



Administrative Approval Action

Case File / Name: SUB-0051-2023
DSLCL - 1801 Lynn Road Subdivision

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This 0.99 acre parcel, specifically identified as 1801 Lynn Road, is located on the corner of Lynn Road and Ben Bur Road; north of Valley Estates Drive, south of Oak Ridge Drive, east of Creedmoor Road, and west of Lead Mine Road. The property is zoned R-6.

REQUEST: **REVISION**

This plan proposes subdividing this vacant parcel into 12 lots. All lots will be developed with tiny houses. Five lots, lots 1-5 abutting Lynn Road, meet the tiny house standards of UDO Section 2.2.8 with a minimum size of 3,000 square feet. Lots 6-11 are flag lots meeting the standards of UDO Section 2.6.4 with a minimum size of 3,500 square feet and frontage on Lynn Road. Lot 12 is a standard tiny house lot and has frontage on Ben Bur Road. All lots will utilize a shared alley off Ben Bur Road via a cross access easement.

The original plan was approved on 5/1/24 with a sunset date of 5/1/27. The sunset date for this approval is unchanged.

Original Request:

This plan proposes subdividing this vacant parcel into 12 lots for townhouse and tiny house development. Each lot is a minimum 3,000 square feet. Lots 1-8, which abut Lynn Road, will be developed with townhouses. Lot 12 will also be developed with a tiny house. All lots will utilize a shared driveway off Ben Bur Road via a cross access easement.

DESIGN ADJUSTMENT(S)/ ALTERNATES, ETC:

FIL-0071-2024: DSENG - Fee-In-Lieu Estimator/Fee-In-Lieu Estimator
SPR-0157-2024: DSLCL - Site Permitting Review/Major [Signature Set]

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated December 12, 2024 by Madison Holding LLC.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

SITE PERMITTING REVIEW - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

Stormwater

1. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).



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2. These lots are exempt per UDO Section 9.2.2.A.2.b.i as a residential subdivision of one acre or less approved after May 1, 2001, but are subject to impervious limitations of subsection A.4 and subject to further review upon placement of impervious surface areas.

RECORDED MAP(S) - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

Engineering

1. A sidewalk deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
2. A 5' utility placement easement deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
3. A fee-in-lieu for 6' sidewalk along Bill Bur Rd is paid to the City of Raleigh (UDO 8.1.10).
4. A cross access agreement among the lots identified shall be approved by the Development Services Department for recording in the Wake County Registry, and a copy of the recorded cross access easement shall be returned to the Development Services Department within one day of plat recordation. If a recorded copy of the document is not provided within this time, further recordings and building permit issuance will be withheld.
5. A public infrastructure surety shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.

Public Utilities

6. Site Permit Review plans (SPR) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.



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Stormwater

7. The maximum allocated impervious area for all applicable lots in the subdivision should be identified on all maps for recording.

Urban Forestry

8. A public infrastructure surety for 11 street trees along Lynn Rd and 5 street trees along Ben Bur Rd shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.

BUILDING PERMITS - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

General

1. Demonstrate full compliance with the Flag Lot and Tiny House standards including, but not limited to, building height, setbacks, maximum floor area, and maximum building footprint.

Engineering

2. A Traffic Control and Pedestrian (TCPED) Plan must be approved and a right-of-way occupancy permit must be obtained from Right-of-way Services for any construction activities within the right-of-way.

Public Utilities

3. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

Stormwater

4. These lots are exempt per UDO Section 9.2.2.A.2.b.i as a residential subdivision of one acre or less approved after May 1, 2001, but are subject to impervious limitations of subsection A.4 and subject to further review upon placement of impervious surface areas.
5. Impervious restrictions for each lot must be recorded on a plat prior to building permit issuance.
6. If total land disturbance will be over 12,000 sq. ft. for multiple houses, a separate site plan submittal & approval will be required. Site plans require an erosion control plan. (UDO 9.4.6.)

Urban Forestry

PRELIMINARY SUBDIVISION PLANS

1801 LYNN ROAD SUBDIVISION

Table with 2 columns: Revision Number, Date, Description. Revisions include 11/09/2023, 01/17/2024, 08/27/2024, 12/12/2024.

Preliminary Subdivision Application

Site Review Planning and Development Customer Service Center - One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



INSTRUCTIONS: This form is used when submitting a Preliminary Subdivision (UDO Section 10.2.5). Please check the appropriate review type and include the plan checklist document. Please email all documents and your preliminary subdivision plans to SiteReview@raleighnc.gov.

Development Options (UDO Chapter 2) with checkboxes for Conventional Subdivision, Compact Development, Conservation Development, Cottage Court, Flag lot, Frequent Transit Development Option.

General Information section including Scoping/sketch plan case number(s), Development name, Property Address(es), Recorded Deed PIN(s), Building type(s).

Current Property Owner/Applicant/Developer Information section including Current Property Owner(s) Names, Company, Address, Phone, Applicant Name, Relationship to owner, Developer Contact Names.

Revision 05.07.24 raleighnc.gov

UDO SEC. 9.1 TREE CONSERVATION N/A IN ACCORDANCE WITH UDO 9.1.2, TREE CONSERVATION REQUIREMENTS ARE NOT APPLICABLE DUE TO THE SITE AREA BEING 0.985 ACRES WHICH IS LESS THAN THE 2.0 ACRE MINIMUM SITE AREA APPLICABILITY. ACCORDINGLY NO TREE CONSERVATION PLAN IS PRESENTED WITH THIS APPLICATION.

UDO SEC. 7.4 SITE LIGHTING N/A UDO 7.4 IS NOT APPLICABLE BECAUSE NO SITE LIGHTING IS PROPOSED OTHER THAN IN THE PUBLIC RIGHT-OF-WAY. ACCORDINGLY, NO LIGHTING PLAN IS PRESENTED WITH THIS APPLICATION.

UDO SEC. 8.3.2.A BLOCK PERIMETER N/A THE LEAST RESTRICTIVE ZONING WITHIN THE BLOCK IS R-6. THEREFORE, IN ACCORDANCE WITH UDO 8.3.2.A.2.b, BLOCK PERIMETER IS NOT APPLICABLE DUE TO THE SITE AREA BEING 0.985 ACRES WHICH IS LESS THAN THE MINIMUM SITE AREA APPLICABILITY FOR R-6 ZONING.

UDO SEC. 8.3.5.D CROSS ACCESS N/A IN ACCORDANCE WITH UDO 8.3.5.D.5.A CROSS ACCESS REQUIREMENTS ARE NOT APPLICABLE TO THE PROPOSED DEVELOPMENT BECAUSE THE ADJUTING PROPERTIES ARE ZONED R-4 AND OCCUPIED BY EXISTING DETACHED BUILDING TYPES.

UDO SEC. 9.2 STORMWATER MGMT N/A IN ACCORDANCE WITH UDO 9.2.2.A.2.b, ACTIVE STORMWATER MANAGEMENT IS NOT APPLICABLE DUE TO THE SITE AREA BEING 0.985 ACRES WHICH IS LESS THAN THE 1.0 ACRE MIN. SITE AREA APPLICABILITY. THE APPLICANT WILL RECORD ON THE FINAL PLAT MAXIMUM IMPERVIOUS AREA FOR EACH LOT PER UDO 9.2.2.A.4.a.

UDO SEC. 8.5 STREET CROSS SECTIONS N/A THIS DEVELOPMENT IS EXEMPT FROM CONSTRUCTION AND FEE-IN-LIEU REQUIREMENTS OF UDO 8.5 PER RALEIGH STREET DESIGN MANUAL 5.2.1.B. ALL PROPOSED LOTS IN THIS SUBDIVISION FRONT ON EXISTING PUBLIC STREETS. THE APPLICANT PROPOSES A FEE-IN-LIEU FOR THE WIDENING OF THE SIDEWALK ALONG LYNN ROAD TO 6 FEET AND SIDEWALK ALONG BEN BUR ROAD.

UDO SEC. 9.2.3 WATERCOURSE BUFFERS N/A UDO 9.2.3 WATERCOURSE BUFFERS IS NOT APPLICABLE AS PER NBRRO #2-126, NORTH CAROLINA DEPARTMENT OF ENVIRONMENTAL QUALITY BUFFER DETERMINATION LETTER DATED JUNE 2, 2022 ("NOT SUBJECT").

SUB-0051-2023

1801 LYNN ROAD RALEIGH, NC 27612

JANUARY 17, 2024 REVISED: DECEMBER 12, 2024

VICINITY MAP



SHEET INDEX table with columns: DRAWING, TITLE, REVISION DATE. Lists drawings C-0.0 through C-7.0 including Cover Sheet, Existing Conditions, Demolition, Site Layout, Lot Dimension, Site Utility, Grading and Drainage, Site Details, and Landscape Plan.

TOTAL NUMBER OF DRAWINGS INCLUDED IN SET = 11

Table with columns: DEVELOPER, LANDOWNER, EXISTING PROPERTY DATA. Contains contact information for Madison Holding LLC and property details like site address, parcel area, zoning, and existing land use.



CLIENT: MADISON HOLDING LLC

PRELIMINARY SUBDIVISION REVIEW

COVER SHEET 1801 LYNN ROAD SUBDIVISION CITY OF RALEIGH, NORTH CAROLINA



Table with 2 columns: Zoning Information, Stormwater Information. Includes gross site acreage, zoning districts, stormwater management details, and lot density information.

Applicant Signature Block section with fields for signature, printed name, date, and a detailed disclaimer regarding the application and development approval process.

GENERAL NOTES:

- List of 9 general notes regarding plan approval, construction requirements, improvements, retaining walls, architectural plans, grades, and UDO application details.

DESIGN STANDARD NOTES:

- List of 5 design standard notes regarding infrastructure connection, construction methods, and UDO application requirements.

DEVELOPER MADISON HOLDING LLC 409 RAMBLEWOOD DRIVE RALEIGH, NC 27609

LANDOWNER MADISON HOLDING LLC 409 RAMBLEWOOD DRIVE RALEIGH, NC 27609

CIVIL ENGINEER O'KANE AND ASSOCIATES, PLLC 107 UNION DRIVE, SUITE 202 WASHINGTON, NC 27889 CONTACT: BRIAN O'KANE, PE

SURVEYOR CHANCE SURVEYING COMPANY, P.A. 7283 HIGHWAY 42 W. SUITE 102#336 RALEIGH, NC 27603

INFRASTRUCTURE INSPECTION QUANTITIES table with columns: Item, Quantity. Lists items like Number of Lots, Phases, Units, Buildings, Space, Water/Sewer services, and Average Daily Flow.

PUBLIC SEWER COLLECTION/EXTENSION SYSTEM form with fields for City of Raleigh permit #, authorization to construct, and date.

PUBLIC WATER DISTRIBUTION/EXTENSION SYSTEM form with fields for City of Raleigh permit #, authorization to construct, and date.

ATTENTION CONTRACTORS form with instructions for construction start, notification requirements, and inspection procedures.

SITE INFORMATION TABLE with columns: Item, Value. Includes zoning, site area, lot dimensions, and setback requirements.

* UDO 2.2.B.C. NO COMPARATIVE SAMPLE CAN BE DEFINED; THEREFORE, THE MINIMUM SETBACK OF THE UNDERLYING DISTRICT APPLIES.

SITE PLAN NOTES:

- List of 2 site plan notes regarding contractor confirmation of permits and construction materials.

RIGHT OF WAY OBSTRUCTION NOTES:

- List of 10 right of way obstruction notes detailing requirements for lane closures, traffic control, and pedestrian access during construction.

STORMWATER NOTE:

THE SITE IS LESS THAN 1 ACRES AND THEREFORE EXEMPT FROM STORMWATER REGULATIONS.

SEWER PERMIT:

THE CITY OF RALEIGH CONSENTS TO THE CONNECTION AND EXTENSION OF THE CITY'S PUBLIC SEWER SYSTEM AS SHOWN ON THIS PLAN. THE MATERIAL AND CONSTRUCTION METHODS USED FOR THIS PROJECT SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY'S PUBLIC UTILITIES HANDBOOK. CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PERMIT #

CITY OF RALEIGH- PLANS AUTHORIZED FOR CONSTRUCTION

PLANS FOR THE PROPOSED USE HAVE BEEN REVIEWED FOR GENERAL COMPLIANCE WITH APPLICABLE CODES. THIS LIMITED REVIEW, AND AUTHORIZATION FOR CONSTRUCTION IS NOT TO BE CONSIDERED TO REPRESENT TOTAL COMPLIANCE WITH ALL LEGAL REQUIREMENTS FOR DEVELOPMENT AND CONSTRUCTION. THE PROPERTY OWNER, DESIGN CONSULTANTS, AND CONTRACTORS ARE EACH RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE CITY, STATE AND FEDERAL LAWS. THIS SPECIFIC AUTHORIZATION BELOW IS NOT A PERMIT, NOR SHALL IT BE CONSIDERED TO PERMIT ANY VIOLATION OF CITY, STATE OR FEDERAL LAW. ALL CONSTRUCTION MUST BE IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL RULES AND REGULATIONS.

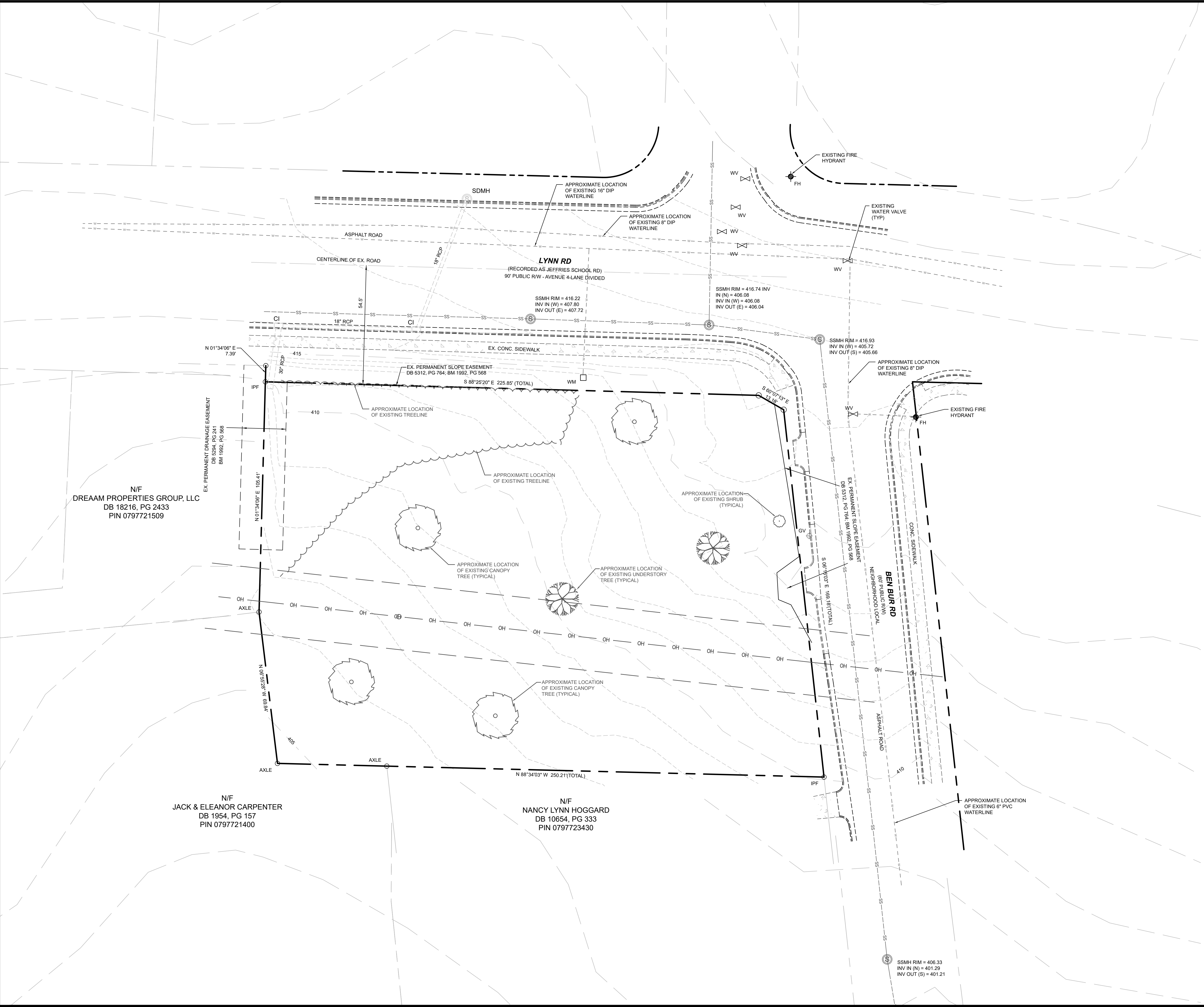
ELECTRONIC APPROVAL: THIS APPROVAL IS BEING ISSUED ELECTRONICALLY. THIS APPROVAL IS VALID ONLY UPON THE SIGNATURE OF A CITY OF RALEIGH REVIEW OFFICER BELOW. THE CITY WILL RETAIN A COPY OF THE APPROVED PLANS. ANY WORK AUTHORIZED BY THIS APPROVAL MUST PROCEED IN ACCORDANCE WITH THE PLANS KEPT ON FILE WITH THE CITY. THIS ELECTRONIC APPROVAL MAY NOT BE EDITED ONCE ISSUED. ANY MODIFICATION TO THIS APPROVAL ONCE ISSUED WILL INVALIDATE THIS APPROVAL.

CITY OF RALEIGH DEVELOPMENT APPROVAL: CITY OF RALEIGH REVIEW OFFICER

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND/OR NC DOT STANDARDS AND SPECIFICATIONS

PRELIMINARY DRAWING NOT RELEASED FOR CONSTRUCTION CASE # - SUB-0051-2023

HORIZONTAL SCALE: N/A VERTICAL SCALE: N/A DATE: 09/06/2023 SHEET NUMBER: C-0.0



DEVELOPER	
MADISON HOLDING LLC 409 RAMBLEWOOD DRIVE RALEIGH, NC 27609 CONTACT: DAVID SMOOT PHONE: 917-355-2122 EMAIL: DAVID.SMOOT@MADISONHOLDING.COM	
LANDOWNER	
MADISON HOLDING LLC 409 RAMBLEWOOD DRIVE RALEIGH, NC 27609 CONTACT: DAVID SMOOT PHONE: 917-355-2122 EMAIL: DAVID.SMOOT@MADISONHOLDING.COM	
EXISTING PROPERTY DATA	
SITE ADDRESS	1801 LYNN ROAD RALEIGH, NC 27612
PIN	0797-72-2547
REID	0087038
PARCEL AREA	42,908.5 SF (0.985 ACRES)
EXISTING ZONING	R-6 (RESIDENTIAL-6)
ZONING CASE	Z-36-2022
ORDINANCE	426ZC845
EXISTING LAND USE	VACANT
WATERSHED	CRABTREE CREEK
RIVER BASIN	NEUSE RIVER
DEED	DB18647 PG162
PLAT REFERENCE	BM 2022 PG 1357
FEMA FLOOD INSURANCE MAP	3720079700J
RECEIVING STREAM	UNNAMED TRIBUTARY TO MINE CREEK STREAM INDEX - 27-33-14 CLASSIFICATION - C,NSW

- EXISTING CONDITIONS NOTES:**
- EXISTING CONDITIONS WITHIN PROPERTY BOUNDARY WERE TAKEN FROM BM 2022 PG 1357.
 - ALL OTHER EXISTING CONDITIONS SHOWN ON THIS PLAN WERE TAKEN FROM WAKE COUNTY GIS AND ARE NOT THE RESULT OF A BOUNDARY OR TOPOGRAPHIC SURVEY.
 - NO ENVIRONMENTAL INVESTIGATION OR DETERMINATIONS HAVE BEEN PERFORMED BY OKANE AND ASSOCIATES ON THE SITE. ANY AND ALL ENVIRONMENTAL INFORMATION SHOWN IS PRELIMINARY AND HAS NOT BEEN VERIFIED BY THE GOVERNING AGENCIES. ALL ENVIRONMENTAL FEATURES SHALL BE CONFIRMED BY APPROPRIATE GOVERNING AGENCY AND SURVEYED PRIOR TO CONSTRUCTION.
 - EXISTING TREES AND TREE LINE SHOWN ON PLANS WERE TAKEN FROM AERIAL PHOTOGRAPHY AND SHOULD BE CONSIDERED APPROXIMATE. ALL EXISTING VEGETATION TO BE REMOVED SHALL BE FIELD LOCATED WITH RESPECT TO THE PROPERTY BOUNDARY PRIOR TO TREE CLEARING ACTIVITIES COMMENCING ON THE SITE.

