


Preliminary Subdivision Application

Planning and Development

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



INSTRUCTIONS: This form is used when submitting a Preliminary Subdivision (UDO Section 10.2.5). Please check the appropriate review type and include the plan checklist document. Please email all documents and your preliminary subdivision plans to SiteReview@raleighnc.gov.

DEVELOPMENT TYPE (UDO Section 2.1.2)			
 Conventional Subdivision	Compact Development	Conservation Development	Cottage Court
NOTE: Subdivisions may require City Council approval if in a Metro Park Overlay or Historic Overlay District			
GENERAL INFORMATION			
Scoping/sketch plan case number(s):			
Development name (subject to approval):			
Property Address(es):			
Recorded Deed PIN(s):			
What is your project type?	Single family Apartment	Townhouse Non-residential	Attached houses Other: _____

CURRENT PROPERTY OWNER/DEVELOPER INFORMATION	
NOTE: Please attach purchase agreement when submitting this form	
Company:	Owner/Developer Name and Title:
Address:	
Phone #:	Email:
APPLICANT INFORMATION	
Company:	Contact Name and Title:
	Address:
Phone #:	Email:

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DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)	
ZONING INFORMATION	
Gross site acreage:	
Zoning districts (if more than one, provide acreage of each):	
Overlay district:	Inside City limits? Yes No
Conditional Use District (CUD) Case # Z-	Board of Adjustment (BOA) Case # A-

STORMWATER INFORMATION	
Existing Impervious Surface: Acres: _____ Square Feet: _____	Proposed Impervious Surface: Acres: _____ Square Feet: _____
Neuse River Buffer Yes No	Wetlands Yes No
Is this a flood hazard area? Yes No	
If yes, please provide the following:	
Alluvial soils: _____	
Flood study: _____	
FEMA Map Panel #:	
NUMBER OF LOTS AND DENSITY	
Total # of townhouse lots:	Detached Attached
Total # of single-family lots:	
Proposed density for each zoning district (UDO 1.5.2.F):	
Total # of open space and/or common area lots:	
Total # of requested lots:	

SIGNATURE BLOCK	
<p>The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.</p> <p>I, _____ will serve as the agent regarding this application, and will receive and respond to administrative comments, resubmit plans and applicable documentation, and will represent the property owner(s) in any public meeting regarding this application.</p> <p>I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.</p>	
Signature: <i>William Huyler</i>	Date:
Printed Name:	
Signature:	Date:
Printed Name:	

Please email your completed application to SiteReview@raleighnc.gov.

PROJECT STATISTICS
PROPERTY DEVELOPER: DAWN AMIN-ARSALAS

SITE INFORMATION	
PROJECT NAME	ARSALAS SUBDIVISION
EXISTING ZONE	R-6
EXISTING USE	2 UNIT DWELLING
PROPOSED ZONE	R-6
PROPOSED USE	2 LOT SUBDIVISION / TOWNHOUSE BUILDING TYPE
MAXIMUM OVERALL DENSITY	N/A
PROPOSED DENSITY	N/A
PINS	0795392652
SITE AREA	0.395 AC
EXISTING USE	SINGLE FAMILY RESIDENTIAL
PROPOSED USE	SINGLE FAMILY RESIDENTIAL
RIVER BASIN	NEUSE
WATERSHED	NEUSE
SPECIAL FLOOD HAZARD	NO

LOT INFORMATION FOR TOWNHOUSES	
PROPOSED NUMBER OF LOTS	2
MINIMUM LOT SIZE	8,411.46 SF 0.193 AC
MAXIMUM LOT SIZE	8,782.94 SF 0.202 AC
FRONT SETBACK	10'
SIDE SETBACK	10'
REAR SETBACK	20'

