



Administrative Approval Action

Case File / Name: SUB-0049-2021
DSL - AMERICAN PLUMBING

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located on the south side of Jones Sausage Road, west of Auburn Church Road at 3716 & 3800 Auburn Church Road.

REQUEST: Development of a split zoned, 8.93 acre/389,052 sf tract, IX-3-CU & IX-3; with 4,884 sf of right-of-way dedication leaving a net site area of 8.82 acres/384,168 sf. A proposed subdivision development of 3 lots, proposed New Lots 1, 2 & 3 as shown. Proposed Lots 1 & 3 will remain vacant, 2.2 acres/95,664 sf (Lot 1) and 3.99 acres/173,800 sf (Lot 3). Proposed New Lot 2 will keep the existing structure, with new lot improvements, and have a new lot area of 2.63 acres/114,704 sf & proposed amenity as shown with ADA accessibility.

Z-10-88 Jones Sausage Road: Effective 3/1/88 - Use restrictions & rezoning to IND-1.

DESIGN ADJUSTMENT(S)/ ALTERNATES, ETC: N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated June 30, 2022 by Swift Partners PLLC.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

SITE PERMITTING REVIEW - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

Engineering

1. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to Development Services – Development Engineering prior to concurrent review approval.

Public Utilities

2. A deed shall be recorded prior to concurrent approval for all necessary offsite City of Raleigh Sanitary Sewer Easements to accommodate future sewer line construction.

Stormwater

3. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).



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Urban Forestry

4. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.
5. Submit a final tree conservation plan that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required (UDO 9.1.5).

LEGAL DOCUMENTS - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Cross Access Agreements Required
<input checked="" type="checkbox"/>	Slope Easement Deed of Easement Required

<input checked="" type="checkbox"/>	Utility Placement Deed of Easement Required
<input checked="" type="checkbox"/>	Right of Way Deed of Easement Required

RECORDED MAP(S) - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

General

1. A recombination shall be recorded prior to or in conjunction with the preliminary subdivision plan SUB-0049-2020 for lots 1-3.
2. A demolition permit shall be issued and this building permit number shown on all maps for recording.
3. To be determined prior to SPR Approval: An encroachment agreement between Owner, City & NCDOT stipulating that NCDOT & City will not be held responsible for future impacts to existing parking along building frontage when Auburn Church Road widens.

Engineering

4. A public infrastructure surety for 16 street trees is provided to the City of Raleigh Development Services – Development Engineering program (UDO 8.1.3).
5. A cross access agreement among the lots identified as Lot 1 and Lot 2 shall be approved by the Development Services Department for recording in the Wake County Registry, and a copy of the recorded offer of cross access easement shall be returned to the Development Services Department within one day of plat recordation. If a recorded copy of the document is not provided within this time, further recordings and building permit issuance will be withheld.



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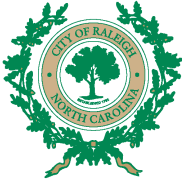
6. A slope easement deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
7. A fee-in-lieu is paid to the City of Raleigh (UDO 8.1.10).
8. A 5' utility placement easement deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
9. A public street right-of-way deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
10. A fee-in-lieu for road widening along 867 LF frontage is paid to the City of Raleigh (UDO 8.1.10).

Public Utilities

11. Infrastructure Construction Plans (concurrent submittal) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.
12. A Petition for Annexation into the City limits shall be submitted in accordance with City Council policy for extension of utility service to properties currently outside of the City limits. This voluntary annexation in no way obligates the City to extend utility services to the property.

Stormwater

13. The riparian buffers, in accordance with the preliminary plan and the State of North Carolina regulations, shall be shown on plats for recording along with required buffer statement (Recorded Map Checklist).



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14. The existing impervious allocation to all applicable lots in the subdivision should be identified on all maps for recording.
15. The flood prone areas, as approved by the City Stormwater Engineer and shown on the preliminary plan, shall be shown on the recorded map (UDO 9.3.3.G).

Urban Forestry

16. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1). This development proposes .888 acres of tree conservation area.

BUILDING PERMITS - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

General

1. A demolition permit shall be obtained.
2. Comply with all conditions of Z-10-88
3. A copy of the petition of annexation shall be transposed and submitted with the building permit plans and prior to any permit approval.