- EXISTING NATURAL FEATURES:**
- THIS PROPERTY LIES WITHIN THE NEUSE RIVER BASIN. BUFFER DETERMINATION LETTER NBRRO #22-184, DATED JUNE 2ND, 2022 INDICATES THE STREAM FEATURE THAT APPEARS ON THE NRCS SOILS MAP AND IS ADJACENT TO THE SITE IS "NOT SUBJECT" TO STREAM BUFFER REGULATIONS BY NCDCEQ DWR.
 - THIS PROPERTY IS LOCATED IN ZONE X. AREAS OUTSIDE THE 1% ANNUAL CHANCE FLOODPLAIN ACCORDING TO FEMA FLOOD MAP NUMBERS 3720079700J, DATED 5/02/2006.
 - THIS PROPERTY DRAINS TO AN UNNAMED TRIBUTARY (UT) OF MINE CREEK WHICH IS A NAMED TRIBUTARY OF CRABTREE CREEK WHICH LIES IN THE NEUSE RIVER BASIN.

- GIS SOILS INFORMATION:**
- SOILS INFORMATION FOR THE PROJECT WAS TAKEN FROM WAKE COUNTY GIS.
 - THE SOIL BOUNDARY SHOWN IS FROM GIS DATA AND IS APPROXIMATE.
 - THE SOIL TYPES ON THIS SITE ARE:
C1C - CECIL-URBAN LAND COMPLEX, 2 TO 10 PERCENT SLOPES (HYDROLOGIC SOIL GROUP-A)
(100% OF SITE AREA)

EXISTING CONDITIONS LEGEND

	EXISTING PROPERTY BOUNDARY
	EX. ADJACENT PROPERTY LINE
	EXISTING RIGHT-OF-WAY
	EX. CURB AND GUTTER
	EX. PAVEMENT EDGE
	EXISTING CONC. SIDEWALK
	EXISTING MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	EXISTING EASEMENT
	EXISTING ROAD CENTERLINE
	EXISTING STORM PIPE
	EXISTING STORM STRUCTURES
	EXISTING GIS WATERLINE
	EX FIRE HYDRANT AND VALVE
	EXISTING GRAVITY SEWER
	EX SANITARY SEWER MANHOLE
	EX SANITARY SEWER MANHOLE
	EXISTING CONCRETE
	EXISTING GIS PROPERTY LINE
	EXISTING GIS CONTOUR
	APPROX. LOCATION OF EXISTING TREES AND SHRUBS
	APPROX. LOCATION OF EXISTING TREELINE

REVISIONS

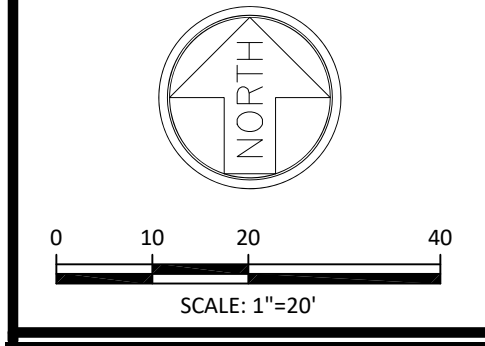
1	11/09/2023	REVISED PER CITY OF RALEIGH
2	01/17/2024	REVISED PER CITY OF RALEIGH
3	08/27/2024	AMMENDMENT LAYOUT REVISIONS
4	12/12/2024	AMMENDMENT LAYOUT REVISIONS



CLIENT:
MADISON HOLDING LLC

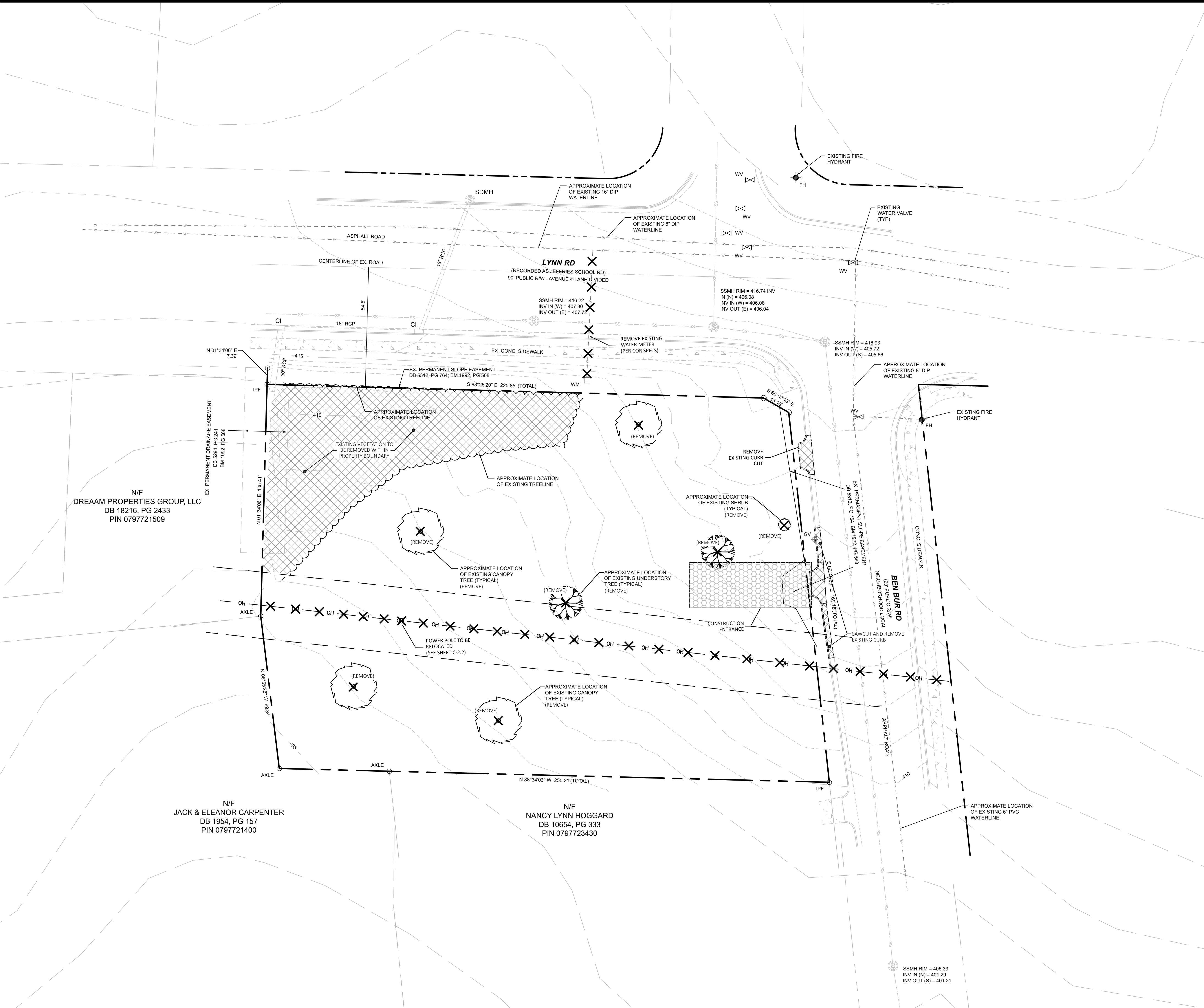
PRELIMINARY SUBDIVISION REVIEW

EXISTING CONDITIONS PLAN
1801 LYNN ROAD SUBDIVISION
CITY OF RALEIGH, NORTH CAROLINA



HORIZONTAL SCALE:	1"=20'
VERTICAL SCALE:	N/A
DATE:	09/06/2023
SHEET NUMBER:	C-1.0

PRELIMINARY DRAWING
NOT RELEASED FOR CONSTRUCTION
CASE # - SUB-0051-2023



- DEMOLITION NOTES:**
- REMOVE/ DEMOLISH/ ABANDON AFTER EROSION CONTROL MEASURES ARE IN PLACE AND APPROVAL OF THE ENGINEER.
 - DO NOT INTERRUPT EXISTING UTILITIES SERVING FACILITIES OCCUPIED BY THE OWNER OR OTHERS EXCEPT WHEN PERMITTED UNDER THE FOLLOWING CONDITIONS AND THEN ONLY AFTER ARRANGING TO PROVIDE ACCEPTABLE TEMPORARY UTILITY SERVICES. (1) NOTIFY ARCHITECTS NOT LESS THAN 72 HOURS IN ADVANCE OF PROPOSED UTILITY INTERRUPTIONS. (2) DO NOT PROCEED WITH UTILITY INTERRUPTIONS WITHOUT RECEIVING ARCHITECTS WRITTEN PERMISSION.
 - SUBSURFACE FEATURES ARE SHOWN IN APPROXIMATE LOCATION. CONTRACTOR IS RESPONSIBLE FOR SUBSURFACE UTILITY EXPLORATION TO DETERMINE UTILITY LOCATIONS AND DEPTHS.
 - VERIFY LOCATIONS AND SIZES OF ALL EXISTING FEATURES PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 - LOCATE EXISTING UTILITIES PRIOR TO CONSTRUCTION, AND REPAIR ANY DAMAGES TO EXISTING UTILITIES RESULTING FROM CONSTRUCTION.
 - REMOVE ALL EXISTING ON-SITE TRASH AND DEBRIS. TRASH AND DEBRIS SHALL BE REMOVED AND DISPOSED OF OFF-SITE IN A LEGAL MANNER.
 - DRAWINGS DO NOT SHOW ALL EXISTING UTILITIES. EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES. THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
 - THE LOCATION OF EXISTING UNDERGROUND UTILITIES INDICATED IS APPROXIMATE ONLY. FIELD LOCATE ALL EXISTING UTILITIES IN THE AREA OF WORK, REGARDLESS OF WHETHER OR NOT THEY ARE INDICATED. CALL "NO ONE CALL" PRIOR TO THE START OF DEMOLITION WORK FOR ASSISTANCE IN LOCATING EXISTING UNDERGROUND UTILITIES.
 - NOTIFY AND COORDINATE ANY REQUIRED RELOCATION AND/OR REMOVAL OF EXISTING UNDERGROUND UTILITIES, POLES, METERS OR OTHER ABOVE GROUND APPURTENANCES WITH THE APPROPRIATE UTILITY COMPANY (I.E. POWER, TELEPHONE, CABLE AND NATURAL GAS/PROPANE) PRIOR TO THE START OF SELECTIVE DEMOLITION WORK.
 - SHOULD UNCHARTED OR INCORRECTLY CHARTED EXISTING UTILITIES BE IDENTIFIED, CONTACT THE ARCHITECT IMMEDIATELY FOR INSTRUCTIONS. PROVIDE A SCALE DRAWING WITH THE LOCATION OF THE UNCHARTED OR INCORRECTLY CHARTED UTILITIES FOR USE BY THE ARCHITECT IN PREPARING ADDITIONAL DIRECTIONS.

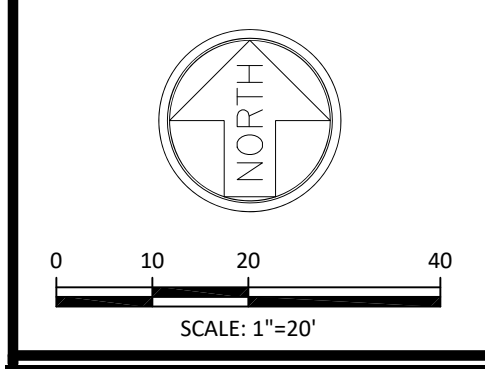
REVISIONS	
1	11/09/2023 REVISED PER CITY OF RALEIGH
2	01/17/2024 REVISED PER CITY OF RALEIGH
3	08/27/2024 AMMENDMENT LAYOUT REVISIONS
4	12/12/2024 AMMENDMENT LAYOUT REVISIONS

KANE & ASSOCIATES, PLLC
 107 UNION DRIVE, SUITE 202
 WASHINGTON, NORTH CAROLINA
 PHONE: 252-702-1910
 FIRM NC LICENSE NUMBER: P-2529

CLIENT:
MADISON HOLDING LLC

PRELIMINARY SUBDIVISION REVIEW

SHEET TITLE:
DEMOLITION PLAN
1801 LYNN ROAD
SUBDIVISION
 CITY OF RALEIGH, NORTH CAROLINA



DEMOLITION LEGEND

	REMOVE
	REMOVE
	CONSTRUCTION ENTRANCE

PRELIMINARY DRAWING
 NOT RELEASED FOR CONSTRUCTION
 CASE # - SUB-0051-2023

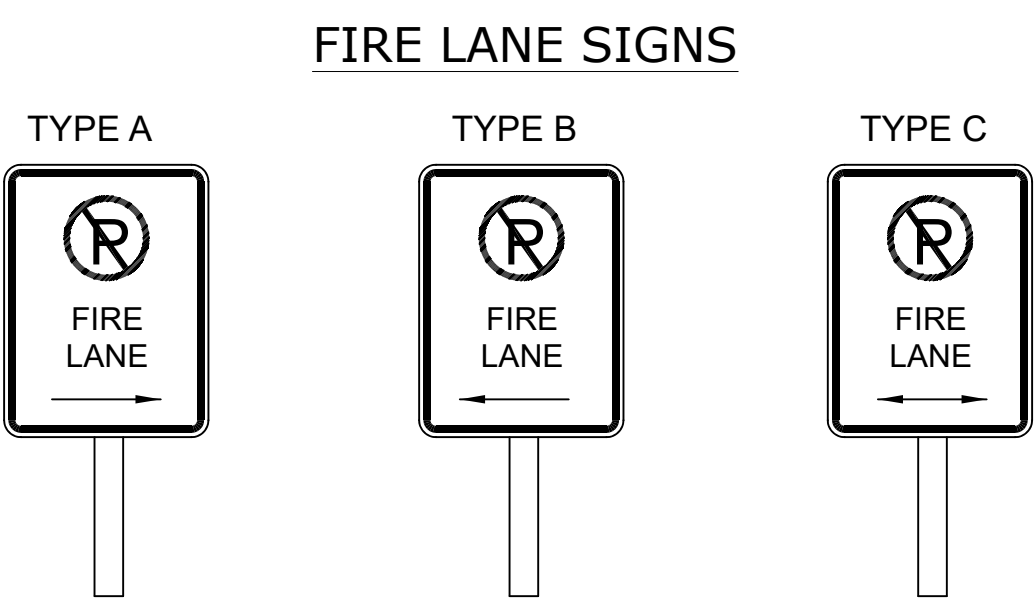
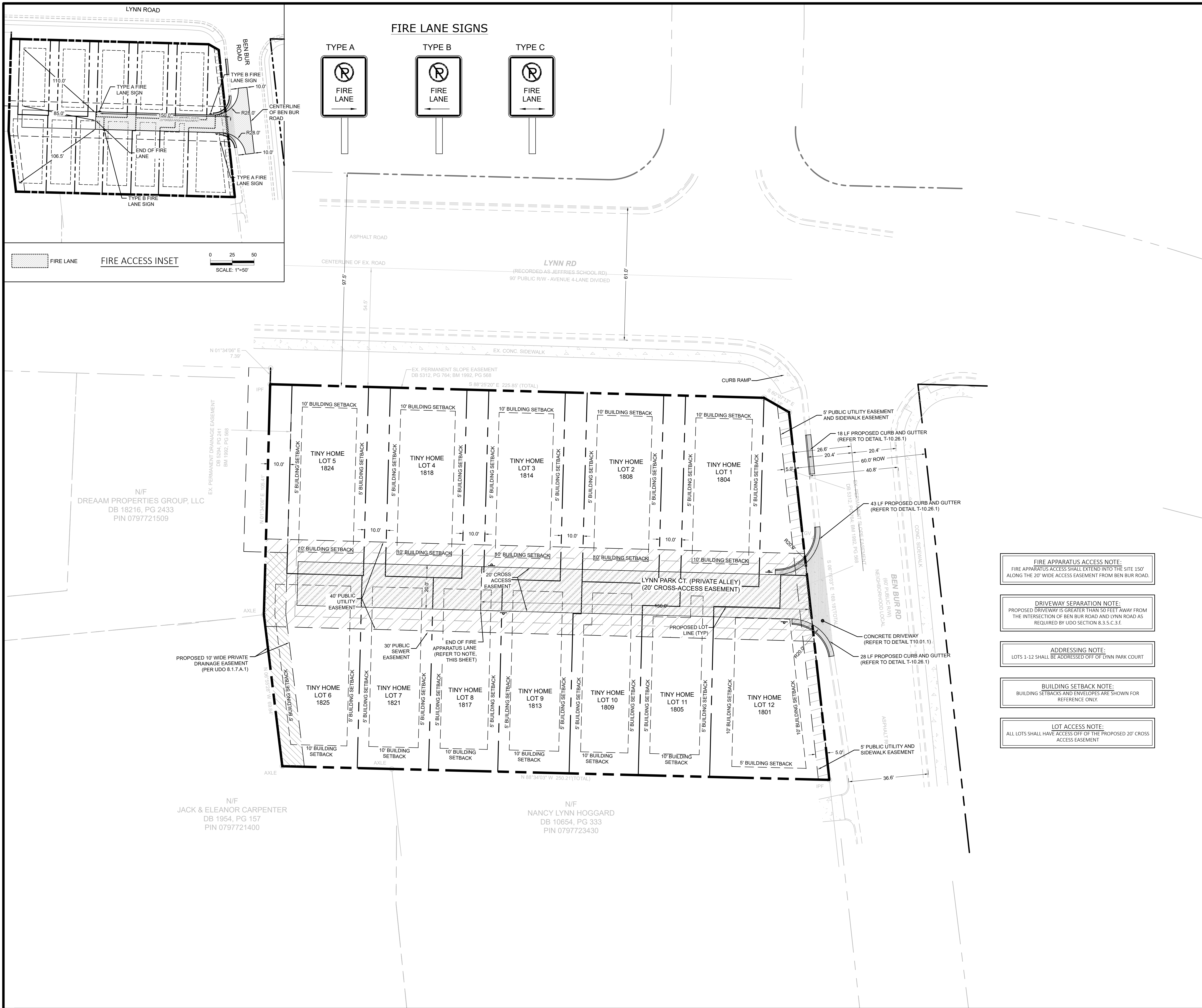
HORIZONTAL SCALE:	1"=20'
VERTICAL SCALE:	N/A
DATE:	09/06/2023
SHEET NUMBER:	C-1.1

N/F
 DREAM PROPERTIES GROUP, LLC
 DB 18216, PG 2433
 PIN 0797721509

N/F
 JACK & ELEANOR CARPENTER
 DB 1954, PG 157
 PIN 0797721400

N/F
 NANCY LYNN HOGGARD
 DB 10654, PG 333
 PIN 0797723430

SSMH RIM = 406.33
 INV IN (N) = 401.29
 INV OUT (S) = 401.21



FIRE APPARATUS ACCESS NOTE:
FIRE APPARATUS ACCESS SHALL EXTEND INTO THE SITE 150' ALONG THE 20' WIDE ACCESS EASEMENT FROM BEN BUR ROAD.

DRIVEWAY SEPARATION NOTE:
PROPOSED DRIVEWAY IS GREATER THAN 50 FEET AWAY FROM THE INTERSECTION OF BEN BUR ROAD AND LYNN ROAD AS REQUIRED BY UDO SECTION 8.3.5.C.3.I.

