

Preliminary Subdivision Application

Planning and Development

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



INSTRUCTIONS: This form is used when submitting a Preliminary Subdivision (UDO Section 10.2.5). Please check the appropriate review type and include the plan checklist document. Please email all documents and your preliminary subdivision plans to SiteReview@raleighnc.gov.

DEVELOPMENT TYPE (UDO Section 2.1.2)			
Conventional Subdivision	Compact Development	Conservation Development	Cottage Court
NOTE: Subdivisions may require City Council approval if in a Metro Park Overlay or Historic Overlay District			
GENERAL INFORMATION			
Scoping/sketch plan case number(s):			
Development name (subject to approval):			
Property Address(es):			
Recorded Deed PIN(s):			
What is your project type?	Single family Apartment	Townhouse Non-residential	Attached houses Other: _____

CURRENT PROPERTY OWNER/DEVELOPER INFORMATION	
NOTE: Please attach purchase agreement when submitting this form	
Company:	Owner/Developer Name and Title:
Address:	
Phone #:	Email:
APPLICANT INFORMATION	
Company:	Contact Name and Title:
Address:	
Phone #:	Email:

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DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)	
ZONING INFORMATION	
Gross site acreage:	
Zoning districts (if more than one, provide acreage of each):	
Overlay district:	Inside City limits? Yes No
Conditional Use District (CUD) Case # Z-	Board of Adjustment (BOA) Case # A-

STORMWATER INFORMATION	
Existing Impervious Surface: Acres: _____ Square Feet: _____	Proposed Impervious Surface: Acres: _____ Square Feet: _____
Neuse River Buffer Yes No	Wetlands Yes No
Is this a flood hazard area? Yes No	
If yes, please provide the following:	
Alluvial soils: _____	
Flood study: _____	
FEMA Map Panel #:	
NUMBER OF LOTS AND DENSITY	
Total # of townhouse lots:	Detached Attached
Total # of single-family lots:	
Proposed density for each zoning district (UDO 1.5.2.F):	
Total # of open space and/or common area lots:	
Total # of requested lots:	

SIGNATURE BLOCK	
<p>The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.</p> <p>I, _____ will serve as the agent regarding this application, and will receive and respond to administrative comments, resubmit plans and applicable documentation, and will represent the property owner(s) in any public meeting regarding this application.</p> <p>I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.</p>	
Signature:	Date:
Printed Name:	
Signature:	Date:
Printed Name:	

Please email your completed application to SiteReview@raleighnc.gov.



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DEVELOPMENT TYPE (UDO Section 2.1.2)

Conventional Subdivision
 Compact Development
 Conservation Development
 Cottage Court
 NOTE: Subdivisions may require City Council approval if in a Metro Park Overlay or Historic Overlay District

GENERAL INFORMATION

Scoping/sketch plan case number(s): N/A

Development name (subject to approval): 106 WAKEFIELD

Property Address(es): 106 WAKEFIELD AVE

Recorded Deed PIN(s): 1703195540

What is your project type?

Single family
 Townhouse
 Apartment
 Non-residential
 Other:
 Attached houses

CURRENT PROPERTY OWNER/DEVELOPER INFORMATION
 NOTE: Please attach purchase agreement when submitting this form

Company: FWM AT HILLSBOROUGH & MORGAN LLC | Owner/Developer Name and Title: James Zanoni, Manager
 Address: 132 BREVARD CT, CHARLOTTE NC 28202
 Phone #: _____ Email: jim@fmwrealestate.com

APPLICANT INFORMATION

Company: Timmons Group | Contact Name and Title: Patrick Barbeau, Senior Project Manager
 Address: 5410 Trinity Road, Suite 102, Raleigh, NC 27607
 Phone #: 919-866-4951 | Email: patrick.barbeau@timmons.com

Continue to page 2 >>

DEVELOPMENT TYPE + SITE DATE TABLE
 (Applicable to all developments)

ZONING INFORMATION

Gross site acreage: 0.76
 Zoning districts (if more than one, provide acreage of each): RX-3

Overlay district: SRPOD Inside City limits? Yes No
 Conditional Use District (CUD) Case # Z- Board of Adjustment (BOA) Case # A-

STORMWATER INFORMATION

Existing Impervious Surface: Acres: 0.514 Square Feet: 223851
 Proposed Impervious Surface: Acres: 0.559 Square Feet: 241851

Neuse River Buffer Yes No Wetlands Yes No

Is this a flood hazard area? Yes No
 If yes, please provide the following:
 Alluvial soils: _____
 Flood study: _____
 FEMA Map Panel #: 3720170302J

NUMBER OF LOTS AND DENSITY

Total # of townhouse lots: Detached 0 Attached 14
 Total # of single-family lots: 0
 Proposed density for each zoning district (UDO 1.5.2.F): N/A per TC-5-20
 Total # of open space and/or common area lots: 1
 Total # of requested lots: 15

SIGNATURE BLOCK

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

I, PATRICK BARBEAU, PE, will serve as the agent regarding this application, and will receive and respond to administrative comments, resubmit plans and applicable documentation, and will represent the property owner(s) in any public meeting regarding this application.

