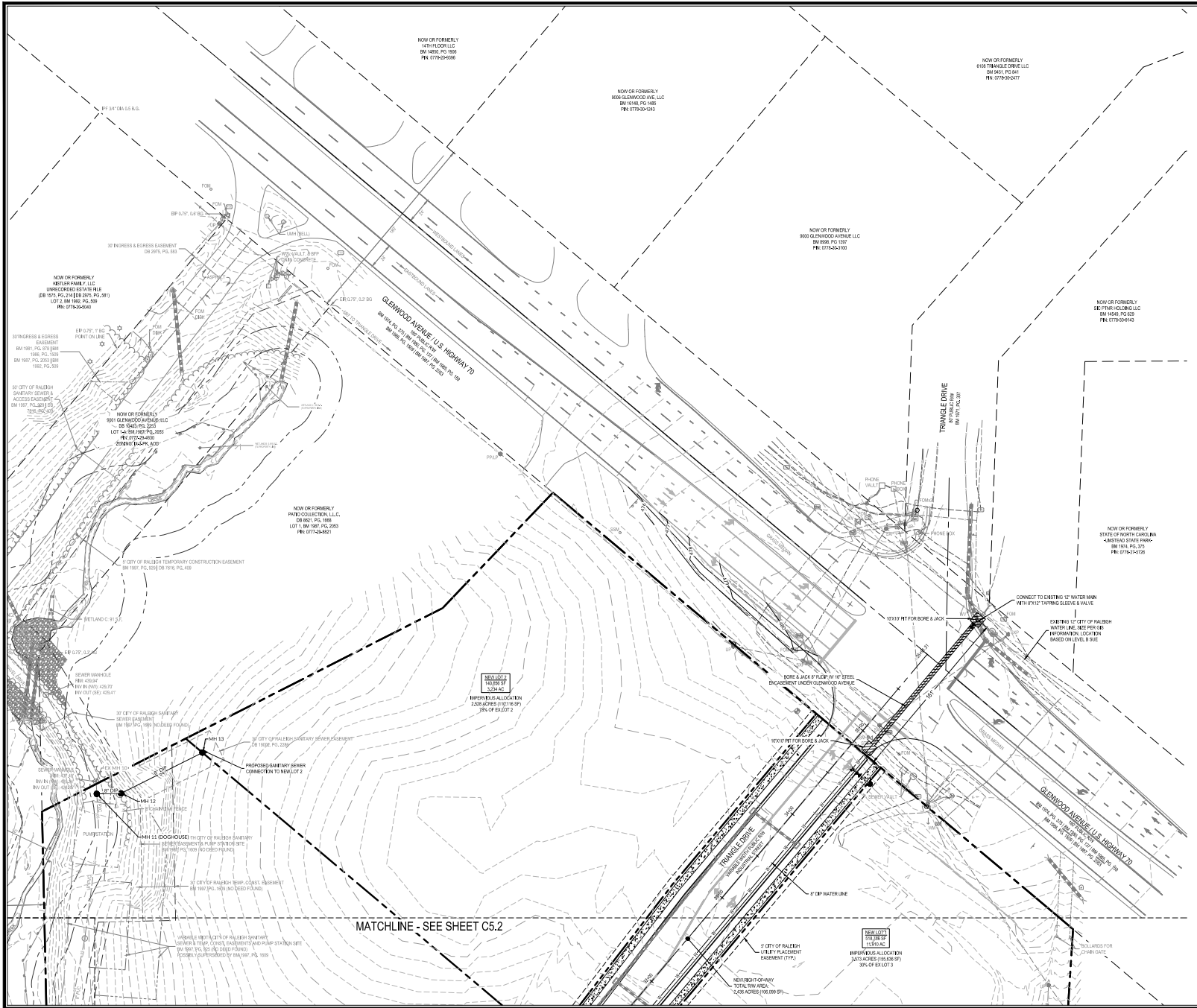
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C1.3





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UTILITIES LEGEND

- PROPOSED FIRE HYDRANT
- PROPOSED WATER LINE
- PROPOSED CLEAN OUT
- PROPOSED SANITARY SEWER STORM LUNARION BOX WITH MANHOLE COVER
- PROPOSED SANITARY SEWER LINE
- PROPOSED STORM CATCH BASIN
- PROPOSED STORM DROP INLET WITH GRATE
- PROPOSED STORM PIPE

GRAPHIC SCALE

1 INCH = 40 FEET

North Arrow

WithersRavenel
Engineers | Planners

337 S Wilmington Street | Suite 202 Raleigh, NC 27601 | 919.469.3340 | www.withersravenel.com

TRIANGLE DRIVE EXTENSION

RALEIGH, NC

UTILITY PLAN

Job No.	20200102	Drawn By	WVR
Date	7/16/2021	Revised By	WVR

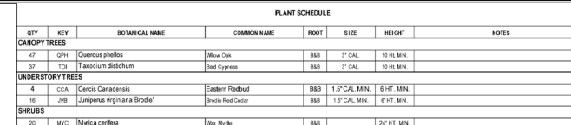
PRELIMINARY
NOT APPROVED FOR CONSTRUCTION

Revisions		
1	CITY OF RALEIGH COMMENTS	08/25/21
2	CITY OF RALEIGH COMMENTS	03/29/22
3	CITY OF RALEIGH COMMENTS	08/26/22
4	CITY OF RALEIGH COMMENTS	12/14/22






Sheet No.

C5.3

\\20200102\20210102\20210102.dwg Plot Date: 7/16/2021 Plot Time: 1:23:43 Plot User: WVR



LEGEND:

-  TOI - TAXODIUM DISTICHUM
-  OPH - QUERCUS PHELLOS
-  CCA - CERCIS CANADENSIS
-  JVS - JUNIPERUS VIRGINIANA 'SPREADER'
-  MYC - MYRICA CERIFERA

