



# Administrative Approval Action

Case File / Name: SUB-0051-2021  
DSLC - JEAN DRIVE COTTAGES

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2492  
currentplanning@raleighnc.gov  
www.raleighnc.gov

**LOCATION:** A 2.347 acre site zoned R-4 is located on the west side of Jean Drive, south of the intersection of Jean Drive and Lynn Road. The two lots making up this site are located at 6501 and 6511 Jean Drive.

**REQUEST:** A Cottage Court consisting of 14 residential cottage court lots, one open space HOA/Community maintained residual lot for a total of 15 lots.

**DESIGN  
ADJUSTMENT(S)/  
ALTERNATES, ETC:** N/A

**FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated November 1, 2021 by Wake Land Design, PLLC.

## **CONDITIONS OF APPROVAL and NEXT STEPS:**

*This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:*

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

***The following items are required prior to approval of Site Permitting Review plans:***

### **Stormwater**

1. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
2. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).
3. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).

### **Urban Forestry**

4. Submit a final tree conservation plan that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required (UDO 9.1.5).
5. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.

☒ **LEGAL DOCUMENTS** - Email to [legaldocumentreview@raleighnc.gov](mailto:legaldocumentreview@raleighnc.gov). Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.



# Administrative Approval Action

Case File / Name: SUB-0051-2021  
DSLC - JEAN DRIVE COTTAGES

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2492  
currentplanning@raleighnc.gov  
www.raleighnc.gov

<input checked="" type="checkbox"/>	Public Access Easement Required
<input checked="" type="checkbox"/>	Stormwater Maintenance Covenant Required

<input checked="" type="checkbox"/>	Utility Placement Easement Required
-------------------------------------	-------------------------------------

☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

***The following items must be approved prior to recording the plat:***

## General

1. imaps indicates existing septic system on the original 6511 Jean Drive lot. Coordinate permit with Wake county Environmental Services and note on the recorded plat.
2. A demolition permit shall be issued and this building permit number shown on all maps for recording.
3. Street names for this development shall be approved by the Raleigh GIS Division and by Wake County.
4. A recombination map shall be recorded prior to or in conjunction with the recordation of lots, recombining the existing two lots as shown on the preliminary plan.
5. Provide documentation indicating a Property Owner's Association has been established for the subject development.

## Engineering

6. A fee-in-lieu for those portions of sidewalk and pavement not fully extended to the property line is paid to the City of Raleigh (UDO 8.1.10). The pavement and sidewalks are to be extended as close to the adjacent property lines as possible.
7. A public infrastructure surety shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.
8. A Public Access deed of easement be approved by City staff, and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the plat. A recorded copy of this document shall be provided to the Development Services Department within one day from authorization of lot recordation. If a recorded copy of this document is not provided, further recordings and building permit issuance will be withheld.



# Administrative Approval Action

Case File / Name: SUB-0051-2021  
DSLC - JEAN DRIVE COTTAGES

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2492  
currentplanning@raleighnc.gov  
www.raleighnc.gov

9. A 5' utility placement easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.
10. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.

## Public Utilities

11. Infrastructure Construction Plans (concurrent submittal) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions. [changes required on 1st SPR submittal: 1) flip new FHAs in Jean Drive to East / waterline side of roadway 2) confirm that eccentric cone sections are prefabricated for 6.0' dia SSMHs. if not, exist SSMH must be relocated or C&G re-aligned to avoid conflict. flat top SSMHs are prohibited in public streets 3) the 6" private sewer main should end with a SSMH to accommodate lateral connections from lots 7& 8]

## Stormwater

12. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).
13. The maximum allocated impervious area for all applicable lots in the subdivision should be identified on all maps for recording.
14. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
15. If demolition causes a land disturbance of more than 12,000 sf, a mass grading permit will be required. (UDO 9.4.6)
16. The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office (UDO 9.2.2.G).
17. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).

## Urban Forestry

18. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1). This development proposes .27 acres of secondary tree conservation area.



# Administrative Approval Action

Case File / Name: SUB-0051-2021  
DSLC - JEAN DRIVE COTTAGES

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2492  
currentplanning@raleighnc.gov  
www.raleighnc.gov

19. A public infrastructure surety for (9) street trees shall be provided to the City of Raleigh Development Services – Development Engineering (UDO 8.1.3).

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

***The following items must be approved prior to the issuance of building permits:***

## **Public Utilities**

1. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

## **Urban Forestry**

2. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes (9) street trees along Jean Drive.

***The following are required prior to issuance of building occupancy permit:***

## **General**

1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
2. All street lights and street signs required as part of the development approval are installed.
3. Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.