Public Utilities

4. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

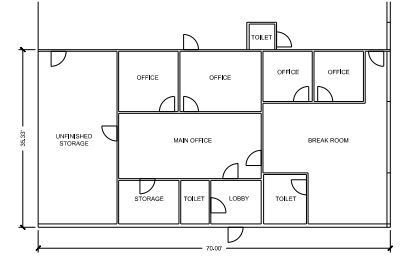
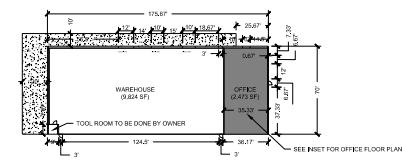
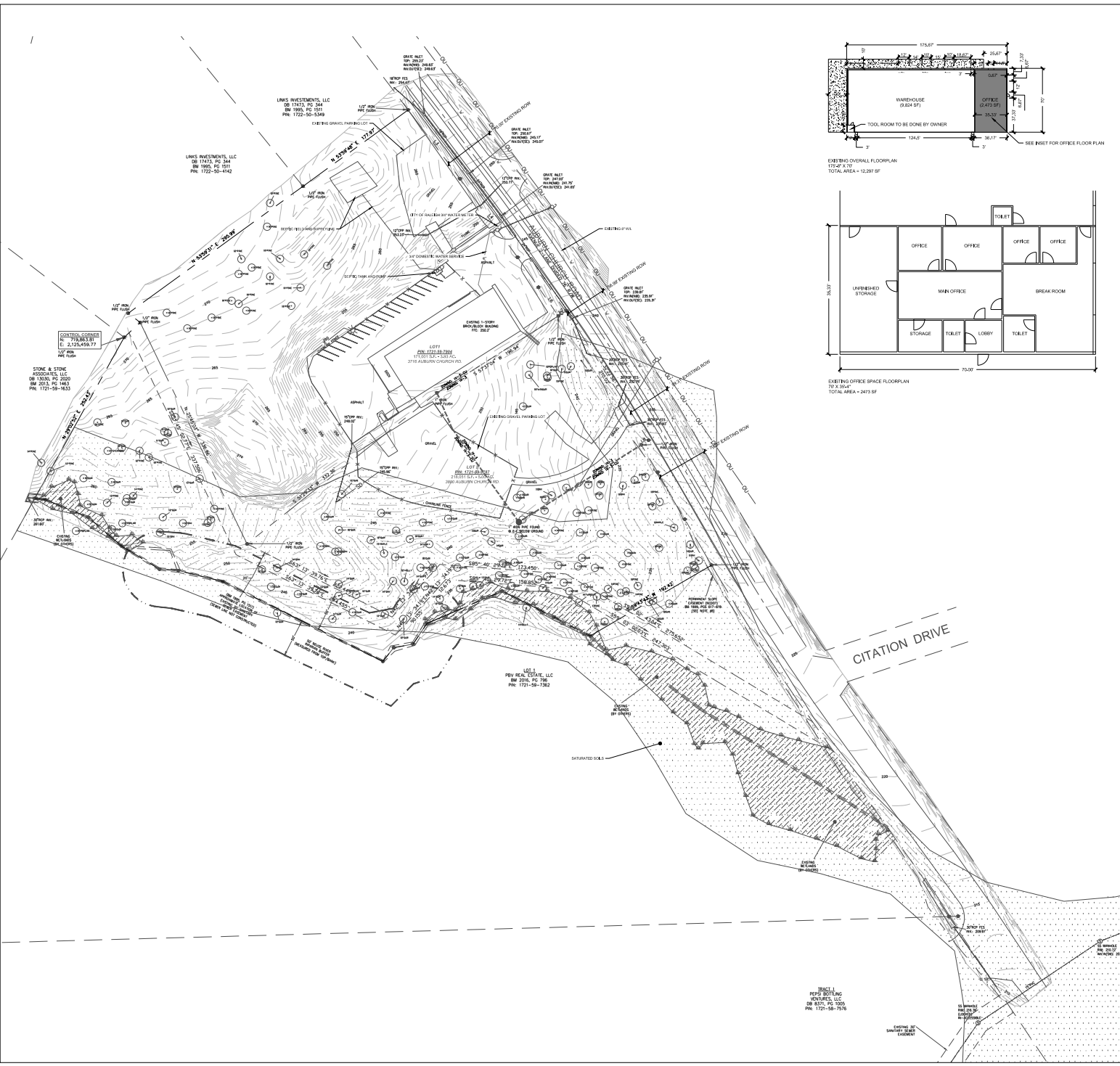
Urban Forestry

5. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 16 street trees along Auburn Church Road.
6. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1).

The following are required prior to issuance of building occupancy permit:

General

1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.



LINE	LENGTH	BEARING
L1	35.04	N. 47°02'28" E
L2	20.75	N. 57°28'17" W
L3	117.94	S. 36°59'33" E
L4	133.66	S. 57°00'07" E
L5	50.02	S. 34°42'33" E
L6	47.73	S. 34°45'00" E
L7	13.06	N. 57°27'04" E
L8	11.68	S. 57°43'17" W
L9	43.91	S. 30°36'43" E
L10	74.09	S. 30°01'45" E
L11	72.82	S. 30°16'17" E
L12	56.35	N. 62°22'56" W
L13	79.25	N. 62°22'54" W
L14	111.94	N. 30°36'43" E
L15	34.21	S. 34°05'59" W
L16	26.75	S. 27°27'27" W
L17	23.94	S. 38°44'34" W
L18	245.24	N. 62°22'57" W
L19	62.55	N. 30°16'17" E
L20	25.90	N. 80°32'06" W
L21	60.29	N. 58°43'48" W
L22	60.66	N. 49°17'33" W
L23	63.56	N. 87°33'41" W
L24	14.95	N. 82°17'22" W