ADDRESSING NOTE:
LOTS 1-12 SHALL BE ADDRESSED OFF OF LYNN PARK COURT

BUILDING SETBACK NOTE:
BUILDING SETBACKS AND ENVELOPES ARE SHOWN FOR REFERENCE ONLY.

LOT ACCESS NOTE:
ALL LOTS SHALL HAVE ACCESS OFF OF THE PROPOSED 20' CROSS ACCESS EASEMENT

SITE INFORMATION TABLE	
EXISTING ZONING	R-6 (RESIDENTIAL-6)
PROPOSED ZONING	R-6 (RESIDENTIAL-6)
EXISTING SITE AREA	42,908.5 SF (0.985 ACRES)
R/W DEDICATION	0 SF (0 ACRES)
OTHER DEDICATION	0 SF (0 ACRES)
PROPOSED NET SITE AREA	42,908.5 SF (0.985 ACRES)
PROPOSED USE	TINY HOMES
R-6 DIMENSIONAL STANDARDS (TINY HOUSES / FLAG LOTS)	
A. LOT DIMENSIONS	
AREA (MIN)	3,000 SF / 3,500 SF
MIN LOT WIDTH	35' / 10'
MIN LOT DEPTH	50' / 50'
B. PRINCIPAL BUILDING SETBACKS	
FROM PRIMARY STREET (MIN.)	10' / 10'
FROM SIDE STREET (MIN.)	10' / 10'
FROM SIDE LOT LINE (MIN.)	5' / 5'
RESIDUAL LOT BNDY LIN (MIN.)	N/A / 5'
FROM REAR LOT LINE (MIN.)	10' / 10'
SETBACK - FROM ALLEY (MIN.)	N/A / 4' OR 20' MIN
RESIDENTIAL INFILL RULES	YES / NO *

* UDO 2.2.1.B.c NO COMPARATIVE SAMPLE CAN BE DEFINED; THEREFORE, THE MINIMUM SETBACK OF THE UNDERLYING DISTRICT APPLIES.

SITE PLAN NOTES:

- CONTRACTOR SHALL CONFIRM THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED FOR THE PROPOSED CONSTRUCTION. BEGINNING ANY ASPECT OF CONSTRUCTION OR FABRICATING ANY ITEM PRIOR TO RECEIVING ALL PLANS AND APPROPRIATE DOCUMENTATION OF APPROVAL SHALL CAUSE THE CONTRACTOR TO ASSUME FULL RESPONSIBILITY FOR ANY SUBSEQUENT MODIFICATIONS TO THEIR WORK.
- THE CONTRACTOR SHALL CONFIRM THAT ALL THE CONSTRUCTION MATERIALS ARE IN ACCORDANCE WITH THE PERMITS ISSUED AND THE LATEST APPLICABLE FEDERAL, STATE, COUNTY AND LOCAL CODES. IN THE EVENT OF CONFLICT BETWEEN ANY OF THESE STANDARDS, SPECIFICATIONS, OR PLANS, THE MOST STRINGENT SHALL GOVERN.

SITE PLAN LEGEND	
	PROPOSED RIGHT-OF-WAY
	PROPOSED PROPERTY LINE
	PROPOSED LOT LINE
	PROPOSED ROAD CENTERLINE
	BUILDING SETBACK / MBL BUFFERYARD
	PROPOSED CURB AND GUTTER
	PROPOSED EDGE OF PAVEMENT
	PROPOSED EDGE OF SIDEWALK
	PROPOSED BUILDING FACE
	PROPOSED PARKING STRIPE
	PROPOSED EASEMENT
	PROPOSED FENCE
	PROPOSED CONCRETE
	PROPOSED ASPHALT PAVEMENT
	PROPOSED CROSS ACCESS EASEMENT
	PROPOSED PRIVATE DRAINAGE EASEMENT
	PROPOSED CITY OF RALEIGH PUBLIC UTILITY EASEMENT

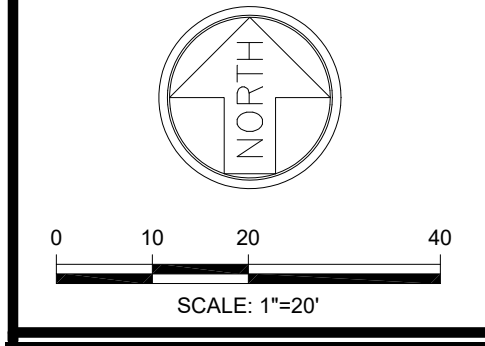
REVISIONS	
1	11/09/2023 REVISED PER CITY OF RALEIGH
2	01/17/2024 REVISED PER CITY OF RALEIGH
3	08/27/2024 AMMENDMENT LAYOUT REVISIONS
4	12/12/2024 AMMENDMENT LAYOUT REVISIONS

KANE & ASSOCIATES, PLLC
107 UNION DRIVE, SUITE 202
WASHINGTON, NORTH CAROLINA
PHONE: 252-702-1910
FIRM LICENSE NUMBER: P-2529

CLIENT:
MADISON HOLDING LLC

PRELIMINARY SUBDIVISION REVIEW

SHEET TITLE:
1801 LYNN ROAD SUBDIVISION
CITY OF RALEIGH, NORTH CAROLINA



HORIZONTAL SCALE:	1"=20'
VERTICAL SCALE:	N/A
DATE:	09/06/2023
SHEET NUMBER:	C-2.0

PRELIMINARY DRAWING
NOT RELEASED FOR CONSTRUCTION
CASE # - SUB-0051-2023

LYNN RD
 (RECORDED AS JEFFRIES SCHOOL RD)
 90' PUBLIC R/W - AVENUE 4-LANE DIVIDED

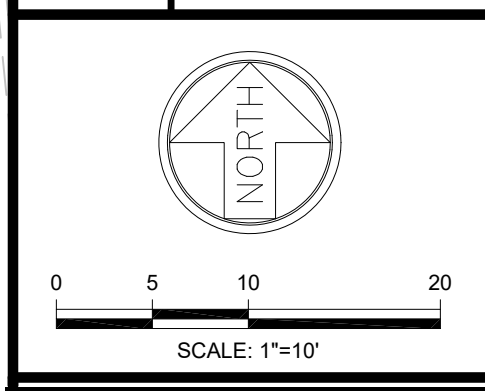
REVISIONS	
1	11/09/2023 REVISED PER CITY OF RALEIGH
2	01/17/2024 REVISED PER CITY OF RALEIGH
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 PHONE: 252-702-1910
 FIRM NC LICENSE NUMBER: P-2529

CLIENT:
MADISON HOLDING LLC

PRELIMINARY
 SUBDIVISION REVIEW

SHEET TITLE:
LOT DIMENSION PLAN
1801 LYNN ROAD
SUBDIVISION
 CITY OF RALEIGH, NORTH CAROLINA



HORIZONTAL SCALE:	1"=10'
VERTICAL SCALE:	N/A
DATE:	09/06/2023
SHEET NUMBER:	C-2.1

N/F
 DREAM PROPERTIES GROUP, LLC
 DB 18216, PG 2433
 PIN 0797721509

N/F
 JACK & ELEANOR CARPENTER
 DB 1954, PG 157
 PIN 0797721400

TINY HOME LOT
LOT 6
 AREA = 0.101 AC.
 4,427.62 S.F.
 (2,008 S.F. MAX IMPERVIOUS)

TINY HOME LOT
LOT 7
 AREA = 0.086 AC.
 3,735.87 S.F.
 (1,905 S.F. MAX IMPERVIOUS)

TINY HOME LOT
LOT 8
 AREA = 0.083 AC.
 3,645.80 S.F.
 (1,859 S.F. MAX IMPERVIOUS)

TINY HOME LOT
LOT 9
 AREA = 0.086 AC.
 3,785.38 S.F.
 (1,930 S.F. MAX IMPERVIOUS)

TINY HOME LOT
LOT 10
 AREA = 0.086 AC.
 3,759.23 S.F.
 (1,917 S.F. MAX IMPERVIOUS)

TINY HOME LOT
LOT 11
 AREA = 0.099 AC.
 4,312.66 S.F.
 (2,199 S.F. MAX IMPERVIOUS)

TINY HOME LOT
LOT 12
 AREA = 0.093 AC.
 4,059.29 S.F.
 (2,070 S.F. MAX IMPERVIOUS)

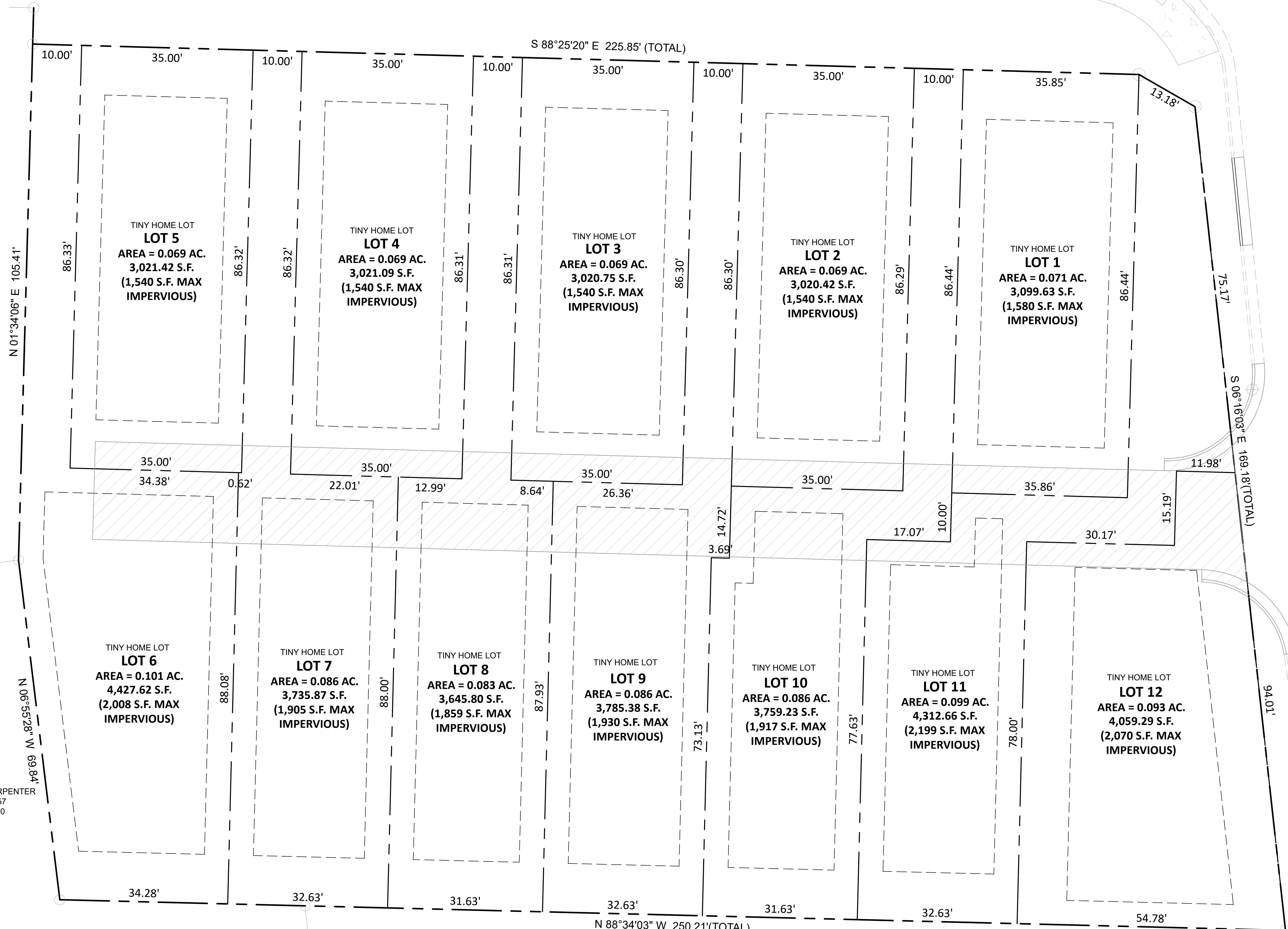
TINY HOME LOT
LOT 5
 AREA = 0.069 AC.
 3,021.42 S.F.
 (1,540 S.F. MAX IMPERVIOUS)

TINY HOME LOT
LOT 4
 AREA = 0.069 AC.
 3,021.09 S.F.
 (1,540 S.F. MAX IMPERVIOUS)

TINY HOME LOT
LOT 3
 AREA = 0.069 AC.
 3,020.75 S.F.
 (1,540 S.F. MAX IMPERVIOUS)

TINY HOME LOT
LOT 2
 AREA = 0.069 AC.
 3,020.42 S.F.
 (1,540 S.F. MAX IMPERVIOUS)

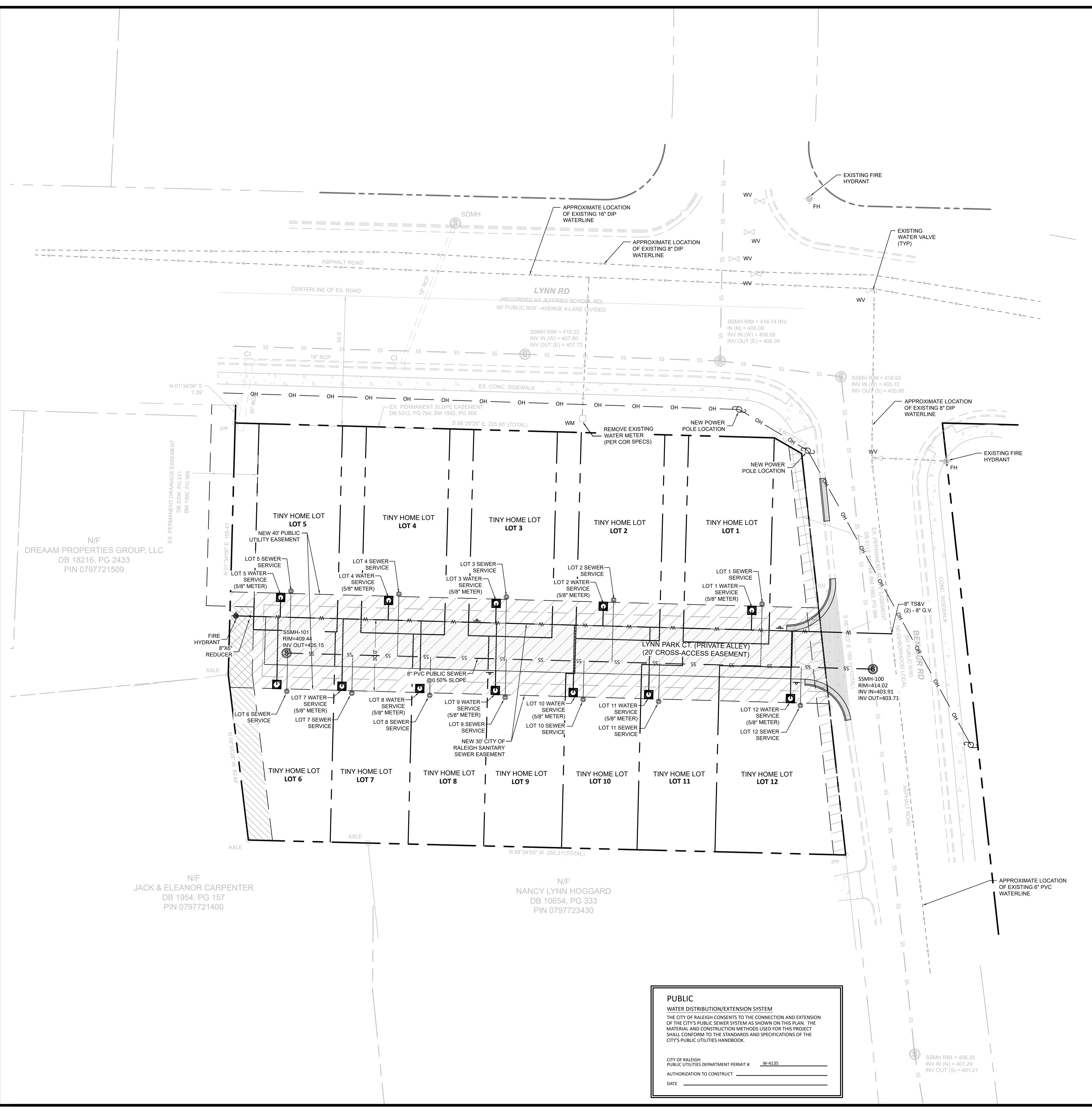
TINY HOME LOT
LOT 1
 AREA = 0.071 AC.
 3,099.63 S.F.
 (1,580 S.F. MAX IMPERVIOUS)



N/F
 JACK & ELEANOR CARPENTER
 DB 1954, PG 157
 PIN 0797721400

N/F
 NANCY LYNN HOGGARD
 DB 10654, PG 333
 PIN 0797723430

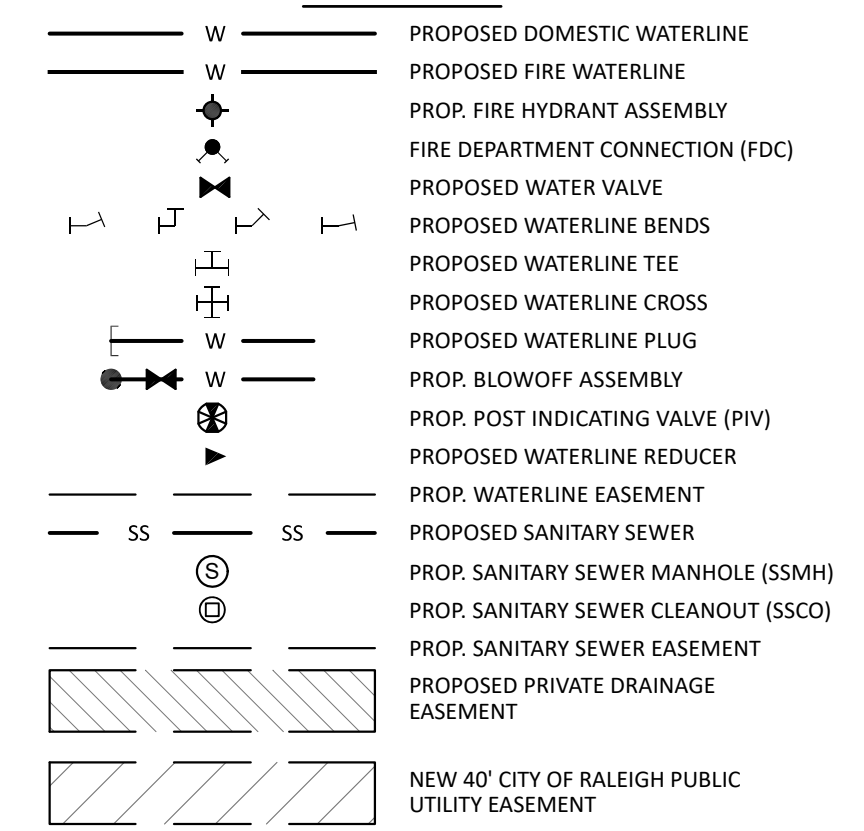
PRELIMINARY DRAWING
 NOT RELEASED FOR CONSTRUCTION
 CASE # - SUB-0051-2023



STANDARD UTILITY NOTES:

- THE DEVELOPER, CONTRACTOR, SUBCONTRACTORS AND SURVEYOR SHALL CONFIRM THAT THE MOST CURRENT SET OF PLANS AND/OR PLAN SHEETS ARE BEING USED FOR CONSTRUCTION AND SHALL KEEP A COPY OF SAID PLANS ON-SITE OR OTHERWISE AVAILABLE FOR REVIEW BY THE OWNER, THE OWNER'S REPRESENTATIVE(S) AND THE PERMITTING AUTHORITIES.
- PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION CONFERENCE WITH REPRESENTATIVES OF THE PERMITTING AUTHORITIES AND A REPRESENTATIVE OF THE OWNER.
- THE CONTRACTOR SHALL CONFIRM THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED FOR THE PROPOSED CONSTRUCTION. BEGINNING ANY ASPECT OF CONSTRUCTION OR FABRICATING ANY ITEM PRIOR TO RECEIVING ALL PLANS AND APPROPRIATE DOCUMENTATION OF APPROVAL SHALL CAUSE THE CONTRACTOR TO ASSUME FULL RESPONSIBILITY FOR ANY SUBSEQUENT MODIFICATIONS TO THEIR WORK.
- THE CONTRACTOR SHALL CONFIRM THAT ALL CONSTRUCTION AND CONSTRUCTION MATERIALS ARE IN ACCORDANCE WITH THE PERMITS ISSUED AND THE LATEST APPLICABLE FEDERAL, STATE, COUNTY, AND LOCAL CODES. IN THE EVENT OF CONFLICT BETWEEN ANY OF THESE STANDARDS, SPECIFICATIONS, OR PLANS, THE MOST STRINGENT SHALL GOVERN.
- THE CONTRACTOR SHALL DETERMINE AND BE RESPONSIBLE FOR THE MEANS AND METHODS NECESSARY FOR THE CONSTRUCTION OF THE PROJECT AS SHOWN ON THESE PLANS.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH THE APPROPRIATE PERMITTING AUTHORITY TO PROVIDE THE REQUIRED COORDINATION, DOCUMENTATION AND INSPECTIONS FOR THE RELOCATION OF, OR CONNECTION TO ANY EXISTING UTILITIES.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING INSPECTIONS REQUIRED TO PREPARE AS-BUILT CERTIFICATIONS.
- THE DEVELOPER IS RESPONSIBLE FOR OBTAINING ANY OFFSITE EASEMENTS.
- PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL VERIFY THAT ALL NECESSARY RIGHT OF WAY, EASEMENTS AND ENCROACHMENT AGREEMENTS HAVE BEEN OBTAINED.
- THE CONTRACTOR SHALL CONFIRM THE LOCATION AND ELEVATION OF ALL EXISTING UTILITIES WITHIN THE LIMITS OF CONSTRUCTION PRIOR TO BEGINNING CONSTRUCTION AND NOTIFY THE OWNER OR ENGINEER OF ANY DISCREPANCIES. BEGINNING CONSTRUCTION PRIOR TO LOCATING UTILITIES WITHIN THE LIMITS OF CONSTRUCTION AND NOTIFYING THE OWNER OR ENGINEER OF ANY DISCREPANCIES SHALL CAUSE THE CONTRACTOR TO ASSUME FULL RESPONSIBILITY FOR ANY SUBSEQUENT MODIFICATIONS TO THEIR WORK.
- DEPARTURES FROM THE APPROVED CONSTRUCTION DRAWINGS, MUNICIPAL SPECIFICATIONS OR ISSUED PERMITS THAT ARE DEEMED NECESSARY SHALL BE COORDINATED WITH THE APPROPRIATE PERMITTING AUTHORITY. CHANGES MADE WITHOUT THE APPROPRIATE APPROVAL SHALL CAUSE THE CONTRACTOR TO ASSUME RESPONSIBILITY FOR ANY SUBSEQUENT MODIFICATIONS TO THEIR WORK.

UTILITY LEGEND



CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

PLANS FOR THE PROPOSED USE HAVE BEEN REVIEWED FOR GENERAL COMPLIANCE WITH APPLICABLE CODES. THIS LIMITED REVIEW AND AUTHORIZATION FOR CONSTRUCTION IS NOT TO BE CONSIDERED TO REPRESENT TOTAL COMPLIANCE WITH ALL LEGAL REQUIREMENTS FOR DEVELOPMENT AND CONSTRUCTION. THE PROPERTY OWNER, DESIGN CONSULTANTS, AND CONTRACTORS ARE EACH RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE CITY, STATE AND FEDERAL LAWS. THIS SPECIFIC AUTHORIZATION BELOW IS NOT A PERMIT, NOR SHALL IT BE CONSTRUED TO PERMIT ANY VIOLATION OF CITY, STATE OR FEDERAL LAW. ALL CONSTRUCTION MUST BE IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL RULES AND REGULATIONS. THIS APPROVAL OF THIS ELECTRONIC DOCUMENT IS ONLY VALID IF THE DOCUMENT HAS NOT BEEN MODIFIED AND THE DIGITAL SIGNATURE BELOW IS VALID:

CITY OF RALEIGH
DEVELOPMENT APPROVAL:

PUBLIC
SEWER COLLECTION/EXTENSION SYSTEM
THE CITY OF RALEIGH CONSENTS TO THE CONNECTION AND EXTENSION OF THE CITY'S PUBLIC SEWER SYSTEM AS SHOWN ON THIS PLAN. THE MATERIAL AND CONSTRUCTION METHODS USED FOR THIS PROJECT SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY'S PUBLIC UTILITIES HANDBOOK.

CITY OF RALEIGH
PUBLIC UTILITIES DEPARTMENT PERMIT # 3-5493
AUTHORIZATION TO CONSTRUCT _____
DATE _____

ATTENTION CONTRACTORS

THE CONSTRUCTION CONTRACTOR RESPONSIBLE FOR THE EXTENSION OF WATER, SEWER, AND/OR REUSE, AS APPROVED IN THESE PLANS, IS RESPONSIBLE FOR CONTACTING THE PUBLIC UTILITIES DEPARTMENT AT (919) 996-4540 AT LEAST TWENTY FOUR HOURS PRIOR TO BEGINNING ANY OF THEIR CONSTRUCTION.

FAILURE TO NOTIFY BOTH CITY DEPARTMENTS IN ADVANCE OF BEGINNING CONSTRUCTION, WILL RESULT IN THE ISSUANCE OF MONETARY FINES, AND REQUIRE REINSTALLATION OF ANY WATER OR SEWER FACILITIES NOT INSPECTED AS A RESULT OF THIS NOTIFICATION FAILURE.

FAILURE TO CALL FOR INSPECTION, INSTALL A DOWNSIDE PLUG, HAVE PERMITTED PLANS ON THE JOB SITE, OR ANY OTHER VIOLATION OF CITY OF RALEIGH STANDARDS WILL RESULT IN A FINE AND POSSIBLE EXCLUSION FROM FUTURE WORK IN THE CITY OF RALEIGH.

CITY OF RALEIGH STANDARD UTILITY NOTES:

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUB HANDBOOK, CURRENT EDITION)
- UTILITY SEPARATION REQUIREMENTS:
A) A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDING RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
B) WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
C) WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASING EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
D) 50' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
E) MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUB DETAILS W41 & S-49).
F) ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION. A DEVELOPER SHALL PROVIDE 30 DAYS ADVANCE WRITTEN NOTICE TO OWNER FOR ANY WORK REQUIRED WITHIN AN EXISTING CITY OF RALEIGH UTILITY EASEMENT TRAVELING PRIVATE PROPERTY. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUB HANDBOOK PROCEDURE
- INSTALL 1/2" COPPER* WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
- INSTALL 4" PVC* SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 10' ABOVE THE NEXT UPSTREAM MANHOLE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE RW FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A UC / BLDG PERMIT. CONTACT (919) 996-4516 OR FOG@RALEIGHNC.GOV FOR MORE INFORMATION.
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICE AND INSTALLATION SHALL MEET THE GUIDELINES OF APPENDIX A - GUIDELINES AND REQUIREMENTS FOR THE CROSS-CONNECTION PROGRAM IN RALEIGH'S SERVICE AREA. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. A CERTIFICATE OF COMPLIANCE SHALL ALSO BE OBTAINED FROM THE RW CROSS-CONNECTION COORDINATOR FOR EACH DEVICE PRIOR TO ISSUANCE OF A UC / BLDG PERMIT. CONTACT (919) 996-5923 OR CROSS.CONNECTION@RALEIGHNC.GOV FOR MORE INFORMATION.
- THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS AND BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST.
- THE DEVICE AND INSTALLATION SHALL MEET THE GUIDELINES OF APPENDIX A - GUIDELINES AND REQUIREMENTS FOR THE CROSS CONNECTION PROGRAM IN RALEIGH'S SERVICE AREA.
- THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT CROSS.CONNECTION@RALEIGHNC.GOV FOR MORE INFORMATION.
- NOTICE FOR PROJECTS WITH REPLACED OR OVERSIZED MAINS: IF THE CITY'S REIMBURSEMENT FOR AN OVERSIZED MAIN OR URBAN MAIN REPLACEMENT PROJECT IS \$250,000 OR GREATER, THE PROJECT MUST BE PUBLICLY BID.

SEWER BYPASS PUMPING:

A BYPASS PLAN SEALED BY A NC PROFESSIONAL ENGINEER MUST BE SUBMITTED TO PUBLIC UTILITIES PRIOR TO PUMPING OPERATIONS TO COORDINATE WITH ADMINISTRATION ENGINEERING STAFF. PUMPS SHOULD BE SIZED TO HANDLE THE PEAK DAILY FLOW (2.5 TIMES THE AVERAGE DAILY FLOW WITH A MINIMUM OF 50 GPM) FOR THE LINE OR AREA OF WORK. THE CONTRACTOR SHALL SECURE PUMPS FROM A PUMP SUPPLIER ACCORDING TO THE PROVIDED FLOW INFORMATION. PUMPING OPERATIONS MUST BE MONITORED 24 HOURS A DAY FOR EACH DAY OF THE PUMPING OPERATION BY QUALIFIED PERSONNEL IN ORDER TO RESPOND TO PROBLEMS OR FAILURES. 100% REDUNDANCY IS REQUIRED FOR PUMPING OPERATIONS. IN ADDITION, BACK UP PUMPS ARE TO BE CONNECTED TO THE BYPASS FORCE MAIN TO FACILITATE IMMEDIATE USE UPON FAILURE OF THE PRIMARY PUMP.

BACKFLOW PREVENTION NOTES:

PROPOSED BACKFLOW PREVENTION DEVICES SHALL BE LOCATED WITHIN THE BUILDINGS AND SHALL COMPLY WITH THE CITY OF RALEIGH PUBLIC UTILITIES HANDBOOK, CITY OF RALEIGH CROSS CONNECTION ORDINANCE AND HANDBOOK, AND DEVICES SHALL BE ON THE CURRENT LIST OF APPROVED BACKFLOW ASSEMBLIES PER THE CITY OF RALEIGH.

REVISIONS	
1	11/09/2023 REVISED PER CITY OF RALEIGH
2	01/17/2024 REVISED PER CITY OF RALEIGH
3	08/27/2024 AMENDMENT LAYOUT REVISIONS
4	12/12/2024 AMENDMENT LAYOUT REVISIONS

KANE & ASSOCIATES, PLLC
107 UNION DRIVE, SUITE 202
WASHINGTON, NORTH CAROLINA
PHONE: 252-702-1910
FIRM NC LICENSE NUMBER: P-2529

CLIENT: **MADISON HOLDING LLC**

PRELIMINARY SUBDIVISION REVIEW

SITE UTILITY PLAN

1801 LYNN ROAD SUBDIVISION

CITY OF RALEIGH, NORTH CAROLINA

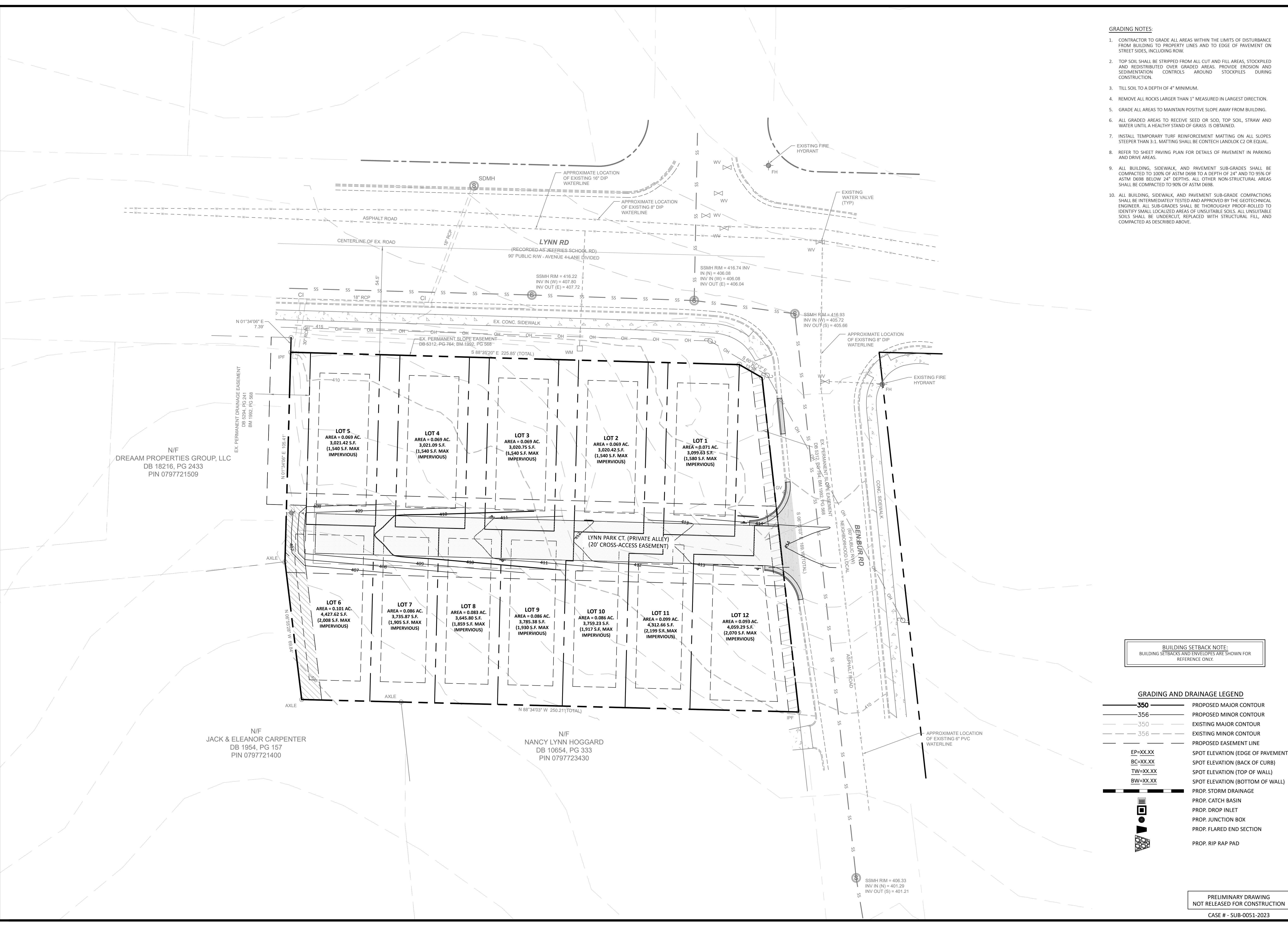
SCALE: 1"=20'

HORIZONTAL SCALE:	1"=20'
VERTICAL SCALE:	N/A
DATE:	09/06/2023
SHEET NUMBER:	C-2.2

PRELIMINARY DRAWING
NOT RELEASED FOR CONSTRUCTION
CASE # - SUB-0051-2023

PUBLIC
WATER DISTRIBUTION/EXTENSION SYSTEM
THE CITY OF RALEIGH CONSENTS TO THE CONNECTION AND EXTENSION OF THE CITY'S PUBLIC WATER SYSTEM AS SHOWN ON THIS PLAN. THE MATERIAL AND CONSTRUCTION METHODS USED FOR THIS PROJECT SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY'S PUBLIC UTILITIES HANDBOOK.

CITY OF RALEIGH
PUBLIC UTILITIES DEPARTMENT PERMIT # W-4135
AUTHORIZATION TO CONSTRUCT _____
DATE _____



- GRADING NOTES:**
- CONTRACTOR TO GRADE ALL AREAS WITHIN THE LIMITS OF DISTURBANCE FROM BUILDING TO PROPERTY LINES AND TO EDGE OF PAVEMENT ON STREET SIDES, INCLUDING ROW.
 - TOP SOIL SHALL BE STRIPPED FROM ALL CUT AND FILL AREAS, STOCKPILED AND REDISTRIBUTED OVER GRADED AREAS. PROVIDE EROSION AND SEDIMENTATION CONTROLS AROUND STOCKPILES DURING CONSTRUCTION.
 - TILL SOIL TO A DEPTH OF 4" MINIMUM.
 - REMOVE ALL ROCKS LARGER THAN 1" MEASURED IN LARGEST DIRECTION.
 - GRADE ALL AREAS TO MAINTAIN POSITIVE SLOPE AWAY FROM BUILDING.
 - ALL GRADED AREAS TO RECEIVE SEED OR SOD, TOP SOIL, STRAW AND WATER UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
 - INSTALL TEMPORARY TURF REINFORCEMENT MATTING ON ALL SLOPES STEEPER THAN 3:1. MATTING SHALL BE CONTECH LANDLOK C2 OR EQUAL.
 - REFER TO SHEET PAVING PLAN FOR DETAILS OF PAVEMENT IN PARKING AND DRIVE AREAS.
 - ALL BUILDING, SIDEWALK, AND PAVEMENT SUB-GRADES SHALL BE COMPACTED TO 100% OF ASTM D698 TO A DEPTH OF 24" AND TO 95% OF ASTM D698 BELOW 24" DEPTHS. ALL OTHER NON-STRUCTURAL AREAS SHALL BE COMPACTED TO 90% OF ASTM D698.
 - ALL BUILDING, SIDEWALK, AND PAVEMENT SUB-GRADE COMPACTIONS SHALL BE INTERMEDIATELY TESTED AND APPROVED BY THE GEOTECHNICAL ENGINEER. ALL SUB-GRADES SHALL BE THOROUGHLY PROOF-ROLLED TO IDENTIFY SMALL LOCALIZED AREAS OF UNSUITABLE SOILS. ALL UNSUITABLE SOILS SHALL BE UNDERCUT, REPLACED WITH STRUCTURAL FILL, AND COMPACTED AS DESCRIBED ABOVE.

BUILDING SETBACK NOTE:
BUILDING SETBACKS AND ENVELOPES ARE SHOWN FOR REFERENCE ONLY.