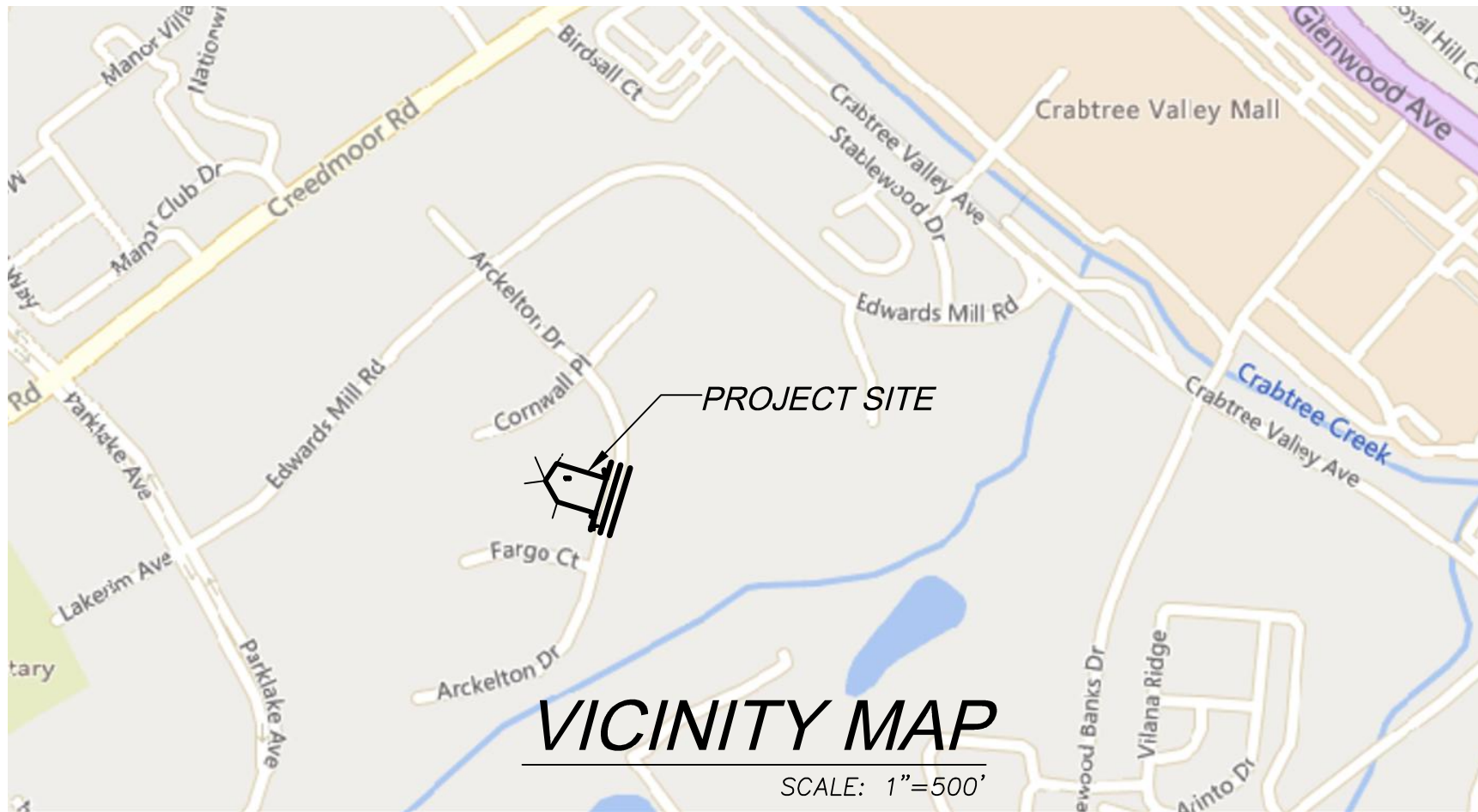
AREA CALCULATIONS	
EXISTING GROSS SITE AREA	0.395 AC
PROPOSED GROSS SITE AREA	0.395 AC

IMPERVIOUS AREA CALCULATIONS	
DUPLEX	2,405 SF
COVERED PORCHES/STEPS	214 SF
DECKS/STEPS	257 SF
CONCRETE DRIVEWAYS	1,425 SF
SIDEWALKS	111 SF
GRAVEL AREAS	1,050 SF
SHED ENCROACHMENT/AC UNITS	26 SF
TOTAL IMPERVIOUS AREA	5,488 SF
IMPERVIOUS PERCENTAGE	31.92%