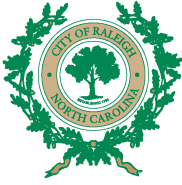
## **Stormwater**

4. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).
5. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

**EXPIRATION DATES:** If significant construction has not taken place on a project after preliminary subdivision approval, that approval may "sunset" and be declared void, requiring re-approval before permits may be issued. To avoid allowing this preliminary approval to "sunset", the following must take place by the following dates:

**3-Year Sunset Date: April 6, 2025**  
**Record at least ½ of the land area approved.**

**5-Year Sunset Date: April 6, 2027**



# Administrative Approval Action

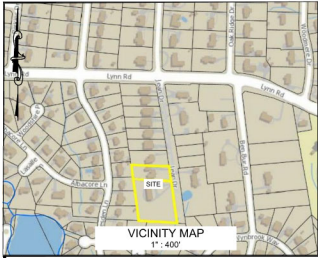
Case File / Name: SUB-0051-2021  
DSLC - JEAN DRIVE COTTAGES

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2492  
currentplanning@raleighnc.gov  
www.raleighnc.gov

**Record entire subdivision.**

I hereby certify this administrative decision.

Signed: *Alysis Bailey Taylor* Date: 12/08/2021  
Development Services Dir/Designee  
Staff Coordinator: Michael Walters



# JEAN DRIVE COTTAGES

## SUBDIVISION REVIEW PLANS

### SUB-0051-2021

### RALEIGH, NORTH CAROLINA

JULY, 29 2021  
REVISED SEPTEMBER 30, 2021  
REVISED NOVEMBER 1, 2021

SITE DATA	
DEVELOPER/OWNER:	REDEEMING DEVELOPMENT GROUP, LLC 618 CUMBERLAND ST. RALEIGH, NC 27610
SITE ADDRESS:	6501, 6511 JEAN DRIVE
SITE AREA EXISTING:	102,232 SF - 2.347 AC.
REQUIRED SITE AREA:	7,260 SF x 14 UNITS = 101,640 SF
WAKE COUNTY PIN #:	0797618877, 0797628054
ZONING DISTRICT:	R-4
EXISTING USE:	SINGLE FAMILY
PROPOSED USE:	COTTAGE COURT - DETACHED BUILDING TYPE
STREET CLASSIFICATION:	JEAN DRIVE - NEIGHBORHOOD YIELD
STREETSCAPE REQUIRED:	6' TREE LAWN 6' SIDEWALK
REQUIRED PARKING:	1 SPACE PER UNIT TOTAL REQUIRED = 14 SPACES
PROVIDED PARKING:	14 SPACES PROVIDED (TO BE DEMONSTRATED AT SITE PLAN)
REQUIRED COURTYARD:	3,250 SF + (10) 850 SF = 11,750 SF
PROVIDED COURTYARD:	14,200 SF (MIN. 50' FOR FIRST 15' OF SITE DEPTH & 20' MIN. WIDTH AND LENGTH THROUGHOUT)

UDO SEC. 8.3 APPLICABILITY
<b>BLOCK PERIMETER</b> IN ACCORDANCE WITH 8.3.2.A.1.b, BLOCK PERIMETER IS NOT APPLICABLE DUE TO THE SITE ACREAGE OF 2.347 ACRES WITHIN R-4 ZONING DISTRICT.
<b>CROSS ACCESS</b> IN ACCORDANCE WITH 8.3.3.D.5.a, CROSS ACCESS IS NOT APPLICABLE DUE TO THE PRESENCE OF EXISTING DETACHED BUILDING TYPES LOCATED ON THE ADJACENT PROPERTIES.

**DEVELOPER:**  
**REDEEMING DEVELOPMENT GROUP, LLC**  
618 Cumberland St.  
Raleigh, NC 27610  
919-630-1858  
coburn@rdgdesignbuild.com

**CIVIL ENGINEER:**

**WLD**

**WAKE LAND DESIGN, PLLC**

NC LICENSE P-1839  
PHONE: 919-889-2614  
EMAIL: JASON@WAKELANDDESIGN.COM  
P.O. BOX 418  
CLAYTON, NC 27528

#### INDEX

CE-1	EXISTING CONDITIONS & DEMOLITION PLAN
CE-2	LOT AND EASEMENT PLAN
CE-3	SITE LAYOUT PLAN
CE-4	UTILITY PLAN
CE-5	GRADING AND DRAINAGE PLAN
LA-1	LANDSCAPING PLAN
TC1.0	TREE CONSERVATION PLAN
TC1.1	TREE CONSERVATION PLAN

#### Preliminary Subdivision Application Planning and Development

Planning and Development Customer Service Center • One Exchange Place, Suite 400 | Raleigh, NC 27601 | 919-996-2900



INSTRUCTIONS: This form is used when submitting a Preliminary Subdivision (UDO Section 10.2.5). Please check the appropriate review type and include the plan checklist document. Please email all documents and your preliminary subdivision plans to [subdivision@raleighnc.gov](mailto:subdivision@raleighnc.gov).