- GRADING AND DRAINAGE LEGEND**
- 350 PROPOSED MAJOR CONTOUR
 - 356 PROPOSED MINOR CONTOUR
 - 350 EXISTING MAJOR CONTOUR
 - 356 EXISTING MINOR CONTOUR
 - PROPOSED EASEMENT LINE
 - EP=XX.XX SPOT ELEVATION (EDGE OF PAVEMENT)
 - BC=XX.XX SPOT ELEVATION (BACK OF CURB)
 - TW=XX.XX SPOT ELEVATION (TOP OF WALL)
 - BW=XX.XX SPOT ELEVATION (BOTTOM OF WALL)
 - PROP. STORM DRAINAGE
 - PROP. CATCH BASIN
 - PROP. DROP INLET
 - PROP. JUNCTION BOX
 - PROP. FLARED END SECTION
 - PROP. RIP RAP PAD

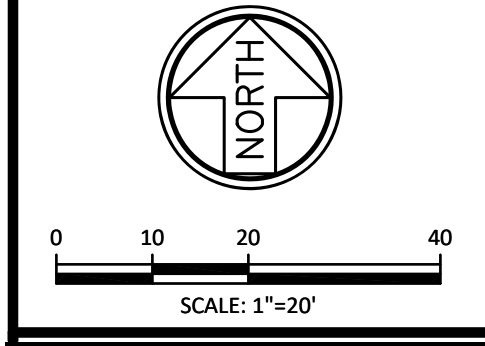
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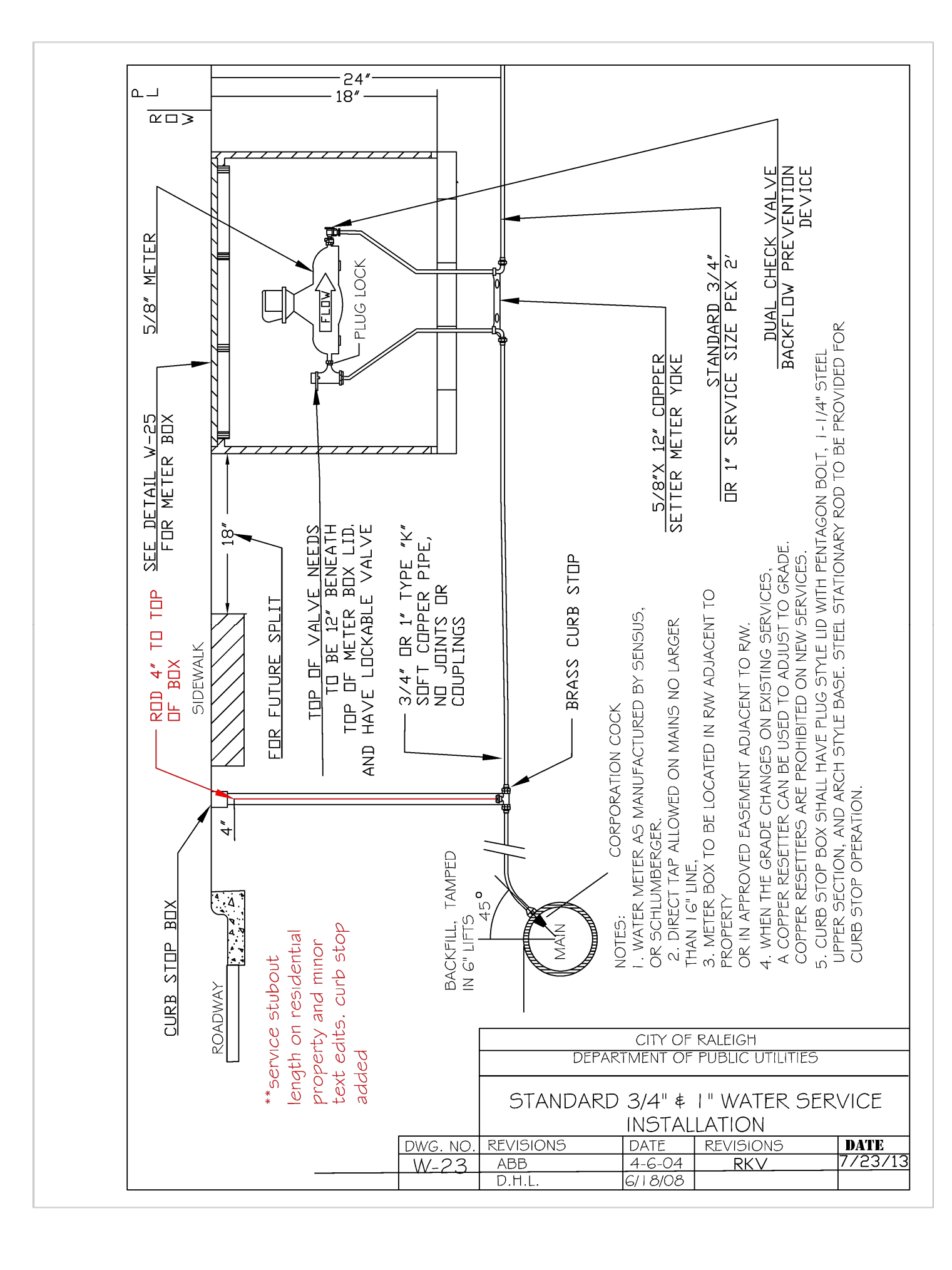
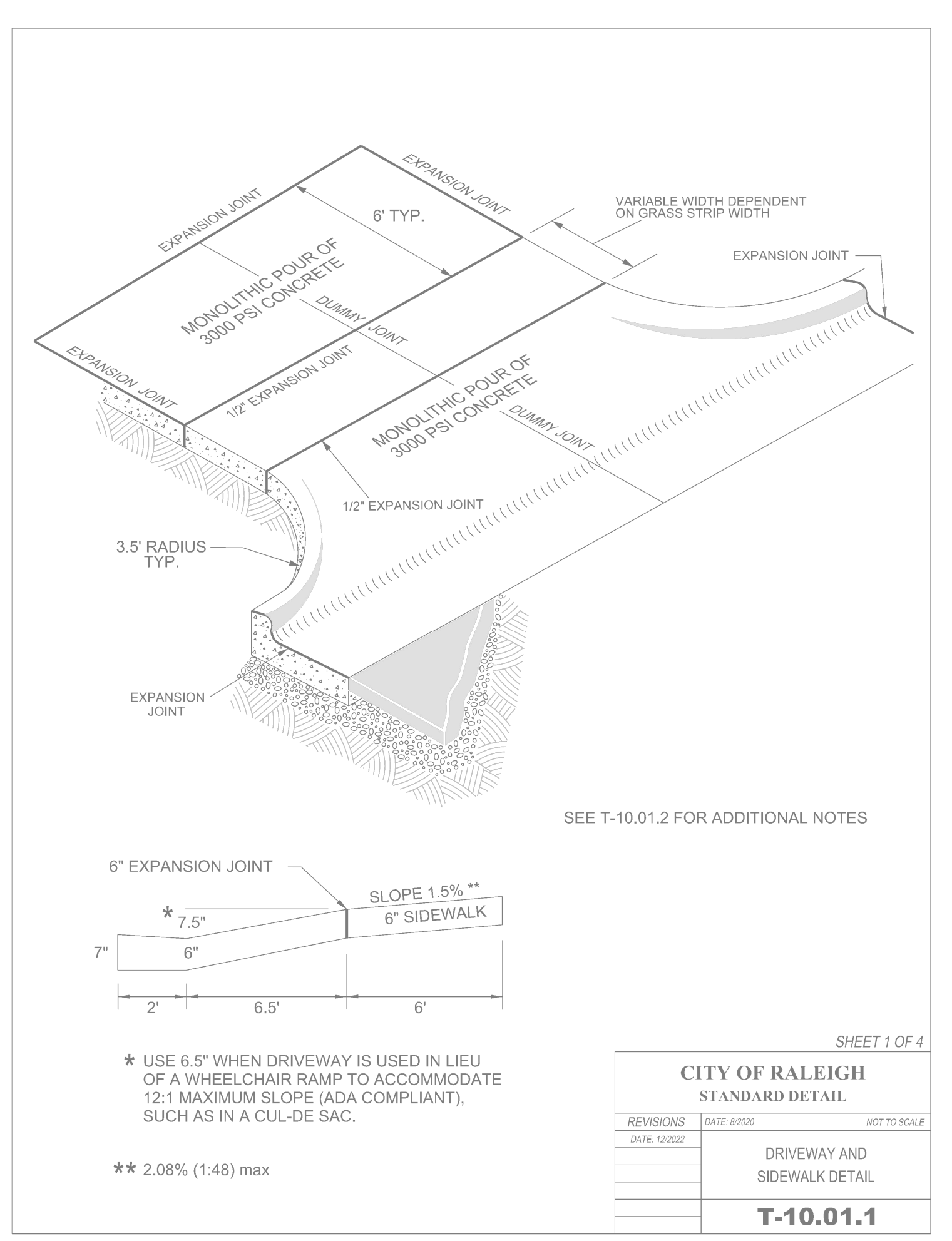
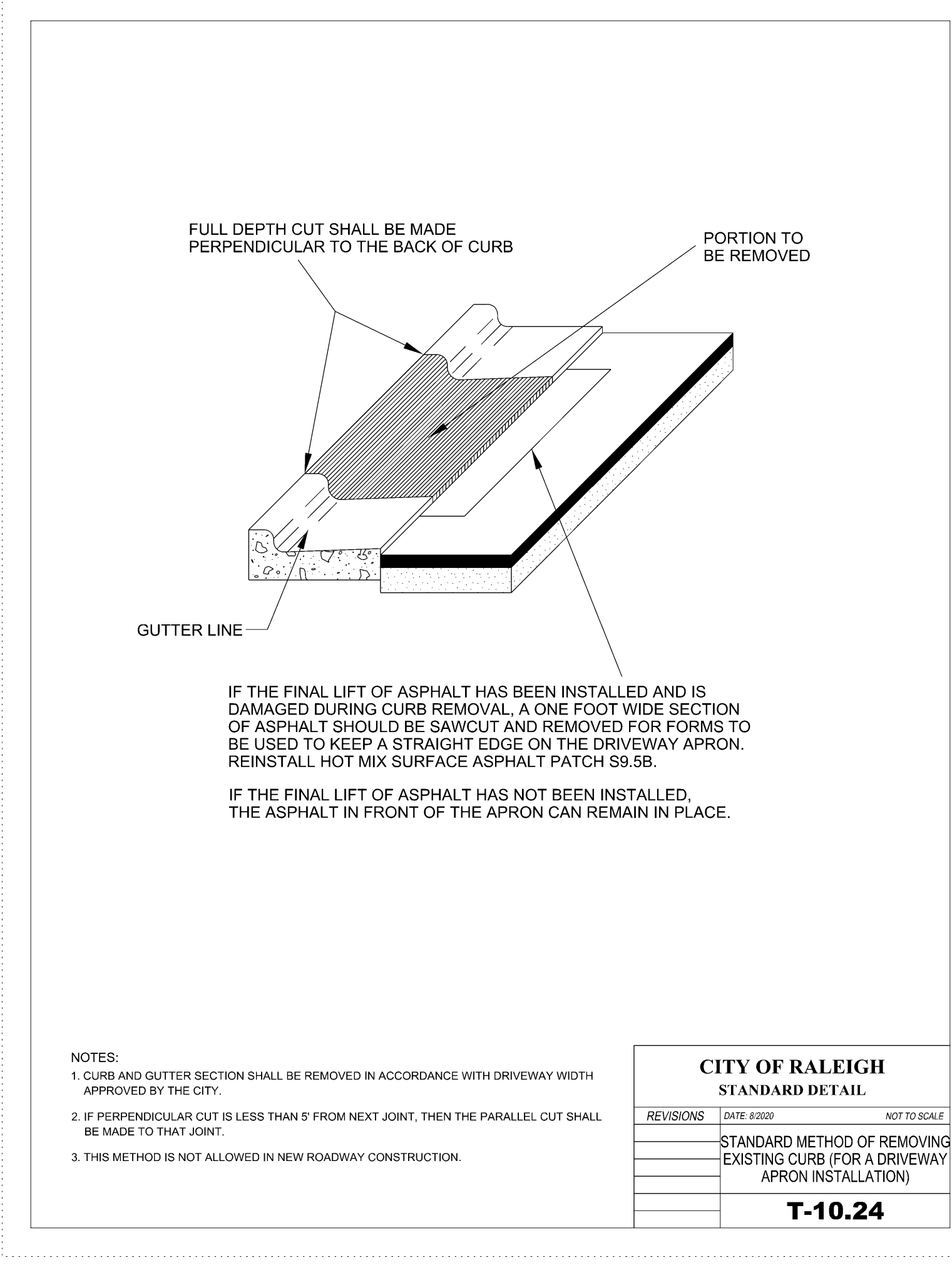
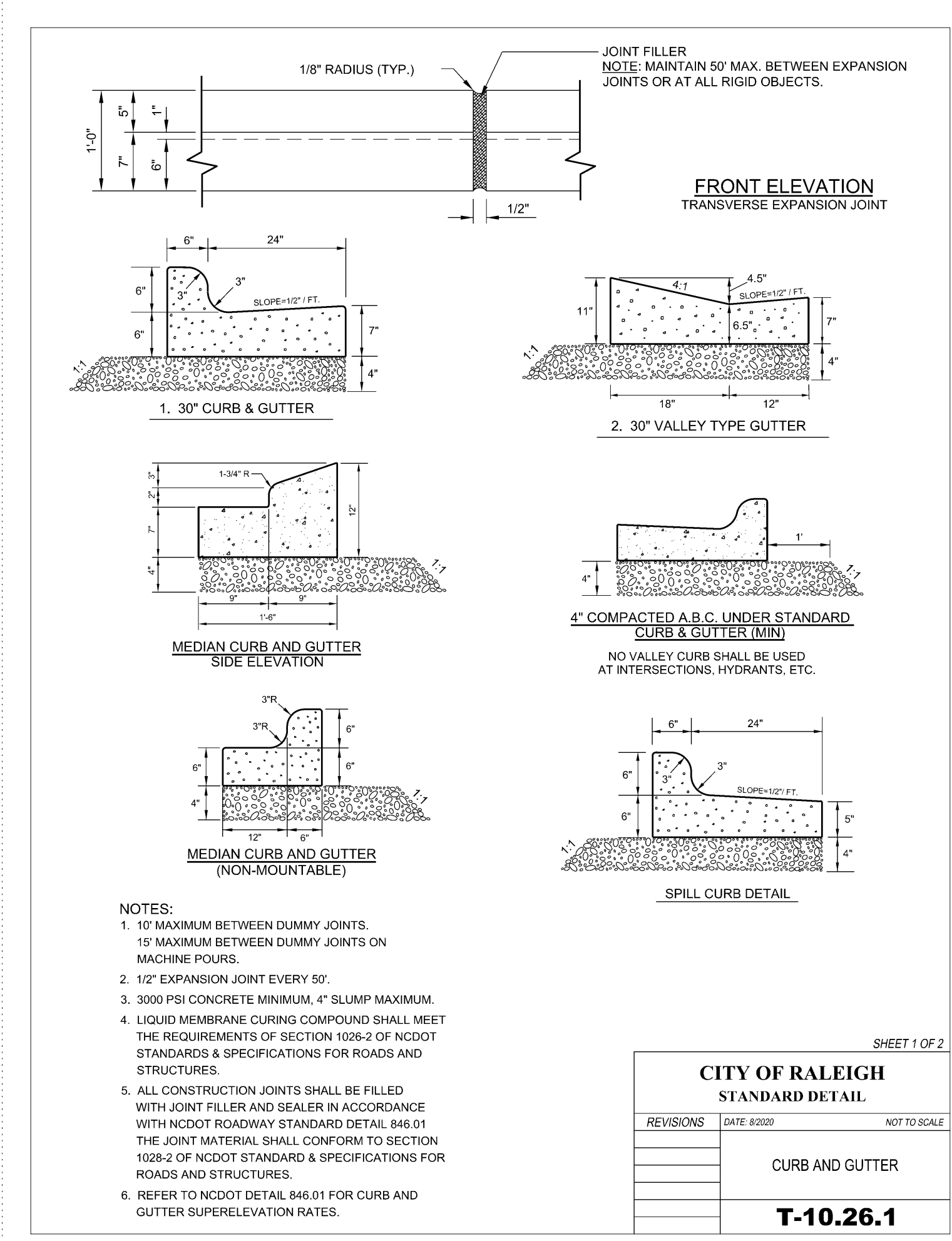
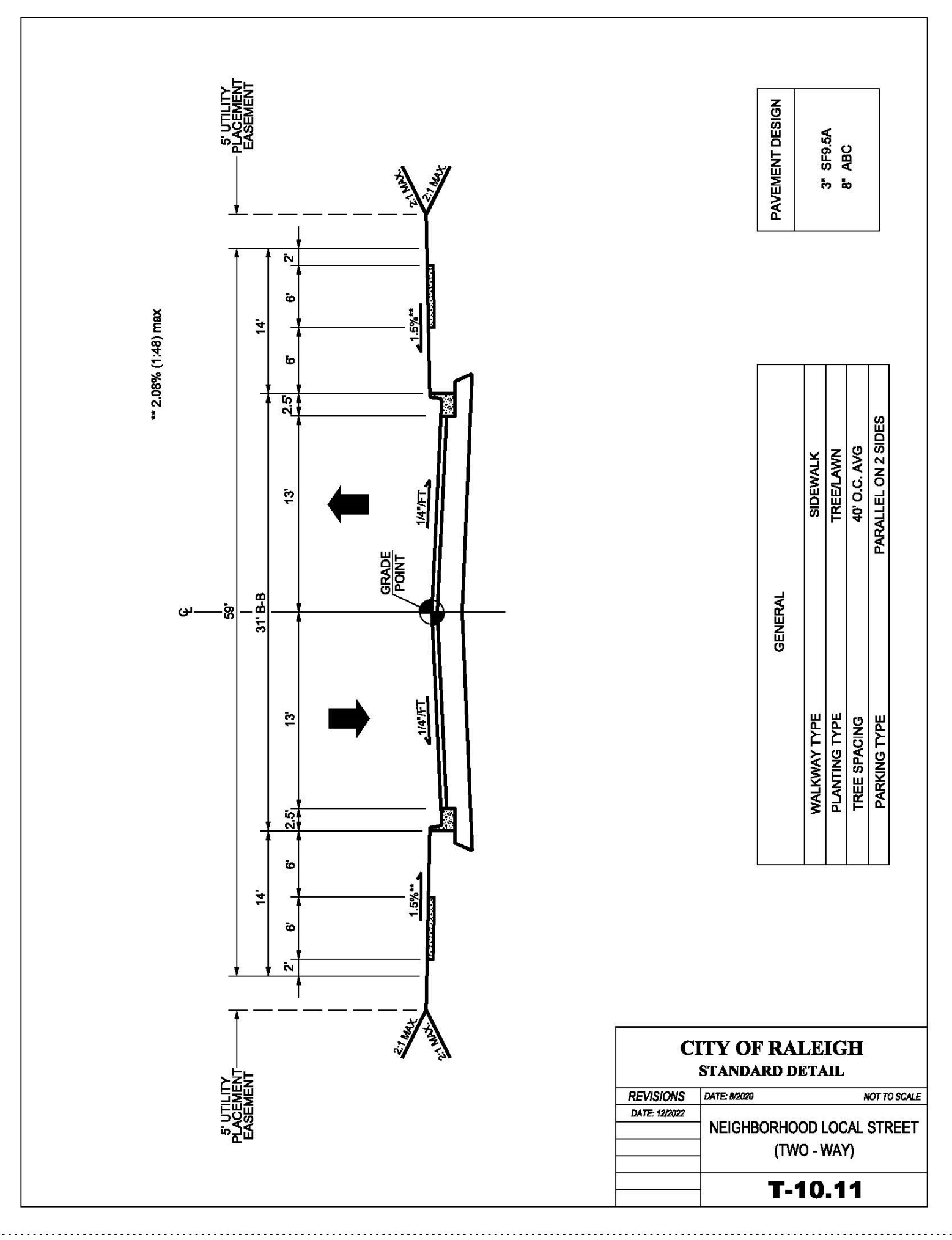
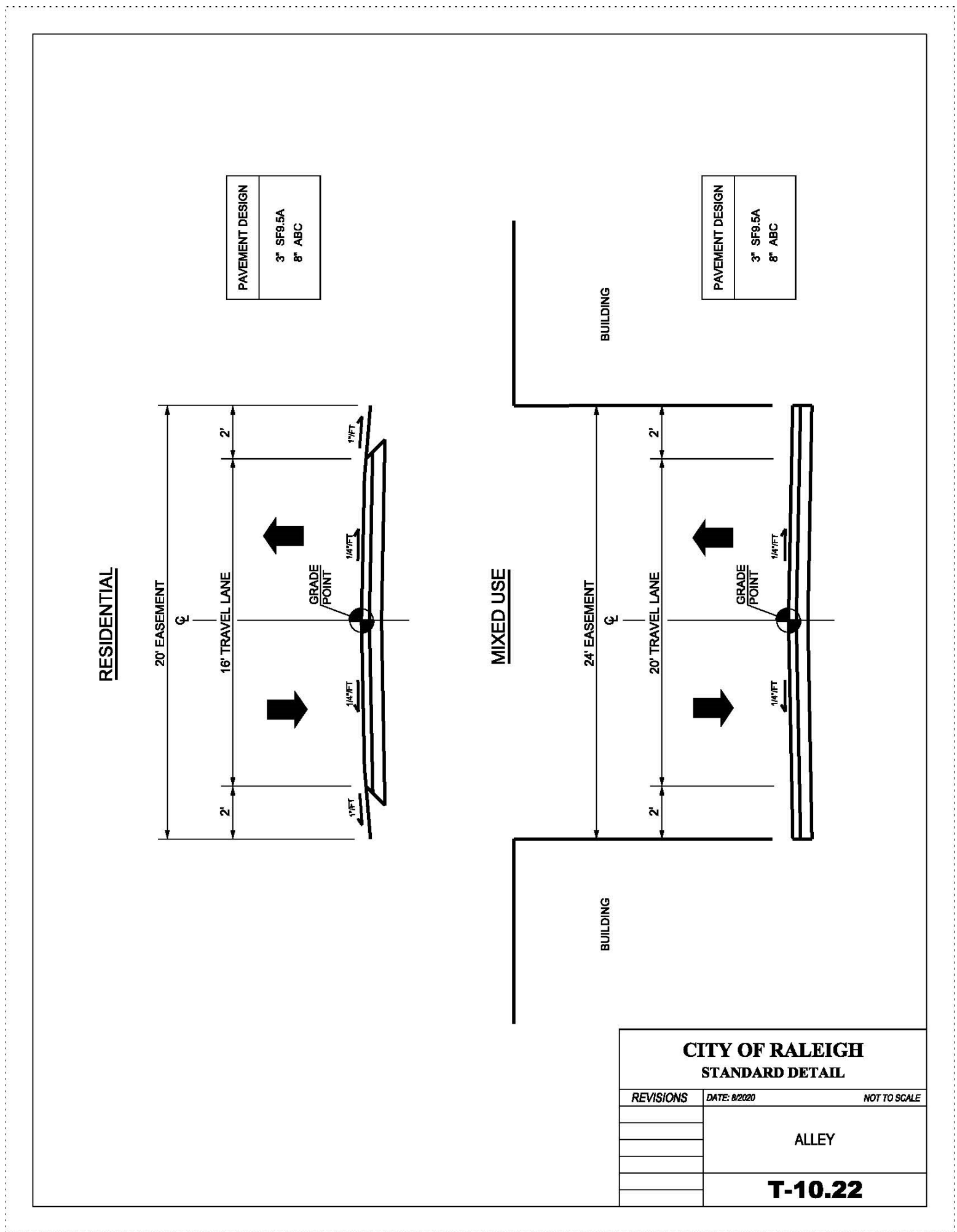
PRELIMINARY SUBDIVISION REVIEW