LEGEND and NOMENCLATURE

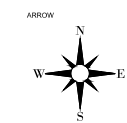
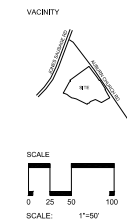
SYMBOLS	DEFINITIONS
Circle with dot	Iron pin/spot or nail
Circle with cross	Cross mark
Circle with 'X'	Concrete monument
Circle with 'M'	Mark
Circle with 'C'	Chain corner
Circle with 'E'	Electric pole/line
Circle with 'F'	Fire hydrant
Circle with 'W'	Water valve
Circle with 'P'	Pipe
Circle with 'S'	Storm drain
Circle with 'T'	Toilet
Circle with 'L'	Lobby
Circle with 'B'	Break room
Circle with 'ST'	Storage
Circle with 'TO'	Toilet
Circle with 'LO'	Lobby
Circle with 'BR'	Break room
Circle with 'STG'	Storage
Circle with 'TOL'	Toilet
Circle with 'LOB'	Lobby
Circle with 'BRK'	Break room
Circle with 'STO'	Storage

- EXISTING CONDITION NOTES:**
1. THIS SURVEY MAP IS INTENDED TO REPRESENT THE EXISTING CONDITIONS OF THE PROPERTY AND ALL DIMENSIONS SHOWN ON THE PROPERTY MAY NOT BE IDENTICAL.
 2. HORIZONTAL DATUM IS NAD 83(11) AND VERTICAL DATUM IS NAVD83.
 3. THIS DRAWING DOES NOT CONFORM TO N.C. 88A-20 AND THEREFORE IS NOT FOR RECORDING.
 4. SURVEY INFORMATION BASED ON FIELD SURVEY BY NEACONS CONSULTING ENGINEERS.
 5. TREES SHOWN HEREON MAY NOT REPRESENT ALL VEGETATION ON THE SUBJECT PROPERTY.



PRELIMINARY - DO NOT USE FOR CONSTRUCTION

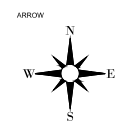
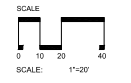
NO.	DATE	DESCRIPTION
1		ISSUED FOR PERMITS
2		ISSUED FOR RECORDING
3		ISSUED FOR RECORDING
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5		ISSUED FOR RECORDING
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PRELIMINARY - DO NOT USE FOR CONSTRUCTION

No.	Date	Description
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19		ISSUED FOR PERMITS
20		ISSUED FOR PERMITS