DEVELOPMENT TYPE (UDO Section 2.1.2)	
Conventional Subdivision	Compact Development
Conservation Development	Cottage Court
NOTE: Subdivisions may require City Council approval if in a Metro Park Overlay or Historic Overlay District	
GENERAL INFORMATION	
Scoping/sketch plan case number(s)	SCOPE-0077-2021
Development name (subject to approval)	Jean Drive Cottages
Property Address(es)	6501, 6511 Jean Drive
Recorded Deed PIN(s)	0797618877, 0797628054
What is your project type?	<input type="checkbox"/> Single family <input type="checkbox"/> Apartment <input type="checkbox"/> Townhouse <input type="checkbox"/> Non-residential <input checked="" type="checkbox"/> Other: <input type="checkbox"/> Attached houses
CURRENT PROPERTY OWNER/DEVELOPER INFORMATION	
NOTE: Please attach purchase agreement when submitting this form	
Company/Receiving Development Group, LLC	Owner/Developer Name and Title: Coburn Murray, Member
Address: 518 Cumberland St. Raleigh, NC 27610	
Phone #: 919-630-1858	Email: <a href="mailto:coburn@rdgdesignbuild.com">coburn@rdgdesignbuild.com</a>
APPLICANT INFORMATION	
Company: Wake Land Design, PLLC	Contact Name and Title: Jason G. Meadows, Manager
Address: P.O. Box 418 Clayton, NC 27528	
Phone #: 919-889-2614	Email: <a href="mailto:jason@wakelanddesign.com">jason@wakelanddesign.com</a>

Continue to page 2 >>

Page 1 of 2

WLD0051-01.09.21  
raleighnc.gov

DEVELOPMENT TYPE + SITE DATA TABLE (Applicable to all developments)	
ZONING INFORMATION	
Gross site acreage: 2.347 AC	
Zoning districts (if more than one, provide acreage of each): R-4	
Overlay district: N/A	Inside City limits? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Conditional Use District (CUD) Case # Z-	Board of Adjustment (BOA) Case # A-
STORMWATER INFORMATION	
Existing Impervious Surface: Acreage: 0.00 AC Square Feet: 0.00 SF	Proposed Impervious Surface: Acreage: 0.00 AC Square Feet: 0.00 SF
Nause River Buffer: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Wetlands: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Is this a flood hazard area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	If yes, please provide the following: Atterial note: Flood study: FEMA Map Panel #:
NUMBER OF LOTS AND DENSITY	
Total # of townhouse lots: Detached 14 Attached	
Total # of single-family lots: 14	
Proposed density for each zoning district (UDO 1.5.2.F):	5.95 Units/AC (Cottage Ct.)
Total # of open space and/or common area lots: 1	
Total # of requested lots: 15	
SIGNATURE BLOCK	
The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.	
I, Jason G. Meadows, P.E., will serve as the agent regarding this application, and will receive and respond to administrative comments, resubmit plans and applicable documentation, and will represent the property owner(s) in any public meeting regarding this application.	
We have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.	
Signature:	Date: 7/29/2021
Printed Name: Jason G. Meadows	Date:
Signature:	Date:
Printed Name:	

Please email your completed application to [subdivision@raleighnc.gov](mailto:subdivision@raleighnc.gov)