* IMPERVIOUS AREA LIMIT FOR EACH LOT SHALL BE RECORDED ON PLAT

ARSALA SUBDIVISION

PRELIMINARY SUBDIVISION PLAN FOR ARSLALAS SUBDIVISION SUB-0048-2022 4105/4107 ARCKELTON DRIVE RALEIGH, NORTH CAROLINA



RECOMMENDATION FOR APPROVAL
BY THE CITY OF RALEIGH
PLANNING AND ZONING BOARD

DATE: _____

APPROVAL BY THE CITY OF RALEIGH
BOARD OF COMMISSIONERS

DATE: _____

SHEET INDEX PROPERTY DEVELOPER

SHEET #	TOWN OF WAKE FOREST
C-1	COVER SHEET
C-2	EXISTING CONDITIONS
C-3	PROPOSED SUBDIVISION/UTILITY PLAN
C-4	LANDSCAPE PLANS

GENERAL NOTES:

- BOUNDARY INFORMATION IS TAKEN FROM A SURVEY DONE BY CMP PROFESSIONAL LAND SURVEYORS.
- SITE TOPOGRAPHIC INFORMATION IS TAKEN FROM CMP PROFESSIONAL LAND SURVEYORS.
- ALL MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND NCDOT SPECIFICATIONS.
- THERE WILL BE NO CONSTRUCTION PRIOR TO CONSTRUCTION PLAN APPROVAL AND PERMIT ISSUANCE BY APPROPRIATE JURISDICTION.
- EXISTING UTILITIES SHOWN ARE APPROXIMATE AND ARE TO BE VERIFIED BY THE CONTRACTOR PRIOR TO EXCAVATION.
- AREA IN WATERSHED BASED ON WAKE COUNTY GIS DATA.
- THIS DOCUMENT IS BEING PROVIDED TO DEFINE THE MINIMUM COMPLIANCE WITH THE CITY OF RALEIGH PUD ZONING DISTRICT COMPLIANCE.

STORMWATER QUALITY:

PER UDO SECTION 9.2.2, STORMWATER QUALITY AND QUANTITY CALCULATIONS ARE EXEMPT FROM THIS PERMIT.

LANDSCAPING NOTE:

THERE IS NO LANDSCAPING PROPOSED. THIS PROJECT DOES NOT PROPOSE ANY BUILDING CONSTRUCTION ACTIVITIES.

DEVELOPER:

DAWN, SALHUDDIN AMIN-ARSALA
2512 GREENBROOK DR.
WENDELL, NC 27591

PLANS PREPARED BY :

CAROLINA LAND DESIGN, PLLC
300 S. MAIN STREET
HOLLY SPRINGS, NC 27540

CONTRACTORS SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE BEGINNING OF ANY EXCAVATION EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE NOT SHOWN.

NOTE: ALL CONSTRUCTION TO BE IN ACCORDANCE WITH CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

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DEVELOPMENT TYPE (UDO Section 2.1.2)			
<input checked="" type="checkbox"/> Conventional Subdivision	<input type="checkbox"/> Compact Development	<input type="checkbox"/> Conservation Development	<input type="checkbox"/> Cottage Court
NOTE: Subdivisions may require City Council approval if in a Metro Park Overlay or Historic Overlay District			
GENERAL INFORMATION			
Scoping/sketch plan case number(s): N/A			
Development name (subject to approval): Arsalas			
Property Address(es): 4105 Arckelton DR., Raleigh, NC 27602 4107 Arckelton DR., Raleigh, NC 27602			
Recorded Deed PIN(s): 0795392652			
What is your project type? <input type="checkbox"/> Single family <input type="checkbox"/> Apartment <input type="checkbox"/> Townhouse <input type="checkbox"/> Non-residential <input checked="" type="checkbox"/> Attached houses <input type="checkbox"/> Other: _____			