VACUITY



TREE CONSERVATION PLAN
DATE: 08/20/2020
DRAWN BY: JPL
PROJECT: AMERICAN PLUMBING
PROJECT # C310

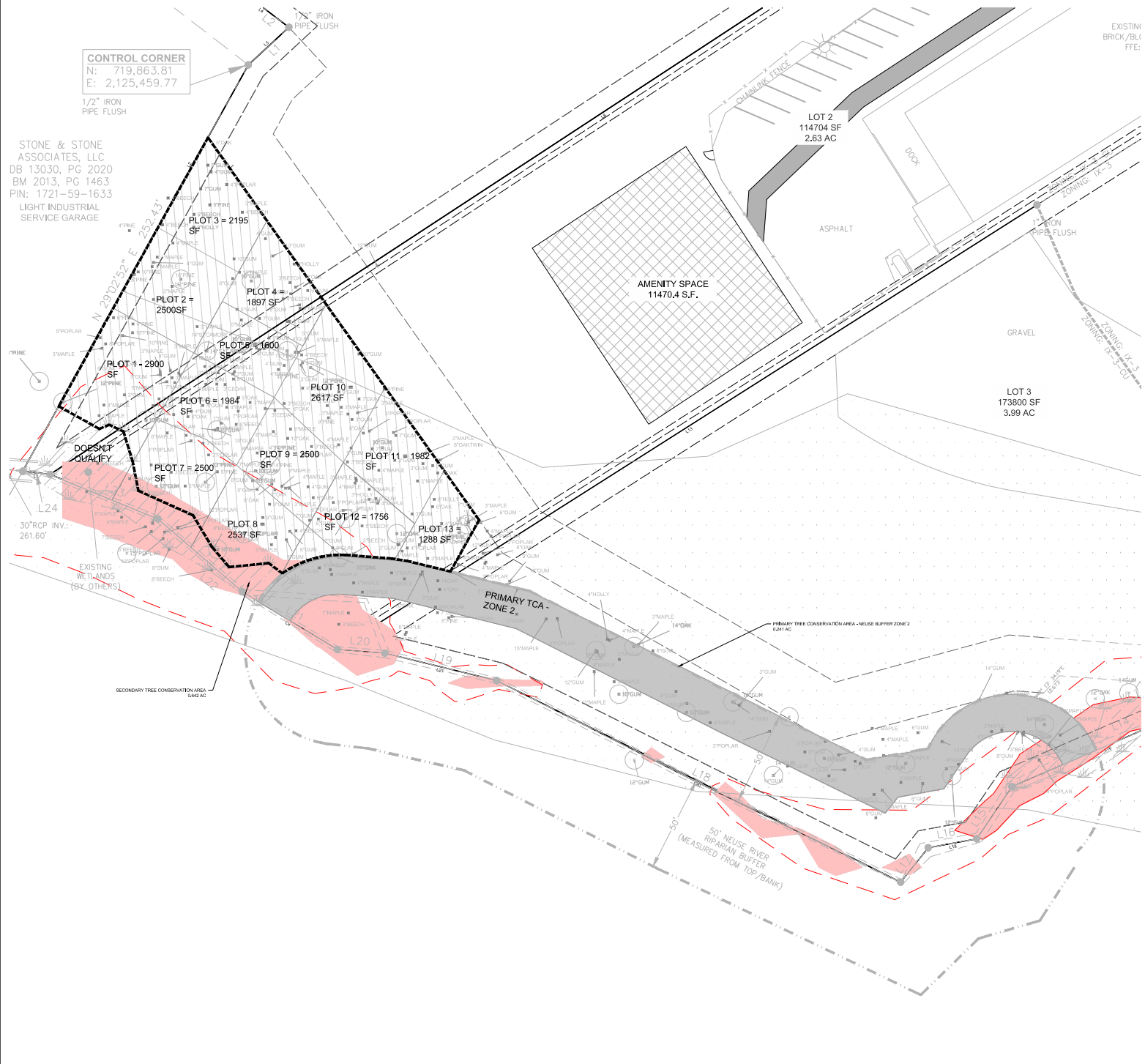
SHEET NO. **C310**

- SITE LEGEND:**
- EXISTING BRICK/BLK FFE:
 - PROPOSED BUILDING
 - PROPOSED CONCRETE SIDEWALK
 - PROPOSED BRICK SIDEWALK
 - PROPOSED HEAVY DUTY PAVEMENT
 - PROPOSED CONCRETE PAVERS
 - PROPOSED GRAVEL
 - PROPOSED CURB & GUTTER
 - PROPOSED STOP BAR
 - PROPOSED CROSSWALK
 - PROPOSED 6" WIDE STANDARD CROSSWALK
 - PROPOSED 17" WIDE HIGH VISIBILITY CROSSWALK
 - PROPOSED SIGN
 - PROPOSED ADA PARKING SPACE
 - PROPOSED KEYSTONE WALL
 - PROPOSED CIP WALL
 - PROPOSED WHEEL STOP
 - PROPOSED GRAVEL TRAIL
 - PROPOSED ASPHALT TRAIL
 - PROPOSED TREE LINE
 - PROPOSED FENCE
 - PROPOSED VEHICLE GATE (X WIDE)
 - PROPOSED LIGHT
 - PROPOSED WIRE RACK
 - PROPOSED BENCH
 - PROPOSED BOLLARD
 - PROPOSED PEDESTRIAN STEEL PLATE
 - LIMITS OF DISTURBANCE

The Conservation Plan Date Sheet
200 sheets (1 per Description)
Submit separate sheets for each description

Project Name	Project No.	Sheet No.	Total Sheets
AMERICAN PLUMBING	1000	1	200

NO.	DESCRIPTION	DATE	BY	CHKD BY
1	ISSUED FOR PERMITS			
2	ISSUED FOR PERMITS			
3	ISSUED FOR PERMITS			
4	ISSUED FOR PERMITS			
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18	ISSUED FOR PERMITS			
19	ISSUED FOR PERMITS			
20	ISSUED FOR PERMITS			





PRELIMINARY - DO NOT USE FOR CONSTRUCTION

No.	Date	Description
1	12/15/20	ISSUE FOR PERMITTING
2	12/15/20	ISSUE FOR PERMITTING
3	12/15/20	ISSUE FOR PERMITTING
4	12/15/20	ISSUE FOR PERMITTING
5	12/15/20	ISSUE FOR PERMITTING
6	12/15/20	ISSUE FOR PERMITTING
7	12/15/20	ISSUE FOR PERMITTING
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15	12/15/20	ISSUE FOR PERMITTING
16	12/15/20	ISSUE FOR PERMITTING
17	12/15/20	ISSUE FOR PERMITTING
18	12/15/20	ISSUE FOR PERMITTING
19	12/15/20	ISSUE FOR PERMITTING
20	12/15/20	ISSUE FOR PERMITTING