I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.

Signature: _____ Date: _____
 Printed Name: PATRICK BARBEAU, PE
 Signature: _____ Date: _____
 Printed Name: _____

- GENERAL NOTES:**
- TREE CONSERVATION:**
 - THIS PROJECT IS EXEMPT FROM TREE CONSERVATION BECAUSE SITE IS LESS THAN 2 ACRES.
 - STORMWATER:**
 - THIS DEVELOPMENT DOES NOT REQUIRE ACTIVE STORMWATER CONTROLS SINCE THE INCREASE IN PEAK STORMWATER RUNOFF BETWEEN PRE-DEVELOPMENT AND POST DEVELOPMENT CONDITIONS FOR THE SITE FOR THE TWO-YEAR STORM IS TEN PERCENT (10%) OR LESS PER CITY OF RALEIGH STORMWATER DESIGN MANUAL 1.2.6.5.1.
 - SOLID WASTE MANAGEMENT:**
 - SOLID WASTE WILL BE MANAGED THROUGH ROLL OUT BINS STORED IN GARAGES AND PICKUP BY CITY OF RALEIGH MUNICIPAL WASTE SERVICES.
 - BLOCK PERIMETER:**
 - SITE IS EXEMPT FROM BLOCK PERIMETER REQUIREMENTS SINCE SITE IS LESS THAN 3 ACRES PER UDO 8.3.2.A.2.B (TC-6-19).
 - CROSS ACCESS:**
 - CROSS ACCESS TO SINGLE FAMILY LOTS ABUTTING SITE IS NOT REQUIRED PER UDO SEC. 8.3.5.D.5.B.IV. (TC-6-19).
 - CROSS ACCESS TO LOT WEST OF SITE IS NOT REQUIRED DUE TO STEEP SLOPES PER UDO SEC. 8.3.5.D.5.B.II. (TC-6-19).
 - SITE IS EXEMPT FROM NEIGHBORHOOD TRANSITIONS PER UDO SEC. 3.5.1.C. SINGLE UNIT LIVING WITHIN TOWNHOMES LESS THAN 50 FEET IN HEIGHT.



KNOW WHAT'S BELOW.
 CALL 811 BEFORE YOU DIG.

106 WAKEFIELD

PRELIMINARY SUBDIVISION REVIEW

SUB CASE No. SUB-0052-2021

PIN: 1703195540

CITY OF RALEIGH

Wake COUNTY, NC



VICINITY MAP
 SCALE: 1" = 200'

FWM AT HILLSBOROUGH & MORGAN LLC

OWNER/DEVELOPER

10/15/2021

DEVELOPER:
 FWM AT HILLSBOROUGH & MORGAN LLC
 132 BREVARD CT
 CHARLOTTE, NC 28202
 JIM ZANONI
 jim@fmwrealestate.com

CIVIL ENGINEER:
 TIMMONS GROUP
 5410 TRINITY ROAD, STE. 102
 RALEIGH, NC 27607
 PATRICK BARBEAU, PE
 (919) 866-4951
 patrick.barbeau@timmons.com

ARCHITECT:
 STUDIO FUSION
 3800 ARCO CORPORATE DRIVE, STE. 125
 CHARLOTTE, NC 28273
 KEVIN MARLOW
 kmarlow@studiofusionpa.com

Sheet List Table

Sheet Number	Sheet Title
C0.0	COVER SHEET
C1.0	EXISTING CONDITIONS AND DEMOLITION PLAN
C2.0	SITE PLAN
C2.1	SUBDIVISION PLAN
C3.0	GRADING PLAN
C5.0	UTILITY PLAN
C5.1	LIGHTING PLAN
L6.0	LANDSCAPE PLAN
L6.1	LANDSCAPE DETAILS
C7.0	NOTES AND DETAILS
C7.1	NOTES AND DETAILS

PRELIMINARY
 NOT FOR
 CONSTRUCTION

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 TEL 919-866-4951 FAX 919-833-8124 www.timmons.com
 North Carolina License No. C-1652