Page 2 of 2

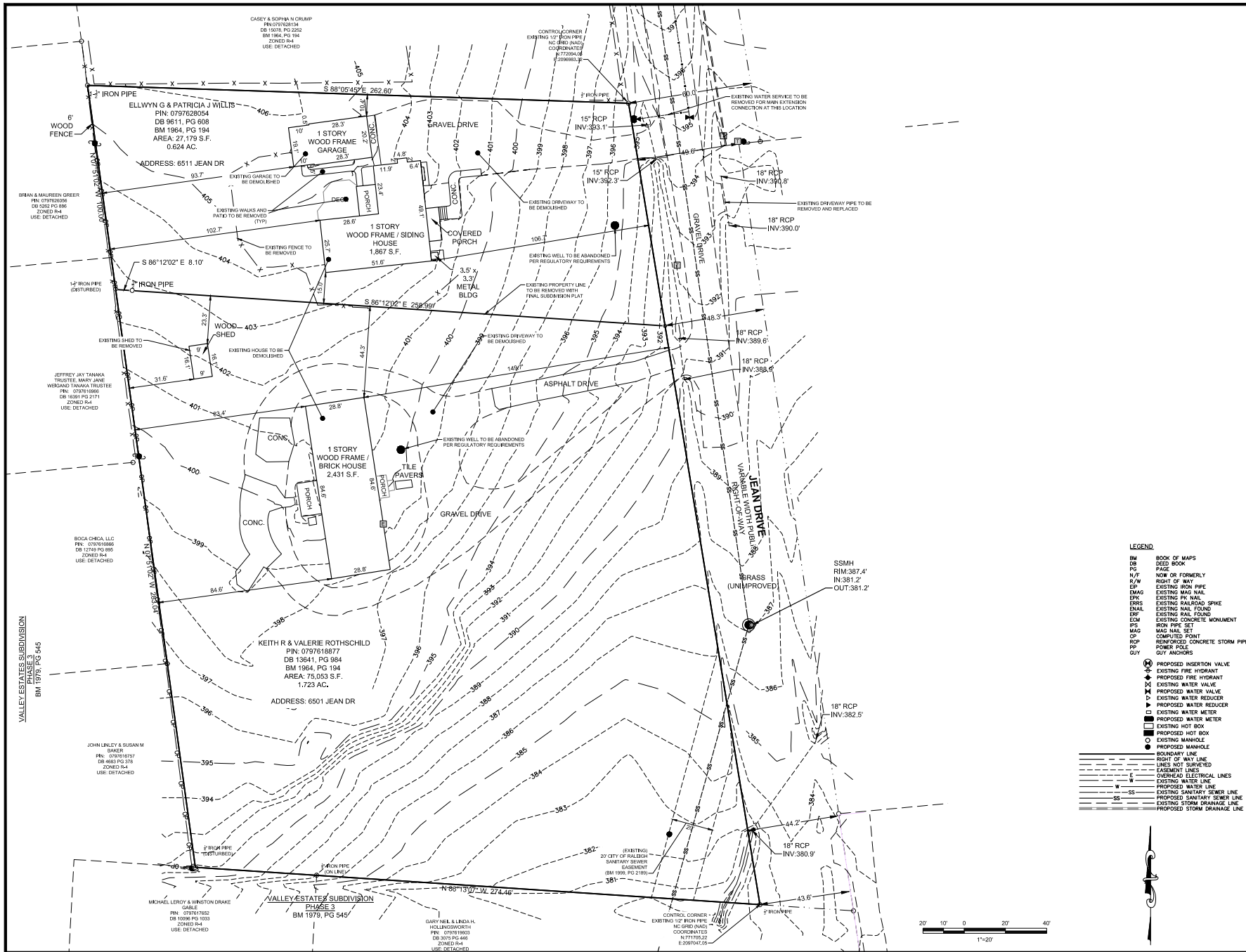
WLD0051-01.09.21  
raleighnc.gov

HORIZONTAL DATUM: NAD83  
VERTICAL DATUM: NAVD83

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND NC DOT STANDARDS AND SPECIFICATIONS.

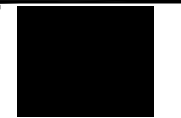
SOLID WASTE INSPECTIONS STATEMENT  
THIS SINGLE FAMILY DEVELOPMENT WILL UTILIZE ROLL OUT TRASH AND RECYCLING CONTAINERS TO BE STORED WITHIN THE GARAGES PER CITY OF RALEIGH SOLID WASTE MANUAL





WAKE LAND DESIGN, PLLC  
CIVIL ENGINEERING  
PROJECT MANAGEMENT  
LAND PLANNING  
RALEIGH ZONING SPECIALISTS

NC LICENSE #43839  
PHONE: 919-889-2614  
EMAIL: JASON@WAKELANDDESIGN.COM  
P.O. BOX 418  
CLAYTON, NC 27328



Submittals

REDEEMING  
DEVELOPMENT  
GROUP, LLC  
618 CUMBERLAND ST.  
RALEIGH, NC 27610

JEAN DRIVE  
COTTAGES

SUBDIVISION REVIEW

Revisions		
Number	Description	Date
1	CITY OF RALEIGH COMMENTS	9/30/21
2	CITY OF RALEIGH COMMENTS	11/1/21