VACUITY



ARROW



DATE: 06/01/2022
DRAWN BY: JTT
PROJECT: C600

SHEET 11/11
UTILITY PLAN

DATE: 06/01/2022
DRAWN BY: JTT
PROJECT: C600

SHEET NO.
C600

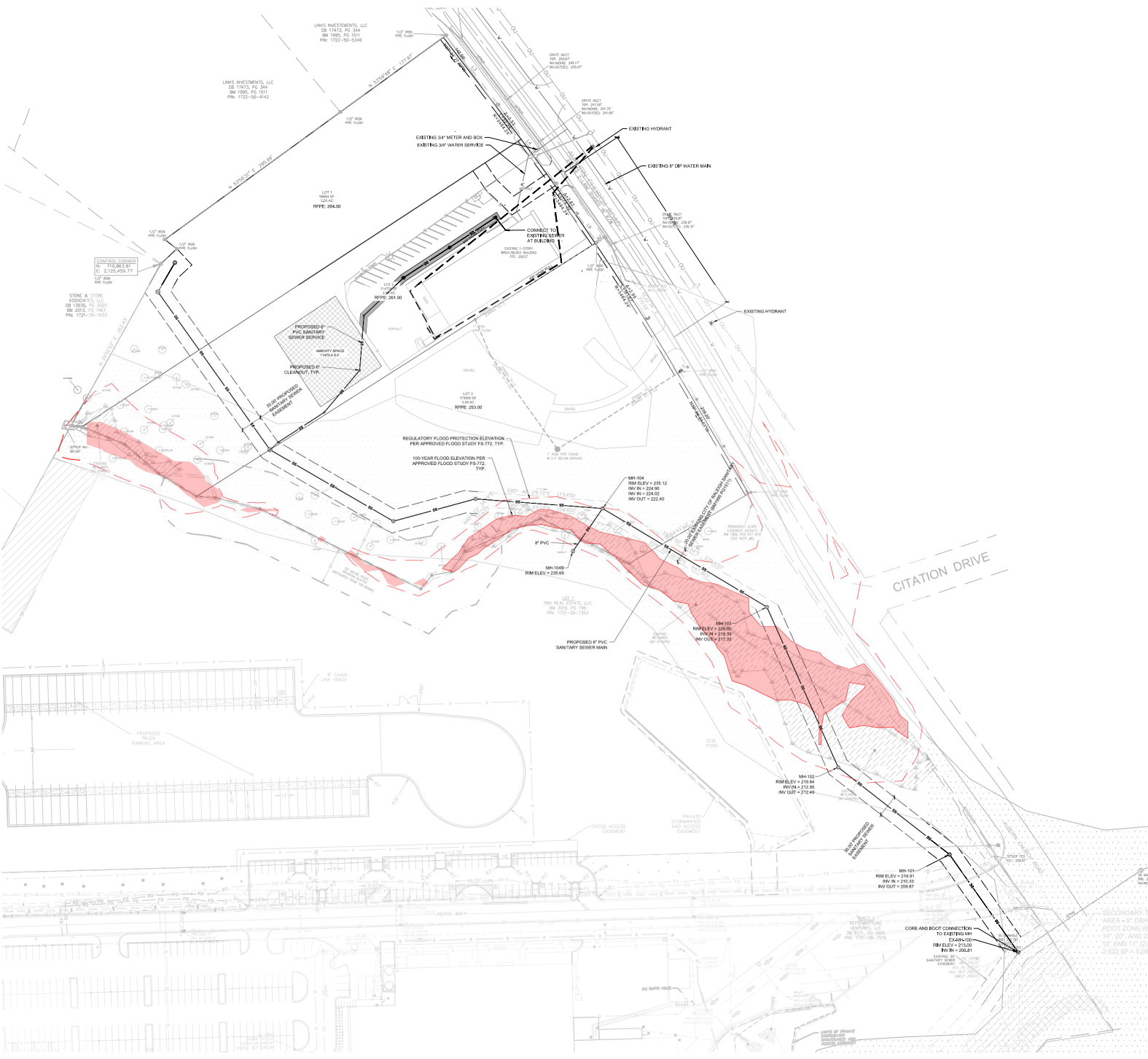
- UTILITY LEGEND:**
- SYMBOL DESCRIPTION
 - EXISTING WATER LINE
 - EXISTING SANITARY SEWER LINE
 - PROPOSED SANITARY SEWER LINE
 - EXISTING SANITARY SEWER MANHOLE
 - PROPOSED SANITARY SEWER MANHOLE
 - PROPOSED CLEANOUT
 - LIMITS OF OBTURBANCE

C.O.R. STANDARD UTILITY NOTES:

1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF BALBOA DESIGN STANDARDS. DETAILS & SPECIFICATIONS REFERENCE CORP/CHANDROO CURRENT EDITION.
2. UTILITY SEPARATION REQUIREMENTS:
 - 2.1. A DISTANCE OF 30" SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY OTHER PUBLIC UTILITY SERVICES SUCH AS AIR CONDITIONERS, REFRIGERATORS, OR OTHER MECHANICAL EQUIPMENT. IF ADEQUATE LATERAL SEPARATION CANNOT BE MAINTAINED, PROTECT SANITARY SEWER BY SPECIFYING & INSTALLING TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 5' FROM AN APPROPRIATE WELL OR 50' FROM A PUBLIC WELL.
 - 2.2. WHEN INSTALLING WATER & OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 12" IF THIS SEPARATION CANNOT BE MAINTAINED. IF EXISTING UTILITIES ARE BEING MAINTAINED, THE WATER MAIN & SEWER MAINS SHALL BE INSTALLED IN SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER MAIN. THIS SEPARATION SHALL BE MAINTAINED UNLESS OTHERWISE SPECIFIED. ALL DISTANCES ARE MEASURED FROM OUTSIDE GRADE TO THE CENTERLINE.
 - 2.3. WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, OR MATERIALS OR STEEL ENCLOSURE EXTENDED TO ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - 2.4. 50' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS OTHERWISE SPECIFIED FOR SANITARY SEWER.
 - 2.5. MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & STORM DRAIN CROSSINGS. MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATION CANNOT BE ACHIEVED, SPECIFY OF MATERIALS & A CONCRETE GRADE HAVING A MIN. CLEARANCE PER CORP/CHANDROO (PART 8 & 9.04).
 - 2.6. ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
3. ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN APPLICABLE PLAN OR PROBLE BY THE CITY OF BALBOA PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
4. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO ALL UTILITIES EXCEPT AS INDICATED. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF BALBOA PUBLIC UTILITIES DEPARTMENT.
5. 30" MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. AT MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
6. IF IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT TO BE USED IN REUSE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL ADVISE THE CITY OF BALBOA PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION. THE CITY OF BALBOA PUBLIC UTILITIES DEPARTMENT SHALL BE RESPONSIBLE FOR THE INSTALLATION OF ALL UTILITY SERVICES TO WITHIN FIVE (5) FEET OF THE BUILDING CONNECTION POINT.
7. ALL 8" PVC OR SEWER SERVICES @ 30% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75' LINEAR FEET (MINIMUM).
8. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKFLOW VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
9. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCRDC, USACE, SOF, FEMA FOR ANY RECONSTRUCTION, RETRACTION AND/OR FLOODPLAIN IMPACTS RESPECTIVELY PRIOR TO CONSTRUCTION.
10. MODOT FLOODPLAIN ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY ROWS INCLUDING MAIN EXTENSIONS & SERVICE TAPS WITHIN STATE OR FLOODPLAIN ROW PRIOR TO CONSTRUCTION.

UTILITY NOTES:

1. REFER TO SHEET C600 FOR GENERAL NOTES.
- UNLESS OTHERWISE NOTED, ALL MANHOLES SHALL BE PRECAST CONCRETE STRUCTURES.
- THE CONTRACTOR SHALL COORDINATE THE CONSTRUCTION OF UNDERGROUND UTILITIES (WATER, SEWER, STORM, ELECTRICAL, GAS, OR OTHERS) FOR THE PROJECT WITH THE BUILDING PLANS. THE UTILITY CONSTRUCTION SHALL BE RESPONSIBLE FOR THE INSTALLATION OF ALL UTILITY SERVICES TO WITHIN FIVE (5) FEET OF THE BUILDING CONNECTION POINT.
- THE CONTRACTOR SHALL COORDINATE WITH OTHER CONTRACTORS ON SITE AND VERIFY PROGRESS OF WORK CONSTRUCTION TO ENSURE SMOOTH TRANSMISSION BETWEEN OVERLAP LINES.
- THE CONTRACTOR SHALL COORDINATE ALL PEDESTRIAN AND VEHICULAR INTERRUPTIONS WITH OWNERS REPRESENTATIVE AT LEAST 14 DAYS PRIOR TO BEGINNING WORK.
- THE CONTRACTOR SHALL NOT PROCEED WITH ANY WORK UNLESS THE PUBLIC RIGHT OF WAY PRIOR TO RECEIPT AND COMPLIANCE WITH ALL APPLICABLE NOTICED HEARINGS AND PERMITS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY FLAGGERS AND TRAFFIC CONTROL DURING ALL WORK UNDER THE PUBLIC RIGHTS OF WAY.
- THE CONTRACTOR SHALL NOT REUSE ANY FIRE HYDRANT REMOVED AS PART OF THIS PROJECT. ANY FIRE HYDRANT TO BE REMOVED OR RELOCATED SHALL BE REPLACED WITH A NEW FIRE HYDRANT MEETING THE LOCAL JURISDICTIONAL REQUIREMENTS AND STANDARDS.
- ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THE CONSTRUCTION DOCUMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATION BASED ON SURVEY DATA AND RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF EXISTING UTILITIES SHOWN HEREON. RECORD DRAWINGS OR STANDARD AS-BUILT DRAWINGS SHALL BE REFERENCED FOR THE EXACT LOCATION, DEPTH, SIZE AND MATERIALS OF ANY AND ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL VERIFY ANY EXISTING OR CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE TO NOTIFY THE OWNERS REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS.
- SEWER MAINS OF UTILITIES ARE GIVEN TO THE EXTENT OF INFORMATION AVAILABLE. WHERE ELEVATIONS ARE NOT GIVEN AT POINTS OF EXISTING UTILITY CROSSINGS, SUCH ELEVATIONS SHALL BE DETERMINED BY THE CONTRACTOR AND REPORTED TO THE ENGINEER. WHEN UNKNOWN LINES ARE EXPOSED, THEIR LOCATIONS AND ELEVATIONS SHALL ALSO BE REPORTED TO THE ENGINEER.
- UNDERGROUND UTILITIES SHOWN ON THIS PLAN SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION OF PARKING AREA, DRIVEWAYS, CURBS AND GUTTER OR CONCRETE WALKWAYS. IF UTILITIES SHOWN ON THIS PLAN CANNOT BE INSTALLED PRIOR TO INSTALLATION OF THE ABOVE LISTED ITEMS, THE CONTRACTOR SHALL BE INSTALLED FOR THE FUTURE UTILITY INSTALLATION.
- ADHERE TO DOCUMENTATION REQUIREMENTS. PRIOR TO APPROVAL FROM LOCAL JURISDICTION THE CONTRACTOR SHALL PROVIDE AS-BUILT DRAWINGS IN BOTH PAPER AND ELECTRONIC FORMAT (CAD) PREPARED AND SEALED BY A PROFESSIONAL LAND SURVEYOR. ALL UTILITY INSTALLATION, HORIZONTAL AND VERTICAL INFORMATION SHALL BE PROVIDED FOR WATER, SEWER, STORM, ELECTRICAL, STRUCTURES, UTILITIES, HYDRANTS, AND OTHER APPURTENANCES.
- CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL. SITE TO BE SERVED BY PRIVATE COLLECTION.
- NOTE THAT THE REMOVAL OF THE PUMP AND SEPTIC INFRASTRUCTURES MUST BE DONE IN COMPLIANCE WITH WAKE COUNTY STANDARDS AND PROCEDURES.