SHEET TITLE:
GRADING AND DRAINAGE PLAN
1801 LYNN ROAD
SUBDIVISION
CITY OF RALEIGH, NORTH CAROLINA



HORIZONTAL SCALE:	1"=20'
VERTICAL SCALE:	N/A
DATE:	09/06/2023
SHEET NUMBER:	C-3.0

PRELIMINARY DRAWING
NOT RELEASED FOR CONSTRUCTION
CASE # - SUB-0051-2023



REVISIONS

1	11/09/2023	REVISED PER CITY OF RALEIGH
2	01/17/2024	REVISED PER CITY OF RALEIGH
3	08/27/2024	AMMENDMENT LAYOUT REVISIONS
4	12/12/2024	AMMENDMENT LAYOUT REVISIONS



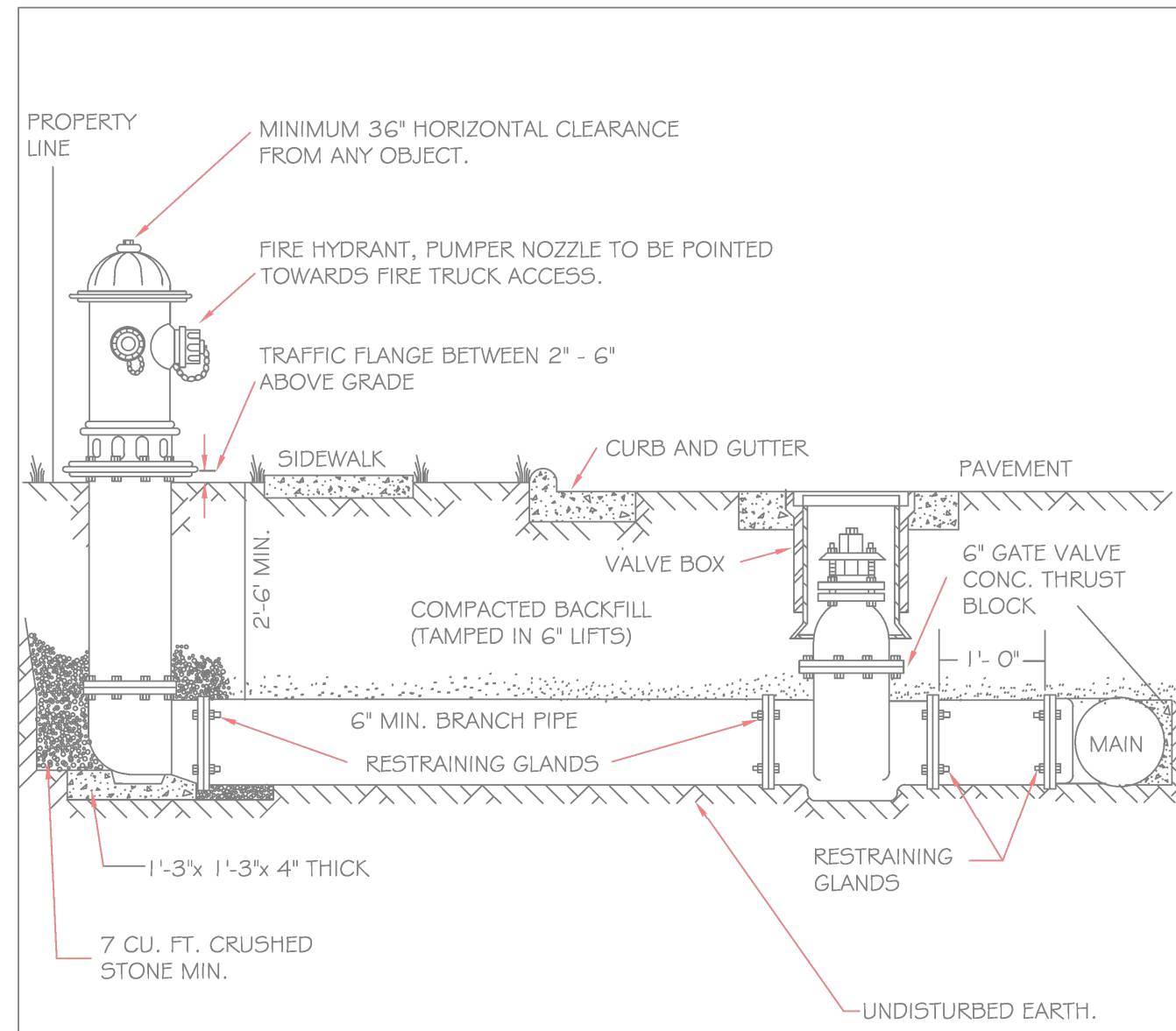
CLIENT:
MADISON HOLDING LLC

PRELIMINARY SUBDIVISION REVIEW

SITE DETAILS
1801 LYNN ROAD SUBDIVISION
CITY OF RALEIGH, NORTH CAROLINA

HORIZONTAL SCALE: NTS
VERTICAL SCALE: NTS
DATE: 09/06/2023
SHEET NUMBER: **C-6.0**

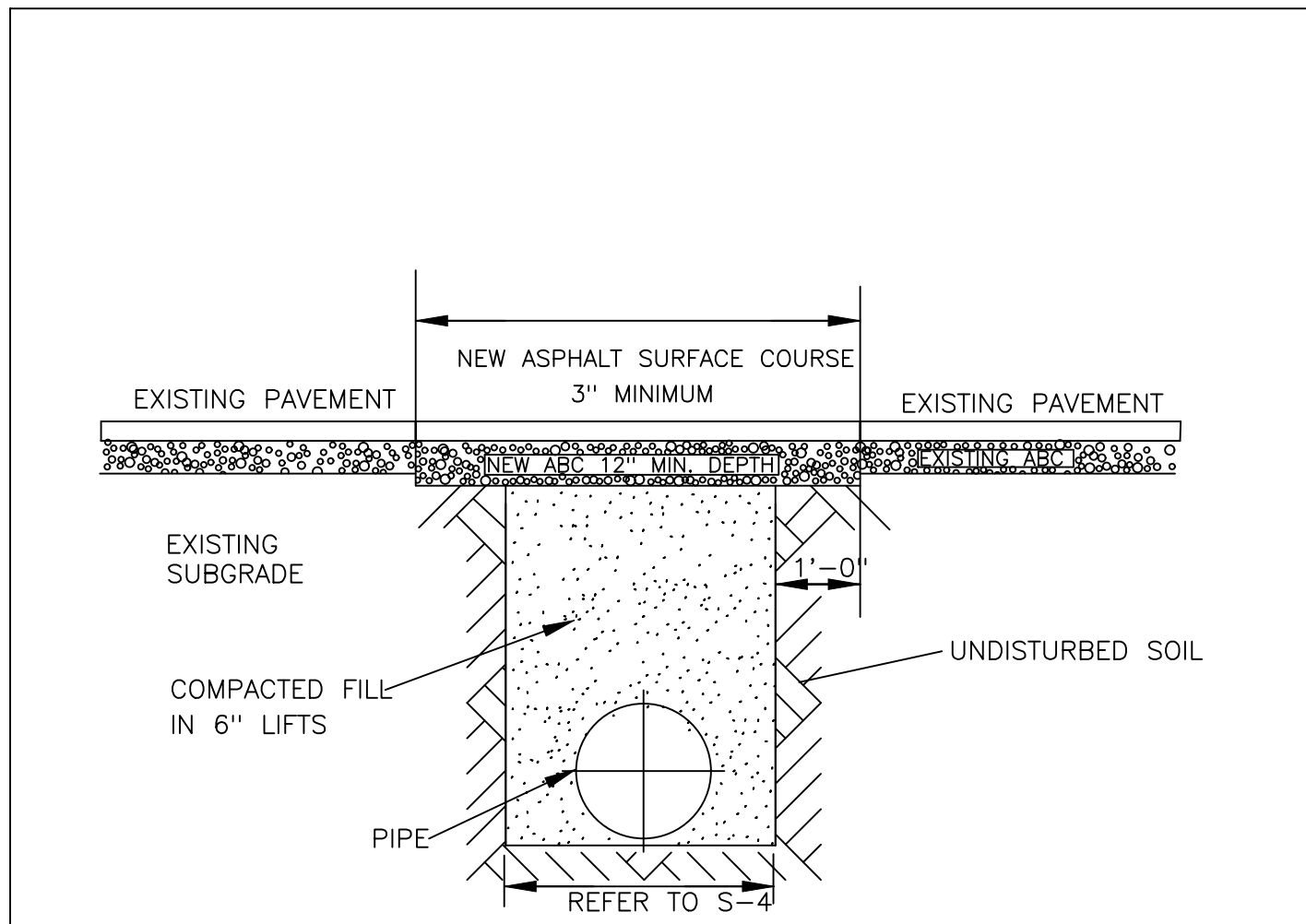
PRELIMINARY DRAWING
NOT RELEASED FOR CONSTRUCTION
CASE # - SUB-0051-2023



- NOTES:
- FIRE HYDRANT SHALL BE AS MANUFACTURED: MUELLER, AMERICAN DARLING, KENNEDY, MHI, WATERLOUS, CLOW, EAST JORDAN IRON WORKS, OR US PIPE.
 - BRANCH PIPE SHALL BE DUCTILE IRON AWWA C150-96.
 - 6" GATE VALVE SHALL BE AWWA C500-86 OPEN LEFT.
 - STEEL RODS AND BOLTS SHALL BE 3/4" HOT DIPPED GALVANIZED.
 - FIRE HYDRANTS WILL BE INSTALLED IN TRUE VERTICAL POSITION. RODS SHALL NOT BE COUPLED MORE THAN ONCE. IF THE LENGTH FROM THE VALVE TO THE HYDRANT EXCEEDS 20' THEN A MECHANICAL RESTRAINING GLAND WITH A REBAR CAGE SHALL BE INSTALLED NO MORE THAN 10' FROM HYDRANT AND POURED IN CONCRETE. FIRE HYDRANTS TO BE LOCATED IN ROW OR 2 FOOT EASEMENT ADJACENT TO ROW.

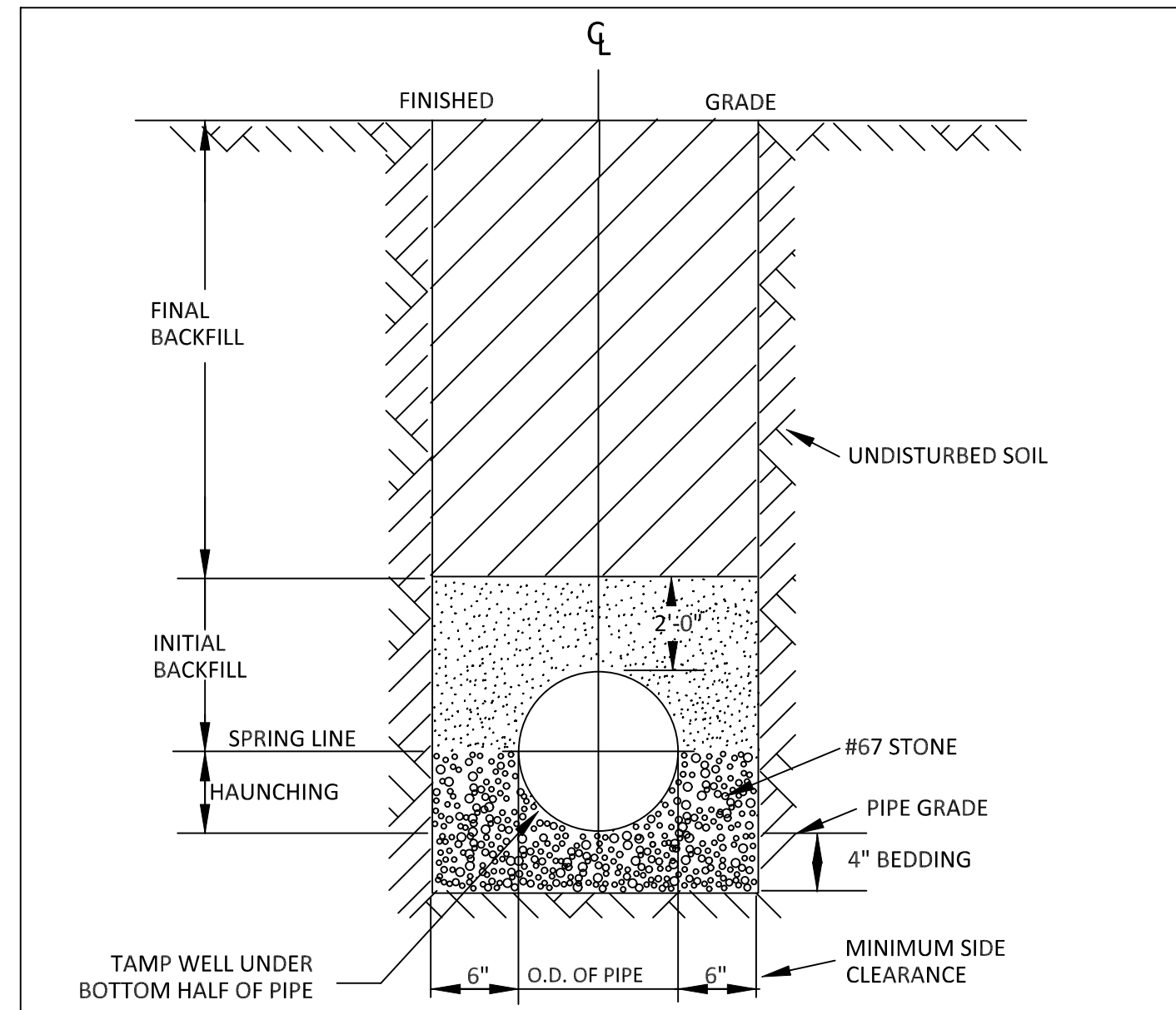
ANYTIME SITE WORK, CONSTRUCTION, ROAD WORK, OR ANY OTHER WORK CHANGES THE GRADE OF THE FIRE HYDRANT, THE PERSON RESPONSIBLE FOR ADJUSTING THE FIRE HYDRANT TO STAY WITHIN COMPLIANCE.

CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
STANDARD FIRE HYDRANT INSTALLATION DETAIL				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-4	ABB DHL	4-6-04 2/14/08	FAP	2/17/09



- NOTES:
- IN NCDOT MAINTAINED ROADWAYS ENCROACHMENT PAVEMENT PATCH REQUIREMENTS SHALL TAKE PRECEDENCE.
 - THE PAVEMENT CUT SHALL BE DEFINED BY A STRAIGHT EDGE AND CUT WITH AN APPROPRIATE SAWCUT MACHINE.
 - THE TRENCH SUBGRADE MATERIAL SHALL BE BACKFILLED WITH SUITABLE MATERIAL AND COMPACTED TO A DENSITY OF AT LEAST 95% OF THAT OBTAINED BY COMPACTING A SAMPLE OF THE MATERIAL IN ACCORDANCE WITH AASHTO T-99 AS MODIFIED BY NCDOT.
 - THE FINAL 1' OF FILL SHALL CONSIST OF ABC MATERIAL COMPACTED TO A DENSITY EQUAL TO 100% OF THAT OBTAINED BY COMPACTING A SAMPLE OF THE MATERIAL IN ACCORDANCE WITH ASHTO T-80 AS MODIFIED BY NCDOT.
 - THE ENTIRE THICKNESS AND VERTICAL EDGE OF CUT SHALL BE TACKED.
 - THE SAME DEPTH OF PAVEMENT MATERIAL WHICH EXISTS SHALL BE REINSTALLED, BUT IN NO CASE SHALL THE ASPHALT BE LESS THAN 3" THICK.
 - THE ASPHALT PAVEMENT MATERIAL SHALL BE INSTALLED AND COMPACTED THOROUGHLY WITH A SMOOTH DRUM ROLLER TO ACHIEVE A SMOOTH LEVEL PATCH.
 - REFER TO CITY OF RALEIGH STANDARDS FOR TRENCHES AND PIPE BEDDING (S-4 & S-5) FOR ADDITIONAL DETAILS.
 - NO HAND PATCHING ALLOWED.
 - PAVEMENT CUTS WITHIN NCDOT ROW SHALL CONFORM TO THE APPROVED ON SITE ENCROACHMENT PERMIT.