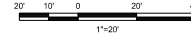
Notes

EXISTING CONDITIONS  
AND DEMOLITION PLAN

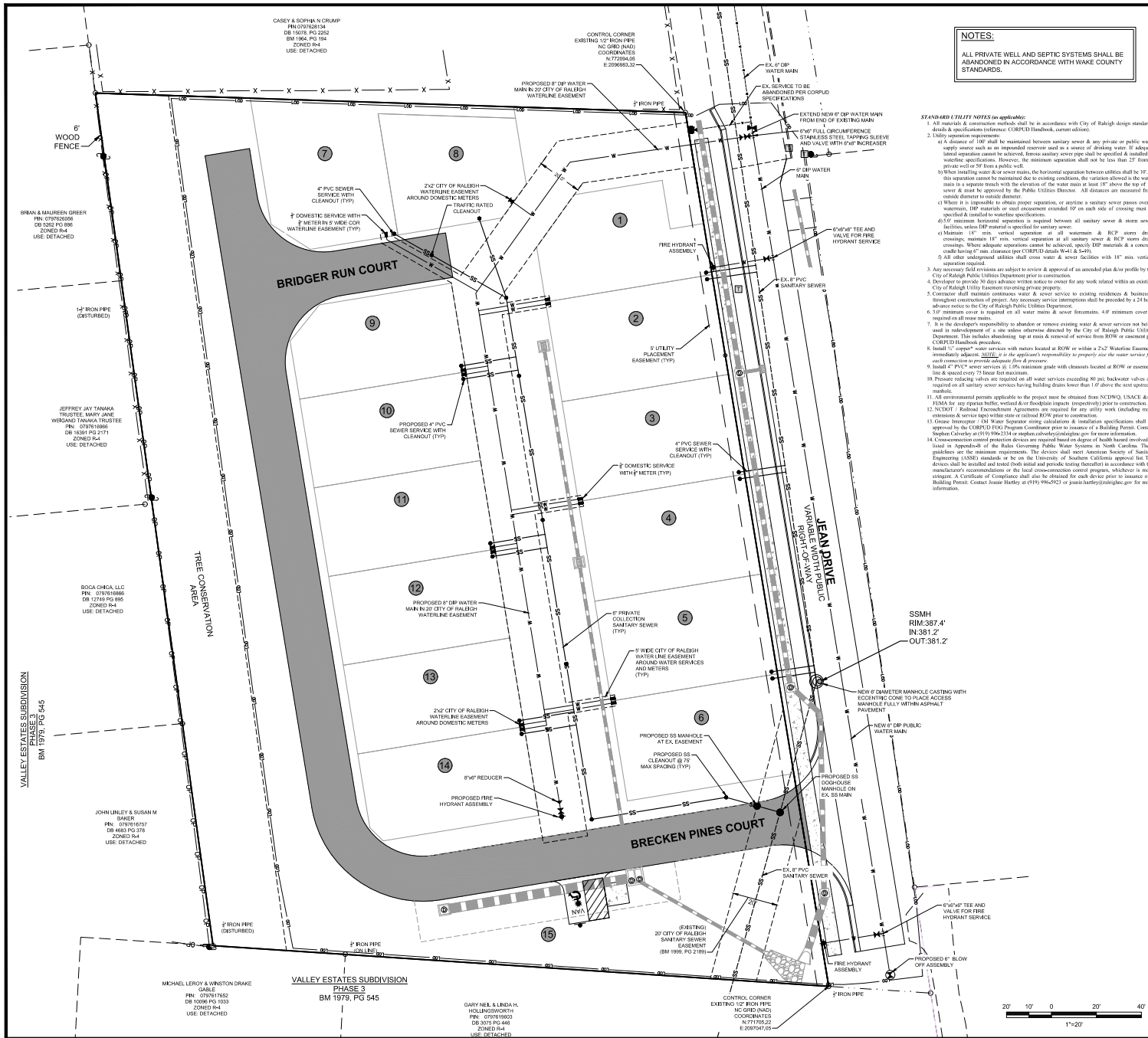
Sheet Number

CE-1

Date Issued 07/29/2021







**NOTES:**

ALL PRIVATE WELL AND SEPTIC SYSTEMS SHALL BE ABANDONED IN ACCORDANCE WITH WAKE COUNTY STANDARDS.

- STANDARD UTILITY NOTES (as applicable):**
- All materials & connection methods shall be in accordance with City of Raleigh design standards, details & specifications referenced: CORPUD Handbook, current edition.
  - Utility separation requirements:
    - a. A distance of 10' shall be maintained between sanitary sewer & any private or public water supply unless such is an impounded reservoir used as a source of drinking water. If adequate lateral separation cannot be achieved, fence sanitary sewer pipe shall be specified & installed to maintain separation. However, the minimum separation shall not be less than 25' from a private well or 10' from a public well.
    - b. When installing water &/or sewer mains, the horizontal separation between utilities shall be 10'. If this separation cannot be maintained due to existing conditions, the variation allowed in the water main is a separate trench with the elevation of the water main at least 18" above the top of the sewer & must be approved by the Public Utilities Director. All distances are measured from outside diameter to outside diameter.
    - c. When it is impossible to obtain proper separation, or anytime a sanitary sewer passes over a watermain, DWP materials or steel encasement encased 10' on each side of crossing must be specified & installed to maintain separation.
    - d. 10' minimum horizontal separation is required between all sanitary sewer & storm sewer facilities, unless DWP material is specified for sanitary sewer.
    - e. Maintain 18" min. vertical separation at all watermain & RCP storm drain coverings, maintain 18" min. vertical separation at all sanitary sewer & RCP storm drain coverings. Where adequate separation cannot be achieved, specify DWP materials & a concrete casing having 6" min. clearance per CORPUD detail W-4 & S-6.
    - f. All other underground utilities shall cross water & sewer facilities with 18" min. vertical separation required.
  - Any necessary field reviews are subject to review & approval of an amended plan &/or profile by the City of Raleigh Public Utilities Department prior to construction.
  - Developer to provide 30 days advance written notice to owner for any work related within an existing City of Raleigh Utility Easement (not existing private property).
  - Contractor shall maintain continuous water & sewer service to existing residences & businesses throughout construction of project. Any necessary service interruptions shall be provided by a 24-hour advance notice to the City of Raleigh Public Utilities Department.
  - 1/4" minimum cover is required on all water mains & sewer lines. 4" minimum cover is required on all sewer mains.
  - It is the developer's responsibility to abandon or remove existing water & sewer services not being used in redevelopment of a site unless otherwise directed by the City of Raleigh Public Utilities Department. This includes abandoning, top at main & removal of service from ROW or easement per CORPUD Handbook procedure.
  - Install 1/2" copper water service with meters located at ROW or within a 2x2' Waterline Easement immediately adjacent to the lot. It is the applicant's responsibility to properly size the water service for use and construction to provide adequate flow & pressure.
  - Install 4" PVC sewer services @ 1.0% minimum grade with cleanouts located at ROW or easement line & spaced every 75 linear feet maximum.
  - Pressure reducing valves are required on all water services exceeding 80 psi; backflow valves are required on all sanitary sewer services having building drains lower than 1' above the next upstream manhole.
  - All environmental permits applicable to the project must be obtained from NCDPQ, USACE &/or FEMA for any riparian buffer, wetland &/or floodplain impacts respectively prior to construction.
  - NCDEQ / Rational Easement Agreements are required for any utility work (including main extension & service taps) within state or railroad ROW prior to construction.
  - Consent Interceptor / 10' Water Separator along collection & installation specifications shall be approved by the CORPUD FOG Program Coordinator prior to issuance of a Building Permit. Contact Stephen Calverley at (919) 996-2334 or stephen.calverley@raleighnc.gov for more information.
  - Consentation consent protection device are required based on degree of health hazard involved as found in Appendix of the Rules Governing Public Water Systems in North Carolina. These guidelines are the minimum equipment. The device shall meet American Society of Sanitary Engineering (ASSE) standards or be on the University of Southern California approval list. The device shall be installed and tested (both initial and periodic testing thereafter) in accordance with the manufacturer's recommendations or the local consentation consent program, whichever is more stringent. A Certificate of Compliance shall also be obtained for each device prior to issuance of a Building Permit. Contact Bruce Harty at (919) 996-0923 or bruce.harty@raleighnc.gov for more information.