SWIFT PARTNERS
AMERICAN PLUMBING SUB-0010-2020

KEY	COUNT	PLANT NAME	SPACING	SIZE	HEIGHT	MATURE HEIGHT/CROWN SPREAD
⊙	16	NYSSA SYLVATICA / BLACK GUM	40' OC	3' CAL	6' HT	60' / 30'

NOTE
AUBURN CHURCH ROAD HAS A POSTED
SPEED LIMIT OF 45 MPH - 12' CLEAR ZONE

LINKS INVESTMENTS, LLC
DB 17473, PG 344
BM 1995, PG 1511
PR: 1722-50-5349

LINKS INVESTMENTS, LLC
DB 17473, PG 344
BM 1995, PG 1511
PR: 1722-50-4142

CONTROL CORNER
NO. 719,963.91
E. 2,120,458.77

STONE & STONE
ASSOCIATES, LLC
DB 13033, PG 2020
BM 2012, PG 1463
PR: 1721-59-1633

LOT 1
PRV REAL ESTATE, LLC
RM 2016, PG 786
PR: 1721-59-7362

LANDSCAPE NOTES:

- VERIFY ALL QUANTITIES AND HEIGHTS ANY DISCREPANCIES OR INACCURACIES IN THE PLANS TO THE OWNER'S REPRESENTATIVE PRIOR TO PLANTING.
- LANDSCAPE WORK SHALL INCLUDE THE FURNISHING, INSTALLATION, AND WARRANTY OF ALL PLANTING MATERIALS WITHIN THE PROJECT AREA.
- THE LANDSCAPE CONTRACTOR SHALL ASCERTAIN THE LOCATION OF ALL EXISTING AND NEW UNDERGROUND UTILITIES PRIOR TO EXCAVATION FOR PLANTING. DAMAGES TO UTILITIES CAUSED BY THE LANDSCAPE OPERATION SHALL BE CORRECTED BY THE LANDSCAPE CONTRACTOR AT NO COST TO THE OWNER.
- LANDSCAPING SHALL REMAIN CLEAR FROM ANY FIRE HYDRANTS ON THE SITE.
- ALL TREES TO BE A MINIMUM OF 2" IN CALIPER AND MUST MEET THE AMERICAN STANDARDS FOR NURSERY STOCK.
- TREE PROTECTION NOTE: TREE PROTECTION FENCING MUST BE IN PLACE PRIOR TO ANY REMEDIATION, LAND DISTURBANCE OR REPAIRS OF A CONCRETE DRIVE AND SHALL INCLUDE WARNING SIGNS POSTED BOTH ENDS AND SPACES AS FOLLOWS: NO TRESPASSING TREE PROTECTION AREA APPROXIMATE ENTRY / ZONE PROTECTION PARALLEL TO DRIVE.
- PROTECTION OF EXISTING VEGETATION: AT THE START OF GRADING INVOLVING THE REMOVAL OF EXISTING GRASS AND/OR A TREE TRIMMING OPERATION, A 10' WIDE BUFFER ZONE SHALL BE MAINTAINED AT THE EDGE OF THE TREE TRIMMING AREA AT THE SAME TIME AS OTHER EROSION CONTROL MEASURES ARE INSTALLED. THE TREE PROTECTION FENCING SHALL BE INSTALLED ON THE SIDE OF THE CUT OR HEDGETAIL AWAY FROM THE TREE TRUNK AND SHALL REMAIN IN PLACE UNTIL ALL CONSTRUCTION OF THE VERTICITY OF THE TREE IS COMPLETE. NO STORAGE OF MATERIALS, ALL EQUIPMENT AND NO TRESPASSING SHALL BE ALLOWED WITHIN THE BOUNDARY OF THE PROTECTED AREA.
- ROOT ZONE PROTECTION: AREA VALUES BASED ON LOCAL JURISDICTIONAL REQUIREMENTS. NO DISTURBANCE ALLOWED WITHIN THE AREA. AREA MUST BE PROTECTED WITH BOTH TREE PROTECTION FENCING AND WARNING SIGNS.
- SEED BED PREPARATION: ALL AREAS TO BE SEEDBED ARE TO RECEIVE A MINIMUM OF 2" OF APPROVED TOPSOIL. ALL DEBRIS, STICKS, ETC. LARGER THAN 1/2" ARE TO BE REMOVED. ALL LIMES CONCENTRATIONS OF GRAVEL & DEBRIS REGARDLESS OF SIZE ARE TO BE REMOVED PRIOR TO SEEDING OR PLANTING.
- ALL PLANT BED AREAS ARE TO RECEIVE A MINIMUM OF 1/2" OF APPROVED TOPSOIL.