CURRENT PROPERTY OWNER/DEVELOPER INFORMATION	
NOTE: Please attach purchase agreement when submitting this form	
Company:	Owner/Developer Name and Title: DAWN MARIE AMIN-ARSALA
Address: 2512 GREENBROOK DR. WENDELL NC 27591-7410	
Phone #: 703 389 3321	Email: aminarsalas@aol.com
APPLICANT INFORMATION	
Company: Carolina Land Design, PLLC	Contact Name and Title: William Huyler, Civil Engineer
	Address: 300 S. Main Street, Holly Springs, NC 27540
Phone #: 760 791 2204	Email: will@carolinalanddesign.com

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DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)	
ZONING INFORMATION	
Gross site acreage: 0.395	
Zoning districts (If more than one, provide acreage of each): R-6	
Overlay district:	Inside City limits? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Conditional Use District (CUD) Case # Z-	Board of Adjustment (BOA) Case # A-

STORMWATER INFORMATION	
Existing Impervious Surface: Acres: 0.126 Square Feet: 5,488	Proposed Impervious Surface: Acres: 0.126 Square Feet: 5,488
Neuse River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Is this a flood hazard area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If yes, please provide the following: Alluvial soils: _____ Flood study: _____ FEMA Map Panel #: _____	
NUMBER OF LOTS AND DENSITY	
Total # of townhouse lots:	Detached Attached
Total # of single-family lots: 2	
Proposed density for each zoning district (UDO 1.5.2.F): Density = 0.1975 DU/AC	
Total # of open space and/or common area lots: 0	
Total # of requested lots: 2	

SIGNATURE BLOCK	
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I, <u>William Huyler</u> will serve as the agent regarding this application, and will receive and respond to administrative comments, resubmit plans and applicable documentation, and will represent the property owner(s) in any public meeting regarding this application.	
I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.	
Signature: <u>William Huyler</u>	Date: July 1st, 2022
Printed Name: William Huyler	
Signature: _____	Date: _____
Printed Name: _____	

Please email your completed application to SiteReview@raleighnc.gov.

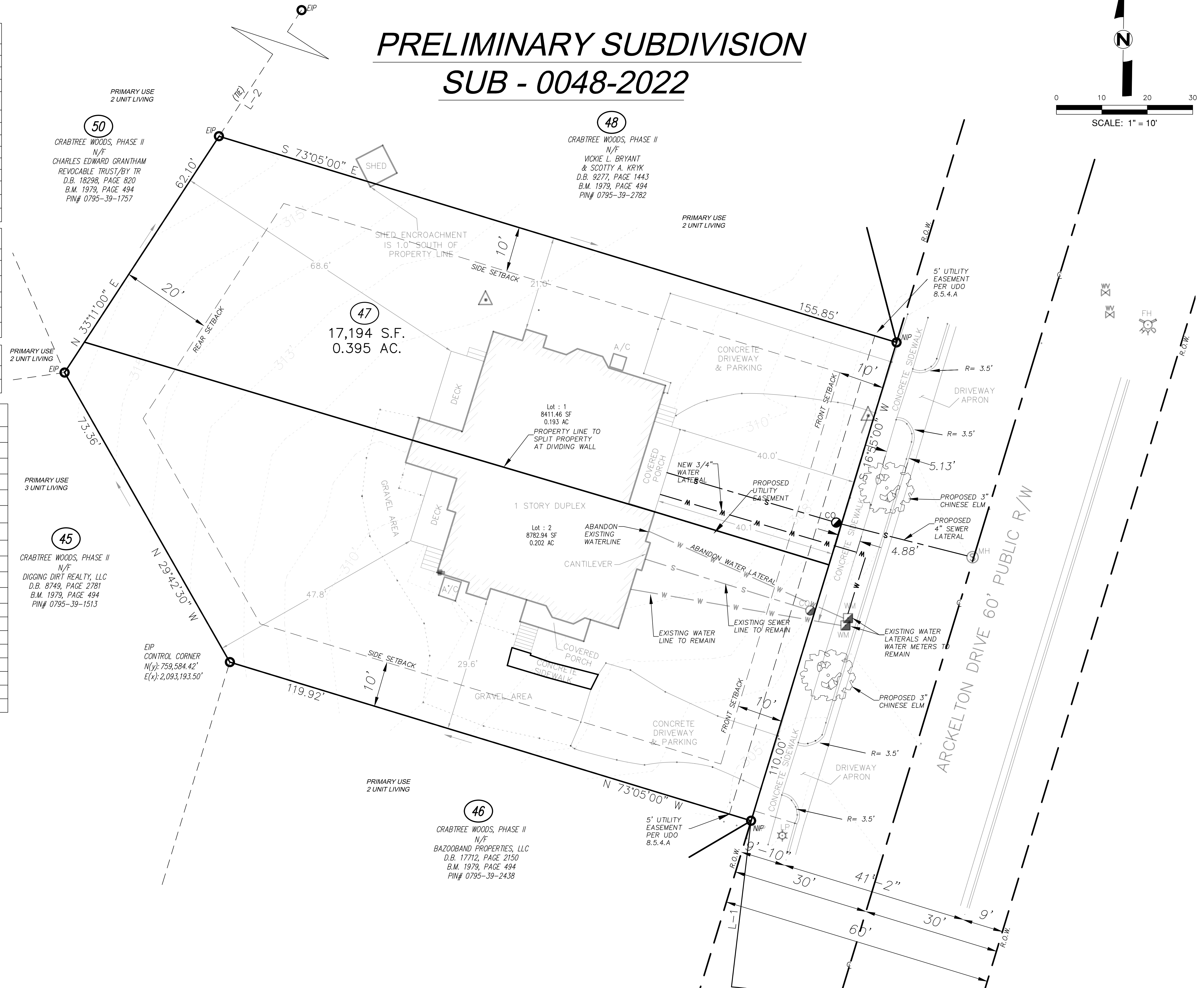
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PROJECT NAME	ARSALAS SUBDIVISION
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EXISTING USE	2 UNIT DWELLING
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EXISTING USE	SINGLE FAMILY RESIDENTIAL
PROPOSED USE	SINGLE FAMILY RESIDENTIAL
RIVER BASIN	NEUSE
WATERSHED	NEUSE
SPECIAL FLOOD HAZARD	NO