**ATTENTION CONTRACTORS:**

The Construction Contractor responsible for the extension of water, sewer, and/or storm (as approved in these plans) is responsible for contacting the PUBLIC WORKS DEPARTMENT at (919) 996-2334, and the PUBLIC UTILITIES DEPARTMENT at (919) 996-2334 at least twenty-four hours prior to beginning any of these construction.

**Public**  
Water Distribution/Extension System

The City of Raleigh consents to the connection and extension of the City's public water system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.

City of Raleigh  
Public Utilities Department Permit # \_\_\_\_\_  
Authorization to Construct \_\_\_\_\_

**Private**  
Sewer Collection / Extension System

The City of Raleigh consents to the connection to its public sewer system and extension of the private sewer collection system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.

City of Raleigh  
Public Utilities Department Permit # \_\_\_\_\_  
Authorization to Construct \_\_\_\_\_

**LEGEND**

BM	BOOK OF MAPS
DB	DEED BOOK
PAGE	PAGE
N/W	NOW OR FORMERLY
R/W	RIGHT OF WAY
EP	EXISTING IRON PIPE
DMG	EXISTING MAG. NAIL
EPK	EXISTING PK. NAIL
ENAL	EXISTING NAIL FOUND
EPF	EXISTING NAIL FOUND
ECM	EXISTING CONCRETE MONUMENT
ROM	ROM PIPE SET
MAC	MAG. NAIL SET
CP	COMPUTED POINT
ROP	REINFORCED CONCRETE STORM PIPE
PO	POWER POLE
QUY	QUY ANCHORS

PROPOSED INSERTION VALVE  
EXISTING FIRE HYDRANT  
PROPOSED FIRE HYDRANT  
EXISTING WATER VALVE  
PROPOSED WATER VALVE  
EXISTING WATER REDUCER  
PROPOSED WATER REDUCER  
EXISTING WATER METER  
PROPOSED WATER METER  
EXISTING HOT BOX  
PROPOSED HOT BOX  
EXISTING MANHOLE  
PROPOSED MANHOLE  
BOUNDARY LINE  
RIGHT OF WAY LINE  
LINES NOT SURVEYED  
EASEMENT LINES  
OVERHEAD ELECTRICAL LINES  
EXISTING WATER LINE  
PROPOSED WATER LINE  
EXISTING SANITARY SEWER LINE  
PROPOSED SANITARY SEWER LINE  
EXISTING STORM DRAINAGE LINE  
PROPOSED STORM DRAINAGE LINE