- SOIL SHOULD BE TESTED AND AMENDED WITH LIMES AND FERTILIZERS FOR HARDWOOD TREES ACCORDING TO INDIA PROCEDURES. SOIL pH PLANT PFT WALLS CONSULT LANDSCAPE ARCHITECT FOR ALTERNATE CONFORMANCE.
- SHRUBBED HARDWOOD MULCH 3" DEEP EXCEPT AT CROWN OF PLANT UNLESS OTHERWISE NOTED. FLARE AT CROWN SHOULD BE REVEALED BACKFILL CONCRETE OF THOROUGHLY BROKEN UP IN THE SOIL. TOTAL VOLUME OF BACKFILL SHOULD BE AMOUNTED WITH 1/4" TO ONE (1) INCH SAND MULCH. TREES SHOULD BE NO LARGER THAN WHAT IS SPECIFIED IN THE BIDDING DOCUMENTS. PFT WALLS SHALL BE REVEALED FOR BACKFILL DUE TO DIFFERENTIAL SUBSOIL DRAINAGE CONDITIONS. USE SOIL BLEND AT EXISTING NATIVE SOIL. ADDITIONAL SOIL TO BE APPROVED BY LANDSCAPE ARCHITECT. MAXIMUM SANDER HEIGHT 8" INCHES.
- TOP OF ROOTBALL TO BE PAVED 20 INCHES ABOVE EXISTING GRADE.
- FOR B&B PLANTS, NATURAL FIBER BURLAP SHOULD BE TUNED DOWN BY 10" TOTAL HEIGHT OF ROOT BALL. PLASTIC BURLAP AND FIBER BURLAP SHOULD BE REMOVED TO 20% OF TOTAL HEIGHT OF ROOT BALL.
- CONTRACTOR IS RESPONSIBLE FOR KEEPING THE TREE UPRIGHT AND PLUMB THROUGHOUT THE WARRANTY PERIOD. IF STABILIZATION IS NECESSARY SEE STAKING IN TREE DETAIL. ORANGE FLAGGING TAPE SHOULD BE ATTACHED TO SUPPORT WIRE. STAKING SHALL BE REMOVED BY CONTRACTOR AT END OF ONE YEAR WARRANTY PERIOD OR AS DIRECTED BY GROUND MANAGEMENT.
- USE STANDARD STAKING TAGS FOR WAITING TREES IN AREAS NOT UNDER BIDDING. INCORPORATE RETENTION OR EQUAL AS PER MANUFACTURER'S RECOMMENDATIONS. FOR AREAS NOT UNDER BIDDING.
- USE SP-WARRANTY OR EQUIVALENT ACCORDING TO MANUFACTURER'S RECOMMENDATION FOR TREES THAT WILL BE PLANTED WITHIN 10' OF PAVEMENT.
- LANDSCAPING TO LOCAL STANDARDS NOTE: ALL LANDSCAPING MUST BE IN PLACE PRIOR TO REQUEST FOR A CERTIFICATE OF COMPLIANCE.

The Comprehensive Plan Data Sheet
USE ARCHIVE FOR INFORMATION
Date of Information: 1/1/2024

Project Name: 1721-59-1633
Scale: 1" = 40'
Map Date: 1/1/2024

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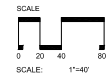
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No.	Date	Description
1	1/1/2024	ISSUED FOR PERMIT COMMENTS
2	1/1/2024	ISSUED FOR PERMIT COMMENTS
3	1/1/2024	ISSUED FOR PERMIT COMMENTS
4	1/1/2024	ISSUED FOR PERMIT COMMENTS
5	1/1/2024	ISSUED FOR PERMIT COMMENTS
6	1/1/2024	ISSUED FOR PERMIT COMMENTS
7	1/1/2024	ISSUED FOR PERMIT COMMENTS
8	1/1/2024	ISSUED FOR PERMIT COMMENTS
9	1/1/2024	ISSUED FOR PERMIT COMMENTS
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11	1/1/2024	ISSUED FOR PERMIT COMMENTS
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18	1/1/2024	ISSUED FOR PERMIT COMMENTS
19	1/1/2024	ISSUED FOR PERMIT COMMENTS
20	1/1/2024	ISSUED FOR PERMIT COMMENTS



DATE: 01/01/2024
DRAWN BY: JTT
PROJECT: 1721-59-1633
SHEET TITLE: LANDSCAPE PLAN
SHEET NO.: L100