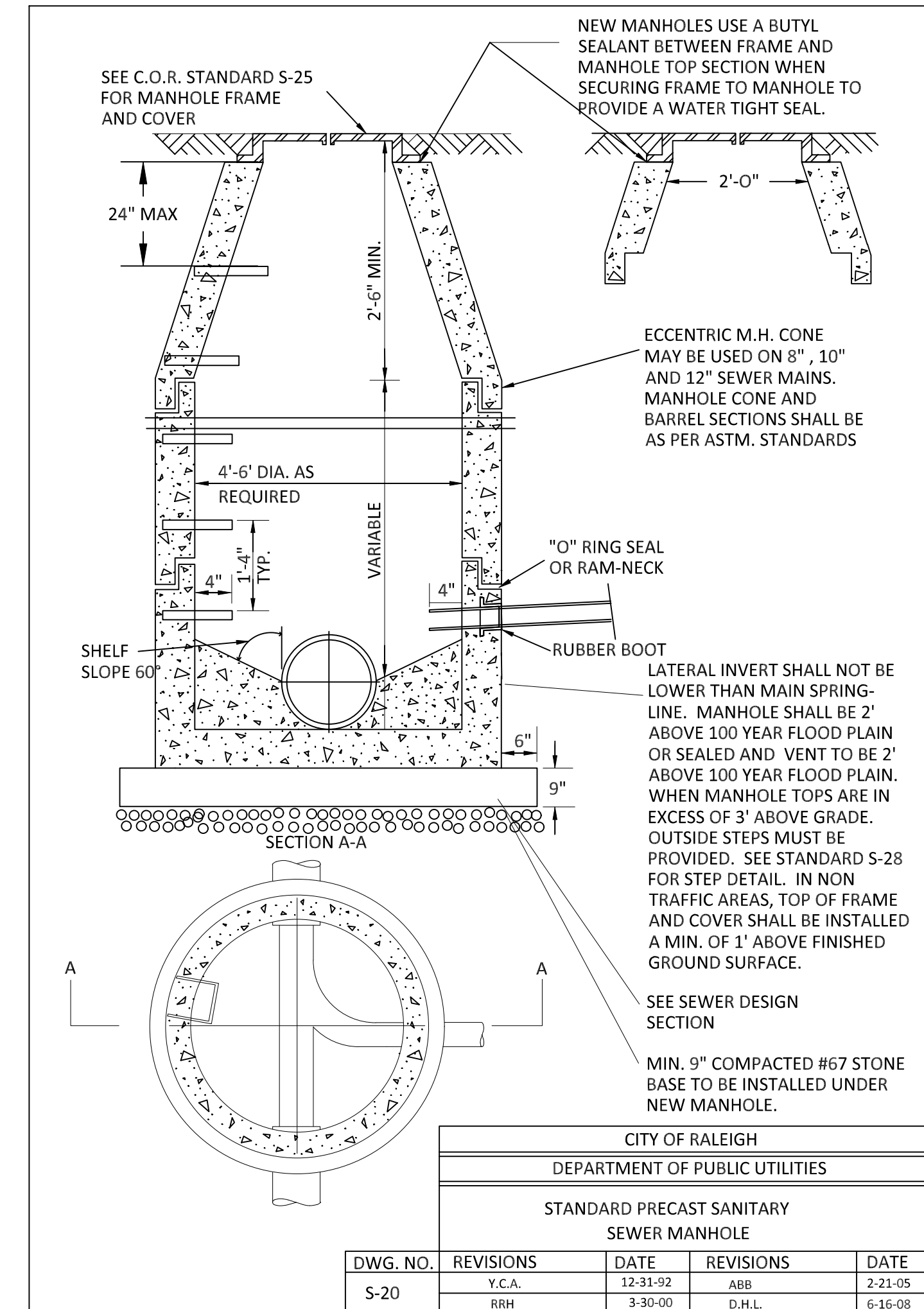
CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
STANDARD ASPHALT PAVEMENT PATCH DETAIL				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-3	D.W.C. RRH	11-1-99 3-30-00	A.B.B. J.P.S.	4-19-04 10-8-10



TYPICAL TRENCH BOTTOM DIMENSIONS FOR SDR 35 PVC GRAVITY PIPE

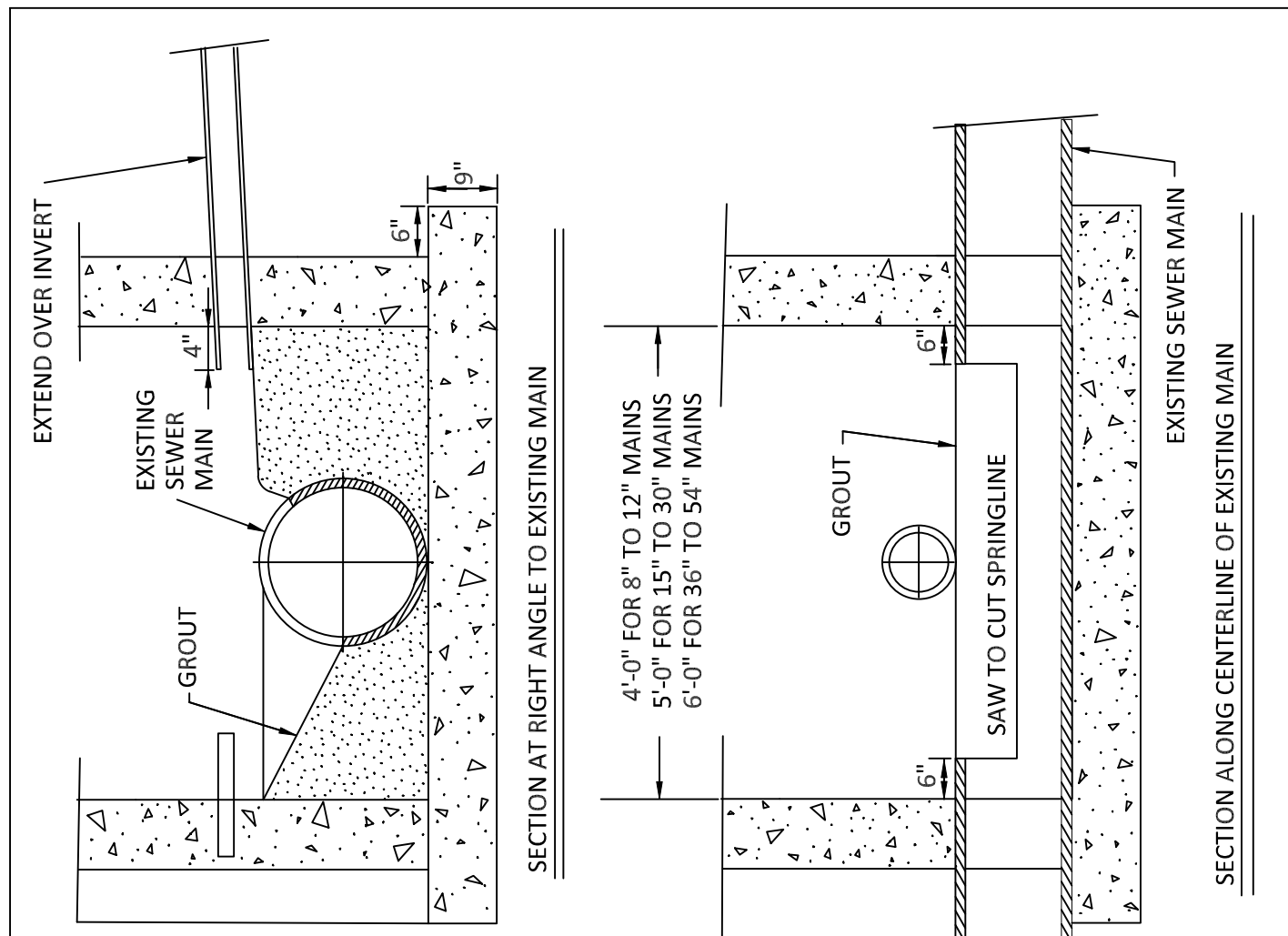
- NOTES:
- FOR TRENCHES REQUIRING SHORING AND BRACING, DIMENSIONS SHALL BE TAKEN FROM THE INSIDE FACE OF THE SHORING AND BRACING.
 - NO ROCKS OR BOULDERS 4" OR LARGER TO BE USED IN INITIAL BACKFILL.
 - ALL BACKFILL MATERIAL SHALL BE SUITABLE NATIVE MATERIAL.
 - BACKFILL SHALL BE TAMPED IN 6" LIFTS IN TRAFFIC AREAS, 12" IN NON-TRAFFIC AREAS.

CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
TRENCH BOTTOM DIMENSIONS AND BACKFILLING REQUIREMENTS FOR PVC GRAVITY SEWER MAIN				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-5	TO NOTES	3-1-87 7-2-82	D.W.C. RRH	9-3-99 3-30-00



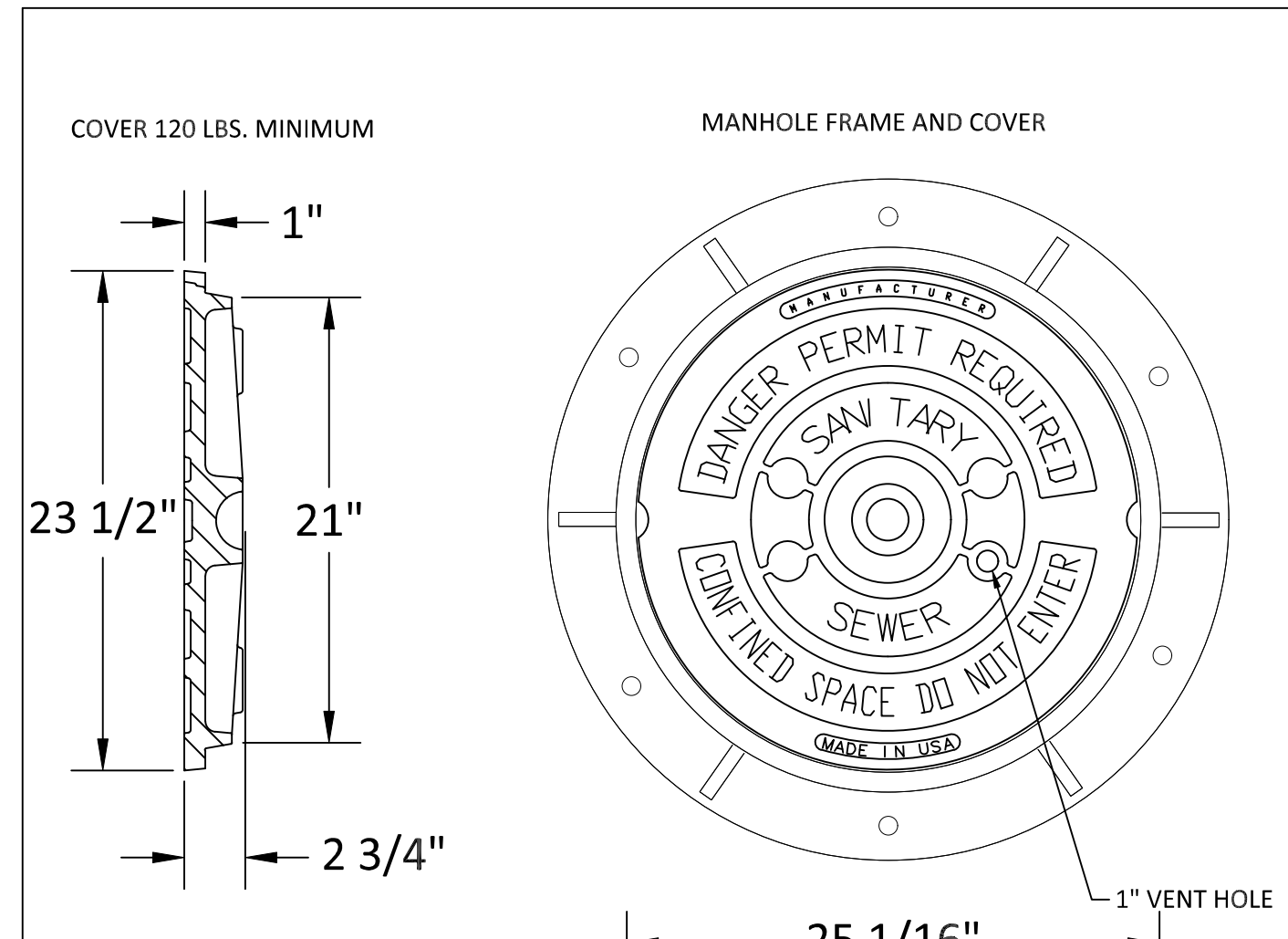
- NOTES:
- NEW MANHOLES USE A BUTYL SEALANT BETWEEN FRAME AND MANHOLE TOP SECTION WHEN SECURING FRAME TO MANHOLE TO PROVIDE A WATER TIGHT SEAL.
 - ECCENTRIC M.H. CONE MAY BE USED ON 8", 10" AND 12" SEWER MAINS. MANHOLE CONE AND BARREL SECTIONS SHALL BE AS PER ASTM STANDARDS.
 - LATERAL INVERT SHALL NOT BE LOWER THAN MAIN SPRING-LINE. MANHOLE SHALL BE 2" ABOVE 100 YEAR FLOOD PLAIN OR SEALED AND VENT TO BE 2" ABOVE 100 YEAR FLOOD PLAIN. WHEN MANHOLE TOPS ARE IN EXCESS OF 3' ABOVE GRADE, OUTSIDE STEPS MUST BE PROVIDED. SEE STANDARD S-28 FOR STEP DETAIL. IN NON TRAFFIC AREAS, TOP OF FRAME AND COVER SHALL BE INSTALLED A MIN. OF 1' ABOVE FINISHED GROUND SURFACE.
 - SEE SEWER DESIGN SECTION.
 - MIN. 9" COMPACTED #67 STONE BASE TO BE INSTALLED UNDER NEW MANHOLE.

CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
STANDARD PRECAST SANITARY SEWER MANHOLE				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-20	Y.C.A. RRH	12-31-92 3-30-00	ABB D.H.L.	2-21-05 6-16-08



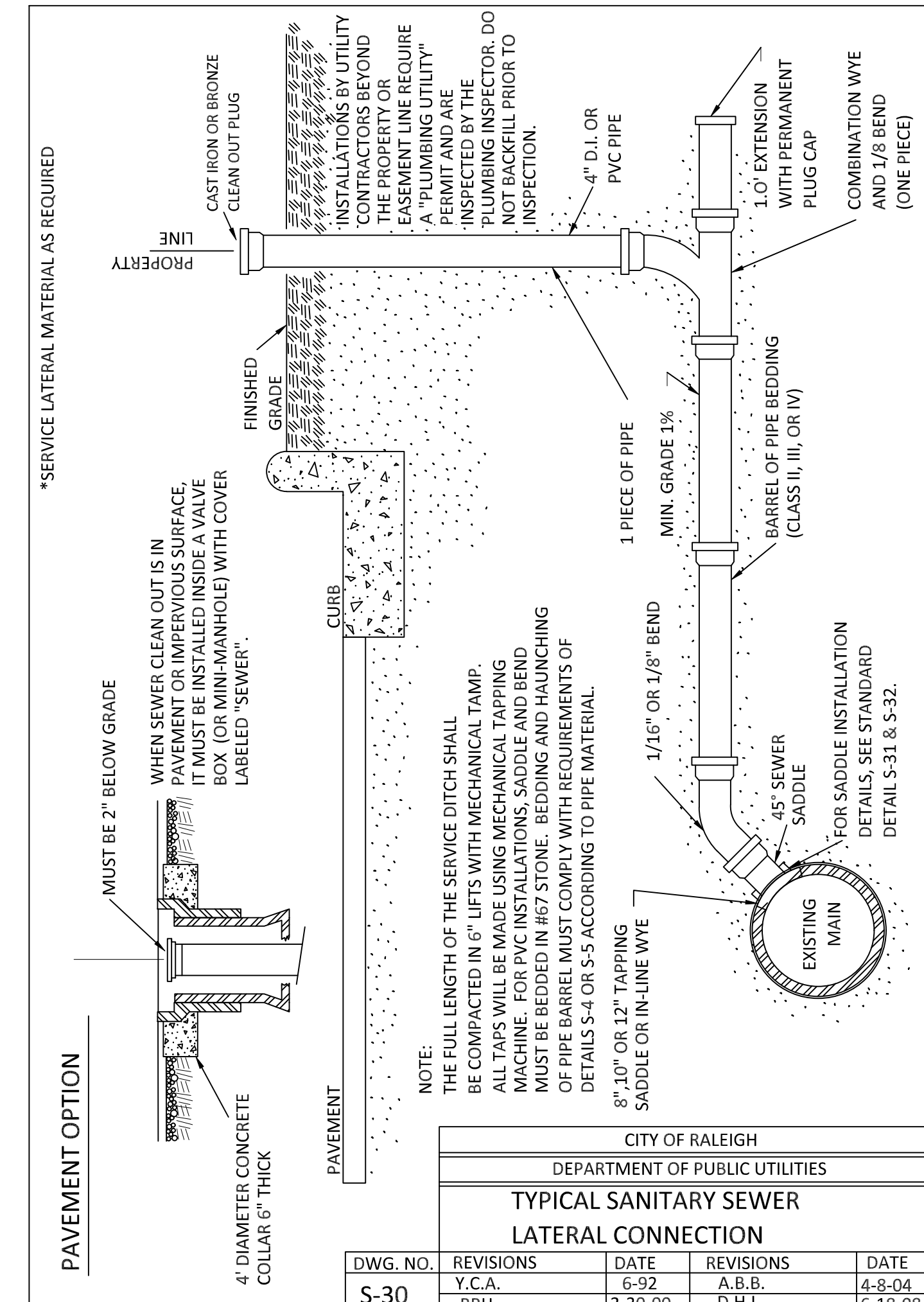
- NOTES:
- FLOW SHALL BE MAINTAINED DURING CONSTRUCTION.
 - THIS DETAIL TO BE USED WHEN A 6" OR LARGER LATERAL NECESSitates CONSTRUCTION OF A NEW MANHOLE.
 - SEE STANDARD DETAIL S-20 FOR PRECAST MANHOLES.
 - THE CONTRACTOR SHALL PROVIDE A MINIMUM 9" COMPACTED # 67 STONE BASE.
 - FOR USE ON DIP, CONCRETE, AND PVC ONLY.
 - SEE DETAIL S-21 FOR REINFORCING OF POURED IN-PLACE BASE.

CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
STANDARD MANHOLE INSTALLATION OVER EXISTING SEWER MAIN				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-22	Y.C.A. RRH	12-31-91 3-30-00	A.B.B. D.H.L.	1-19-05 6/16/08



- NOTES:
- ALL MANHOLE FRAMES SHALL BE DOMESTICALLY CAST.
 - FRAME SHALL BE A MINIMUM WEIGHT OF 182 LBS. WITHIN PUBLIC ROW AND 160 LBS. WITHIN EASEMENTS.
 - COVER SHALL WEIGH A MIN. OF 120 LBS.
 - ALL MANHOLE FRAMES OUTSIDE OF PAVED SURFACES SHALL BE BOLTED TO THE CONE SECTION OR RING WITH A MINIMUM OF 4 BOLTS PER FRAME.

CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
STANDARD MANHOLE COVER				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-25	3-1-87 RRH	3-1-87 3-30-00	A.B.B. D.H.L.	2-9-05 6-18-08



- NOTES:
- THE FULL LENGTH OF THE SERVICE DITCH SHALL BE COMPACTED IN 6" LIFTS WITH MECHANICAL TAMPING. TAPS WILL BE MADE USING MECHANICAL TAPPING MACHINE FOR PVC INSTALLATIONS. SADDLE AND BEND MUST BE BEDDED IN #67 STONE. BEDDING AND HAUNCHING OF PIPE BARREL MUST COMPLY WITH REQUIREMENTS OF DETAILS S-4 OR S-5 ACCORDING TO PIPE MATERIAL.
 - 8", 10" OR 12" TRAPPING SADDLE OR IN-LINE WYE.
 - FOR SADDLE INSTALLATION DETAILS, SEE STANDARD DETAIL S-31 & S-32.

CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
TYPICAL SANITARY SEWER LATERAL CONNECTION				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-30	Y.C.A. RRH	6-92 3-30-00	A.B.B. D.H.L.	4-8-04 6-18-08

PRELIMINARY DRAWING NOT RELEASED FOR CONSTRUCTION
CASE # - SUB-0051-2023

REVISIONS

NO.	DATE	DESCRIPTION
1	11/09/2023	REVISED PER CITY OF RALEIGH
2	01/17/2024	REVISED PER CITY OF RALEIGH
3	08/27/2024	AMMENDMENT LAYOUT REVISIONS
4	12/12/2024	AMMENDMENT LAYOUT REVISIONS

KANE & ASSOCIATES, PLLC
107 UNION DRIVE, SUITE 202
WASHINGTON, NORTH CAROLINA
PHONE: 252-702-1910
FIRM LICENSE NUMBER: P-2529

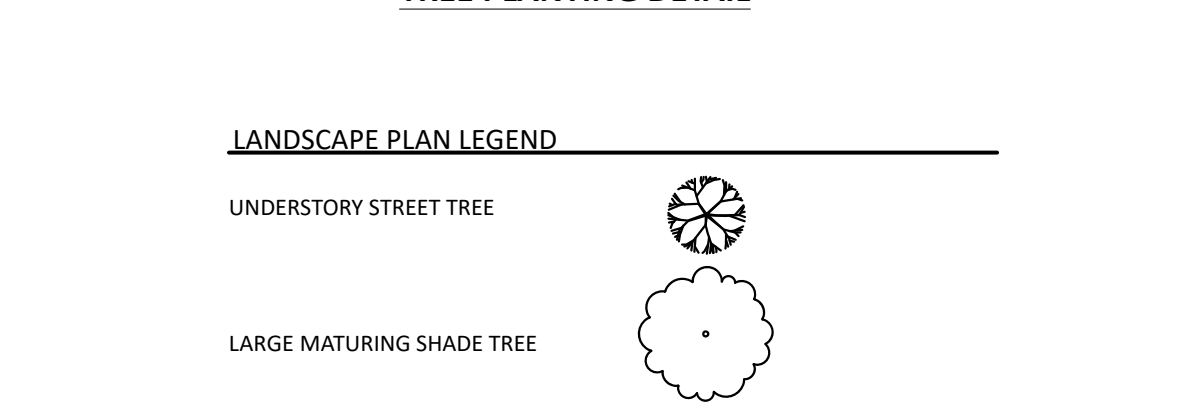
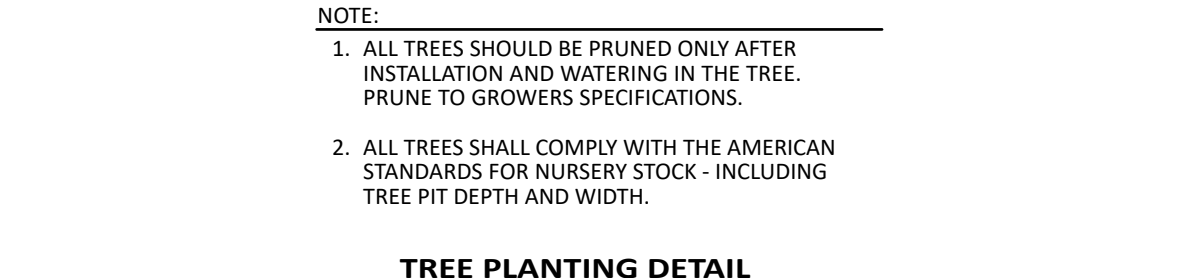
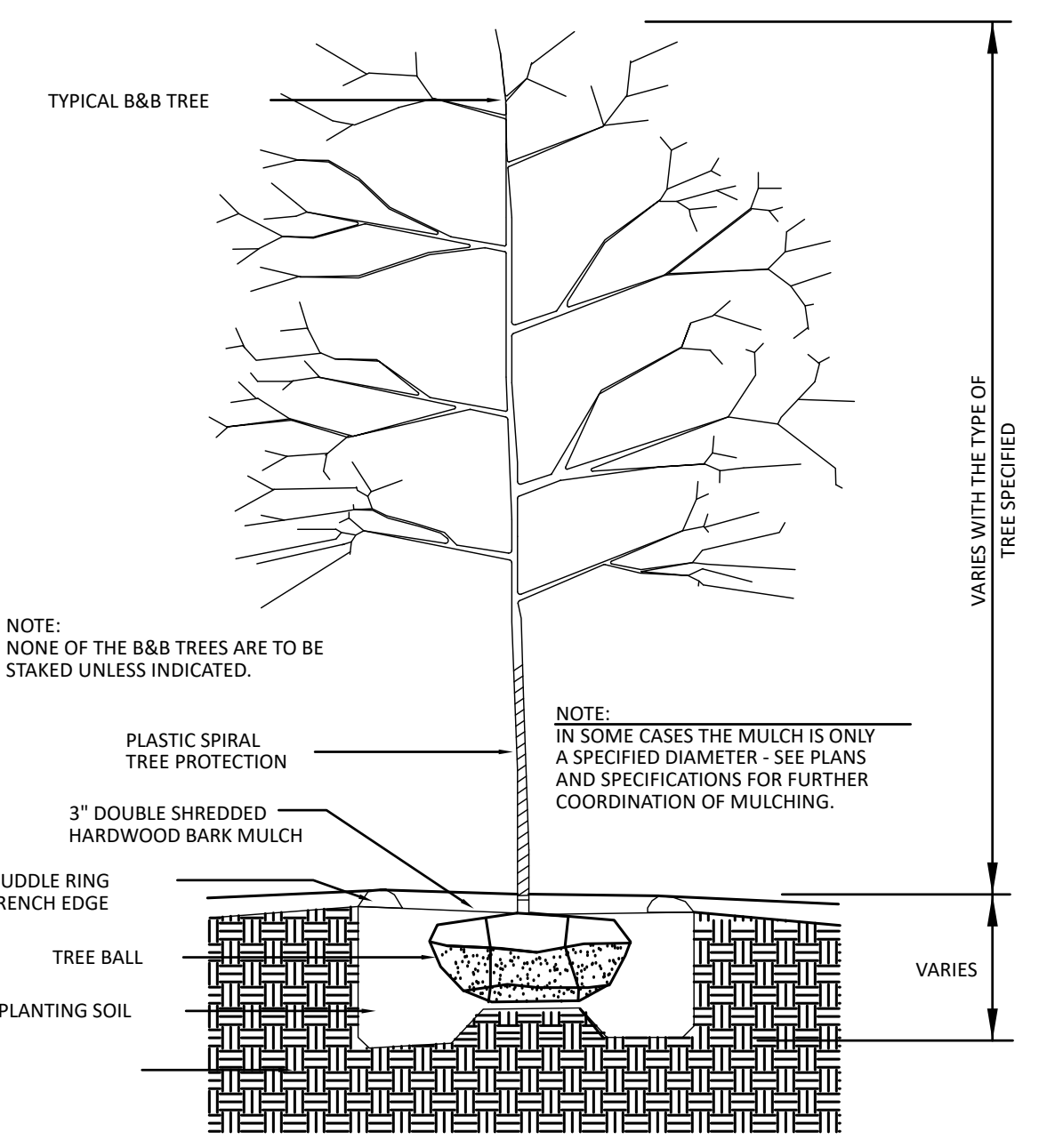
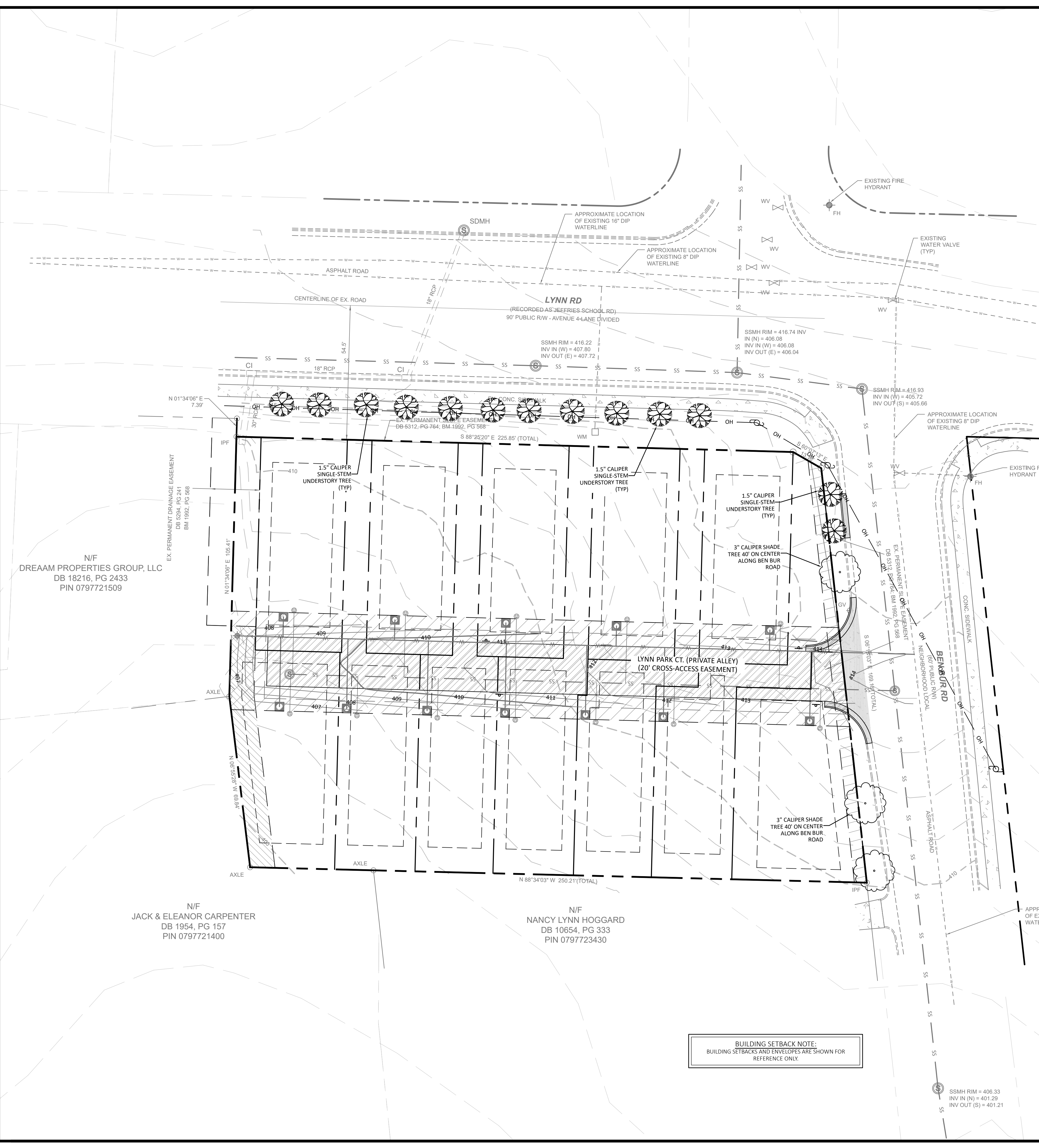
CLIENT:
MADISON HOLDING LLC

PRELIMINARY SUBDIVISION REVIEW

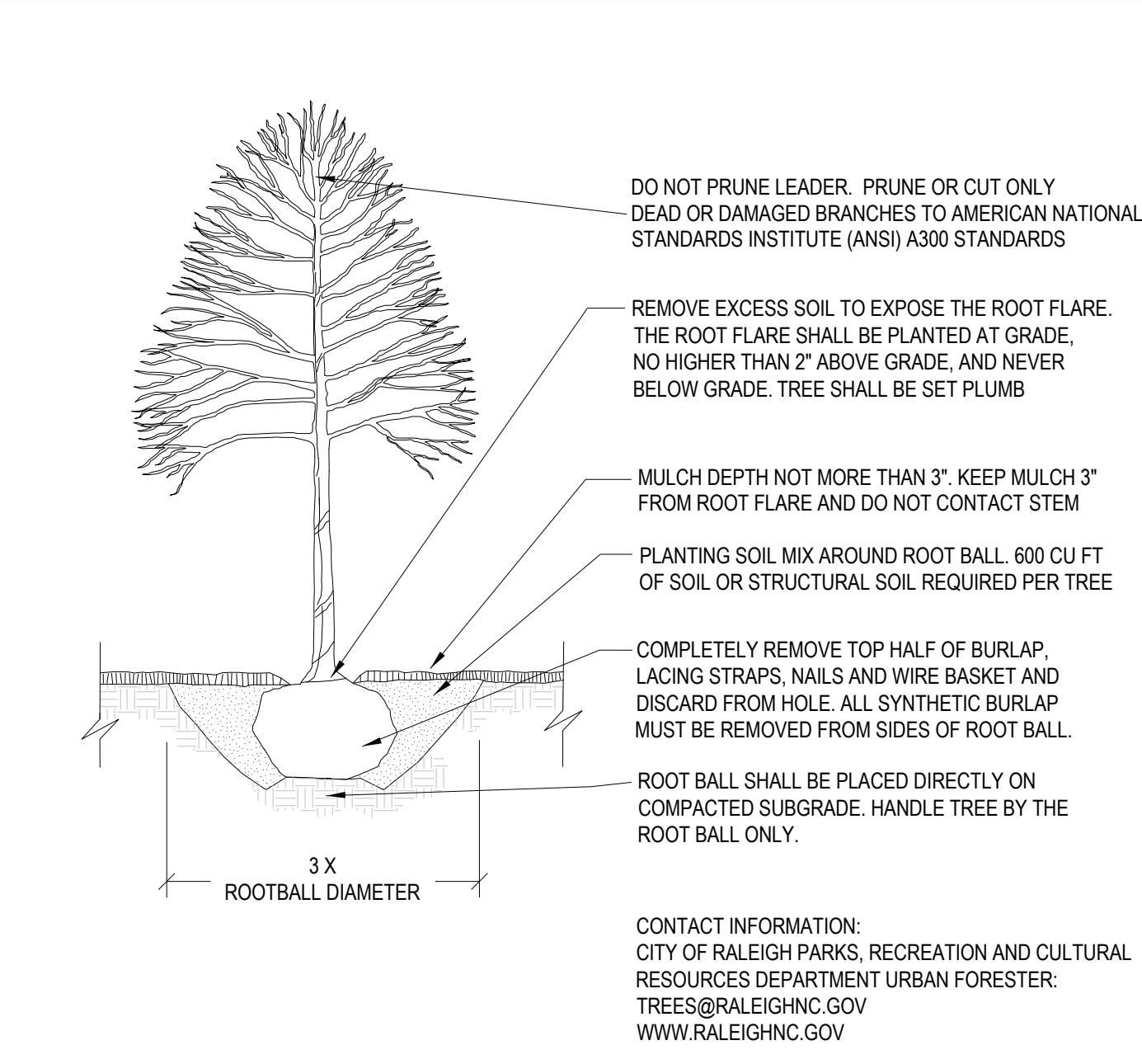
SITE DETAILS
1801 LYNN ROAD SUBDIVISION
CITY OF RALEIGH, NORTH CAROLINA

HORIZONTAL SCALE:	NTS
VERTICAL SCALE:	NTS
DATE:	09/06/2023

SHEET NUMBER:
C-6.1



PLANT LIST					
Quantity	Symbol	Scientific Name	Common Name	Size	Spacing
13		CORNUS SPP.	CORNUS FLORIDA (DOGWOOD)	1.5" DBH	20'
3		QUERCUS NUTTALL	OVERCUP OAK	3" DBH	40'



- NOTES:**
- TREES MUST MEET THE TREE QUALITY STANDARDS IN CH. 2 OF THE CITY TREE MANUAL.
 - CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITS. (POSITIVE DRAINAGE AWAY FROM PIT)
 - TREES SHALL BE PLANTED BETWEEN OCTOBER 1ST AND APRIL 30TH.
 - A TREE IMPACT PERMIT IS REQUIRED.
 - ELECTRICAL OUTLETS AND OTHER UTILITIES ARE PROHIBITED IN THE PLANTING AREA IMMEDIATELY SURROUNDING THE TREE.
 - IF STAKING IN ACCORDANCE WITH THE CITY TREE MANUAL, THE STAKING MUST BE REMOVED WITHIN ONE YEAR.
 - TREES WILL HAVE A MINIMUM 1 YEAR WARRANTY AFTER THE INITIAL PLANTING IS APPROVED BY THE CITY.

- LANDSCAPE NOTES:**
- THE GENERAL CONTRACTOR SHALL LEAVE THIS SITE AT FINISHED GRADE. THE LANDSCAPE CONTRACTOR SHALL REVISE GRADES AT A MINIMUM TO ENSURE SMOOTH TRANSITIONS BETWEEN PLANTING BEDS AND LAWN AREAS.
 - PLANT GUARANTEE: ALL PLANTS SHALL BE GUARANTEED TO LIVE FOR TWELVE MONTHS. THE GUARANTEE SHALL COMMENCE UPON FINAL ACCEPTANCE OF THE PROJECT. IF ANY PLANTS ARE DEAD OR IN AN UNHEALTHY CONDITION BEFORE FINAL ACCEPTANCE, THE LANDSCAPE CONTRACTOR SHALL REPLACE THEM AT HIS EXPENSE. THIS REPLACEMENT SHALL NOT BE CONSIDERED A GUARANTEED REPLACEMENT.
 - ALL PLANTING SHALL BE PLACED WITHIN A MULCHED PLANTING BED.
 - ALL STRAPPING AND THE TOP 1/2 OF WIRE BASKETS MUST BE CUT AWAY AND REMOVED FROM ROOT BALLS PRIOR TO BACKFILLING PLANTING PIT. REMOVE TOP 1/2 OF BURLAP FROM ROOT BALL.
 - ALL LANDSCAPE WORK SHALL BE IN ACCORDANCE WITH CURRENT CITY OF RALEIGH STANDARD DETAILS AND SPECIFICATIONS.
 - SITE LIGHTING SHALL NOT BE PLACED IN CONFLICT WITH PLANTED TREES.
 - COORDINATE ALL WORK WITH SITE LAYOUT AND SITE GRADING, DRAINAGE & UTILITIES PLAN. VERIFY LOCATION OF UTILITIES BEFORE PLANTING.
 - NO SIGHT OBSTRUCTING OR PARTIALLY OBSTRUCTING WALL, FENCE, FOLIAGE, BEARING, PARKED VEHICLES OR SIGN BETWEEN THE HEIGHTS OF TWENTY-FOUR (24) INCHES AND EIGHT (8) FEET ABOVE CURB LINE ELEVATION, OR THE NEAREST TRAVELED WAY IF NO CURBING EXISTS, SHALL BE PLACED WITHIN A SIGHT TRIANGLE OF A PUBLIC STREET, PRIVATE STREET OR DRIVEWAY CONTAINED EITHER ON THE PROPERTY OR ON AN ADJOINING PROPERTY AS SET FORTH BY THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION'S POLICY ON STREET AND DRIVEWAY ACCESS TO NORTH CAROLINA HIGHWAYS MANUAL, AND ALL

- NOTES:**
- ALL STREET TREES ARE TO BE PLANTED IN ACCORDANCE WITH CITY OF RALEIGH STANDARD DETAIL, TPP-03.
 - STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY TREE MANUAL.

STREET TREE CALCULATION:
 LENGTH ALONG LYNN ROAD FRONTAGE: 225.85 LF
 - STREET TREES REQUIRED:
 225.85 LF / 20 LF = 11 TREES
 - STREET TREES PROVIDED:
 11 TREES
 LENGTH ALONG BEN BUR ROAD FRONTAGE: 169.18 LF
 - STREET TREES REQUIRED:
 169.18 LF / 40 LF = 4 TREES
 - STREET TREES PROVIDED:
 3 LARGE SHADE TREES AND 2 UNDERSTORY TREES

BUILDING SETBACK NOTE:
 BUILDING SETBACKS AND ENVELOPES ARE SHOWN FOR REFERENCE ONLY.

CITY OF RALEIGH STANDARD DETAIL

REVISIONS: 10/2019 DATE: 8/2009 NOT TO SCALE

TREE PLANTING DETAIL

TPP-03

PRELIMINARY DRAWING
 NOT RELEASED FOR CONSTRUCTION

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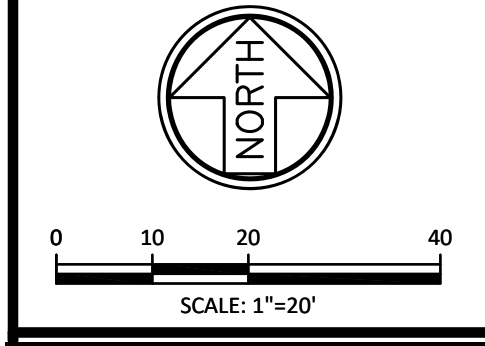
KANE & ASSOCIATES, PLLC

107 UNION DRIVE, SUITE 202
 WASHINGTON, NORTH CAROLINA
 PHONE: 252-702-1910
 FIRM NC LICENSE NUMBER: P-2529

CLIENT:
MADISON HOLDING LLC

PRELIMINARY
 SUBDIVISION REVIEW

LANDSCAPE PLAN
 1801 LYNN ROAD
 SUBDIVISION
 CITY OF RALEIGH, NORTH CAROLINA



HORIZONTAL SCALE: 1"=20'

VERTICAL SCALE: N/A

DATE: 09/06/2023

SHEET NUMBER: **C-7.0**

CASE # - SUB-0051-2023