**WLD**  
WAKE LAND DESIGN, PLLC  
CIVIL ENGINEERING  
PROJECT MANAGEMENT  
LAND PLANNING  
RALEIGH ZONING SPECIALISTS

NC LICENSE #4839  
PHONE: 919-989-2614  
EMAIL: JASON@WAKELANDDESIGN.COM  
P.O. BOX 418  
CLAYTON, NC 27328

Submittals

**REDEEMING DEVELOPMENT GROUP, LLC**  
618 CUMBERLAND ST.  
RALEIGH, NC 27610

**JEAN DRIVE COTTAGES**

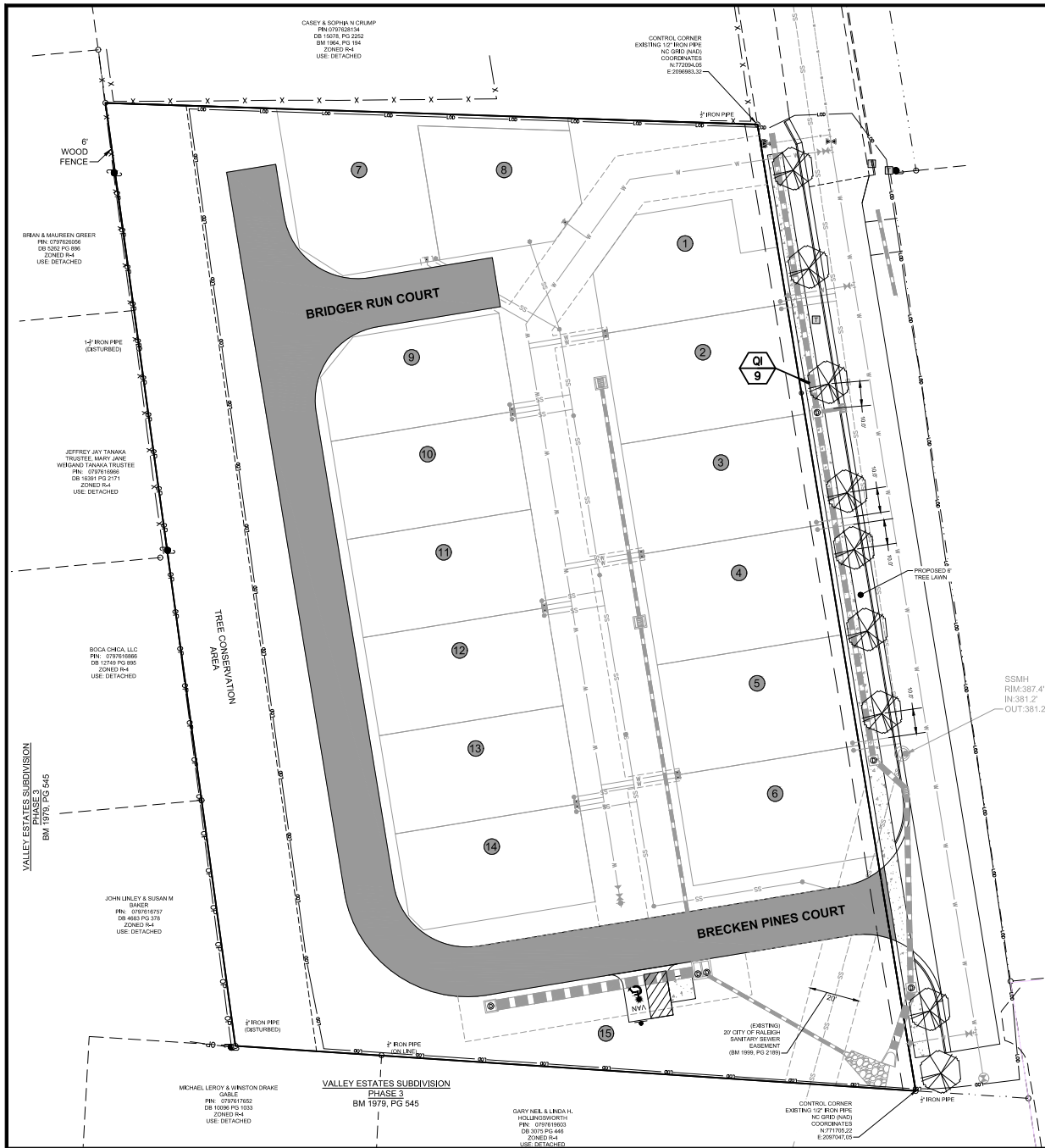
**SUBDIVISION REVIEW**

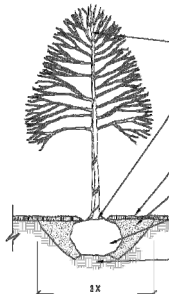
Revisions		
Number	Description	Date
1	CITY OF RALEIGH COMMENTS	9/30/21
2	CITY OF RALEIGH COMMENTS	11/1/21

**UTILITY PLAN**

**CE-4**

Date Issued: 07/29/2021





DO NOT PRUNE LEADER. PRUNE OR CUT ONLY DEAD OR DAMAGED BRANCHES TO AMERICAN NATIONAL STANDARD TREE CARE (ANSI) STANDARDS.

REMOVE EXCESS SOIL TO EXPOSE THE ROOT FLARE. THE ROOT FLARE SHALL BE PLANTED AT GRADE, NO HIGHER THAN 2" ABOVE GRADE, AND NEVER BELOW GRADE. TREE SHALL BE SET PLUMB.

MULCH DEPTH NOT MORE THAN 3". KEEP MULCH 3" FROM ROOT FLARE AND DO NOT CONTACT STEM.