LOT INFORMATION FOR TOWNHOUSES	
PROPOSED NUMBER OF LOTS	2
MINIMUM LOT SIZE	8,411.46 SF 0.193 AC
MAXIMUM LOT SIZE	8,782.94 SF 0.202 AC
FRONT SETBACK	10'
SIDE SETBACK	10'
REAR SETBACK	20'

AREA CALCULATIONS	
EXISTING GROSS SITE AREA	0.395 AC
PROPOSED GROSS SITE AREA	0.395 AC

IMPERVIOUS AREA CALCULATIONS		
LOT 1		
	BUILDING ROOF	1180.00 SF
	CONCRETE DRIVEWAY	835 SF
	COVERED PORCH / STEPS	130 SF
	DECK / STEPS	130 SF
	SHED ENCROACHMENT/AC UNIT	26 SF
	TOTAL IMPERVIOUS AREA	2301 SF
	IMPERVIOUS PERCENTAGE	27.35%
	PERVIOUS AREA / PERCENTAGE	6110.46 SF / 72.65%
LOT 2		
	BUILDING ROOF	1225.00 SF
	CONCRETE DRIVEWAY	590 SF
	CONCRETE SIDEWALK	111 SF
	COVERED PORCH / STEPS	84 SF
	DECKS / STEPS	127 SF
	GRAVEL AREAS	1050 SF
	TOTAL IMPERVIOUS AREA	3204 SF
	IMPERVIOUS PERCENTAGE	36.48%
	PERVIOUS AREA / PERCENTAGE	5578.94 SF / 63.52%

**PRELIMINARY:
NOT FOR CONSTRUCTION**

[illegible]

 CAROLINA LAND DESIGN, PLLC
300 S. MAIN STREET STE. 212
HOLLY SPRINGS NC 27540
(760) 791-2204

SHEET NO.	SHEET TITLE	DATE	SCALE:	DRAWN:	CHECKED:	WHI:
3	SITE LAYOUT	1/19/22	1" = 40'	WHI	WHI	WHI