PLANTING SOIL MIX AROUND ROOT BALL 80% CUT OF SOIL OR STRUCTURAL SOIL REQUIRED PER TREE.

COMPLETELY REMOVE TOP HALF OF BURLAP, LACING STRUNG, BALLS AND WIRE BASKET AND DISCARD FROM HOLE. ALL SYNTHETIC BURLAP MUST BE REMOVED FROM SIDES OF ROOT BALL.

ROOT BALL SHALL BE PLACED DIRECTLY ON COMPACTED SUBGRADE. HANDLE TREE BY THE ROOT BALL ONLY.

CONTACT INFORMATION:  
CITY OF RALEIGH PARKS, RECREATION AND CULTURAL RESOURCES DEPARTMENT URBAN FORESTER:  
TREES@RALEIGH-NC.GOV  
WWW.RALEIGH-NC.GOV

**NOTES:**

- TREES MUST MEET THE TREE QUALITY STANDARDS IN CH. 4 OF THE CITY TREE MANUAL.
- CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITS. (POSITIVE DRAINAGE AWAY FROM PIT)
- TREES SHALL BE PLANTED BETWEEN OCTOBER 1ST AND APRIL 30TH.
- A TREE IMPACT PERMIT IS REQUIRED.
- ELECTRICAL, OUTLETS AND OTHER UTILITIES ARE PROHIBITED IN THE PLANTING AREA IMMEDIATELY SURROUNDING THE TREE.
- IF STAKING IS ACCORDANCE WITH THE CITY TREE MANUAL, THE STAKING MUST BE REMOVED WITHIN ONE YEAR.
- TREES WILL HAVE A MINIMUM 1 YEAR WARRANTY AFTER THE INITIAL PLANTING IS APPROVED BY THE CITY.

**CITY OF RALEIGH STANDARD DETAIL**

REVISION	DATE	DESCRIPTION
1	07/25/2021	TREE PLANTING DETAIL

**TTP-03**

**City of Raleigh Planting Requirements:**

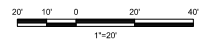
1) STREET TREES:  
JEAN DRIVE:  
394' / 40' LF = 9 Canopy trees  
Provided: (9) 3" Caliper Overcup Oak trees at ~40' spacing.

PLANT SCHEDULE		KEY	BOTANICAL / COMMON NAME	SIZE	ROOT	HT/SPREAD	REMARKS
	Q1	Quercus Lyrate / Overcup Oak	3" CAL 102 HT.	B & B	45'-0" HT.	45' SPREAD	

**LEGEND:**

- BM BOOK OF MAPS
- DB EXISTING FIRE HYDRANT
- PG PAGE
- N/W NOW OR FORMERLY
- R/W RIGHT OF WAY
- EP EXISTING IRON PIPE
- SMAG EXISTING MAG NAIL
- EPK EXISTING PK NAIL
- CRS EXISTING RAILROAD SPIKE
- DNAL EXISTING NAIL FOUND
- EPF EXISTING RAIL FOUND
- ECM EXISTING CONCRETE MONUMENT
- WPS MAIN PIPE SET
- MAG MAG
- CP COMPUTED POINT
- REH REINFORCED CONCRETE STORM PIPE
- PP POWER POLE
- QUT QUT ANCHORS

- PROPOSED INSERTION VALVE
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- EXISTING WATER VALVE
- PROPOSED WATER VALVE
- PROPOSED WATER REDUCER
- EXISTING WATER REDUCER
- EXISTING WATER METER
- PROPOSED WATER METER
- EXISTING HOT BOX
- PROPOSED HOT BOX
- EXISTING MANHOLE
- PROPOSED MANHOLE
- BOUNDARY LINE
- RIGHT OF WAY LINE
- LINE NOT SURVEYED
- EASEMENT LINES
- OVERHEAD ELECTRICAL LINES
- EXISTING WATER LINE
- PROPOSED WATER LINE
- EXISTING SANITARY SEWER LINE
- PROPOSED SANITARY SEWER LINE
- EXISTING STORM DRAINAGE LINE
- PROPOSED STORM DRAINAGE LINE





**WLD**  
WAKE LAND DESIGN, PLLC  
CIVIL ENGINEERING  
PROJECT MANAGEMENT  
LAND PLANNING  
RALEIGH ZONING SPECIALISTS

NC LICENSE P41839  
PHONE: 919-889-2614  
EMAIL: JASON@WAKELANDDESIGN.COM  
P.O. BOX 418  
CLAYTON, NC 27328

Submittals



Client

**REDEEMING DEVELOPMENT GROUP, LLC**  
618 CUMBERLAND ST.  
RALEIGH, NC 27610

Project

**JEAN DRIVE COTTAGES**

Phase

**SUBDIVISION REVIEW**

Revisions		
Number	Description	Date
1	CITY OF RALEIGH COMMENTS	9/30/21
2	CITY OF RALEIGH COMMENTS	11/1/21

Drawing Title

**LANDSCAPE PLAN**

Sheet Number

**LA-1**

Date Issued: 07/25/2021