YOUR VISION ACHIEVED THROUGH OURS.
 CITY OF RALEIGH COMMENTS

DATE: 10/15/2021
 DRAWN BY: 332
 DESIGNED BY: 332
 CHECKED BY: 332
 SCALE: ----

TIMMONS GROUP

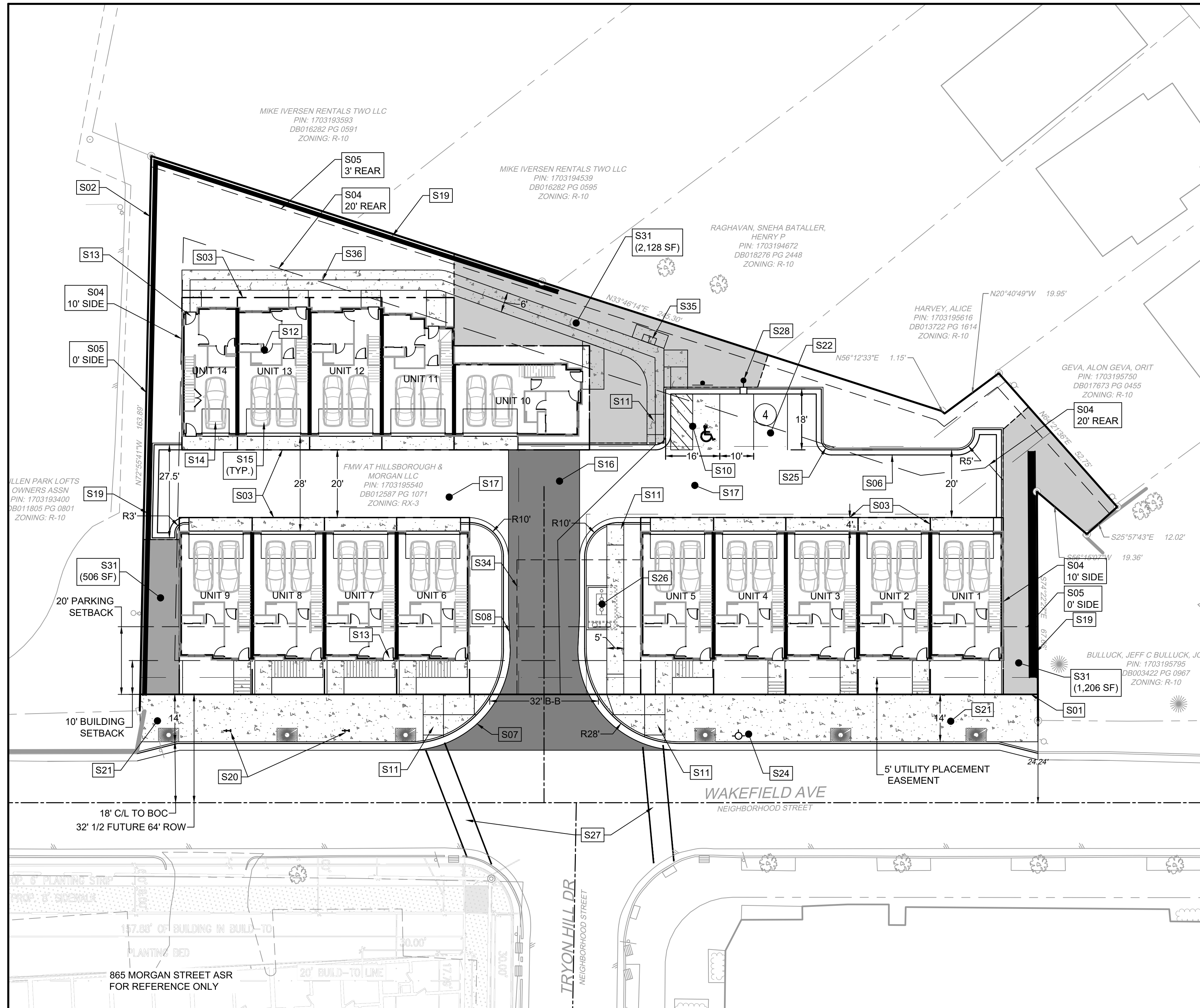
106 WAKEFIELD
 CITY OF RALEIGH - Wake COUNTY - NC
 COVER SHEET

JOB NO. 48600.001
 SHEET NO. C0.0

PRELIMINARY - NOT RELEASED FOR CONSTRUCTION

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH, NCDEQ, AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS.

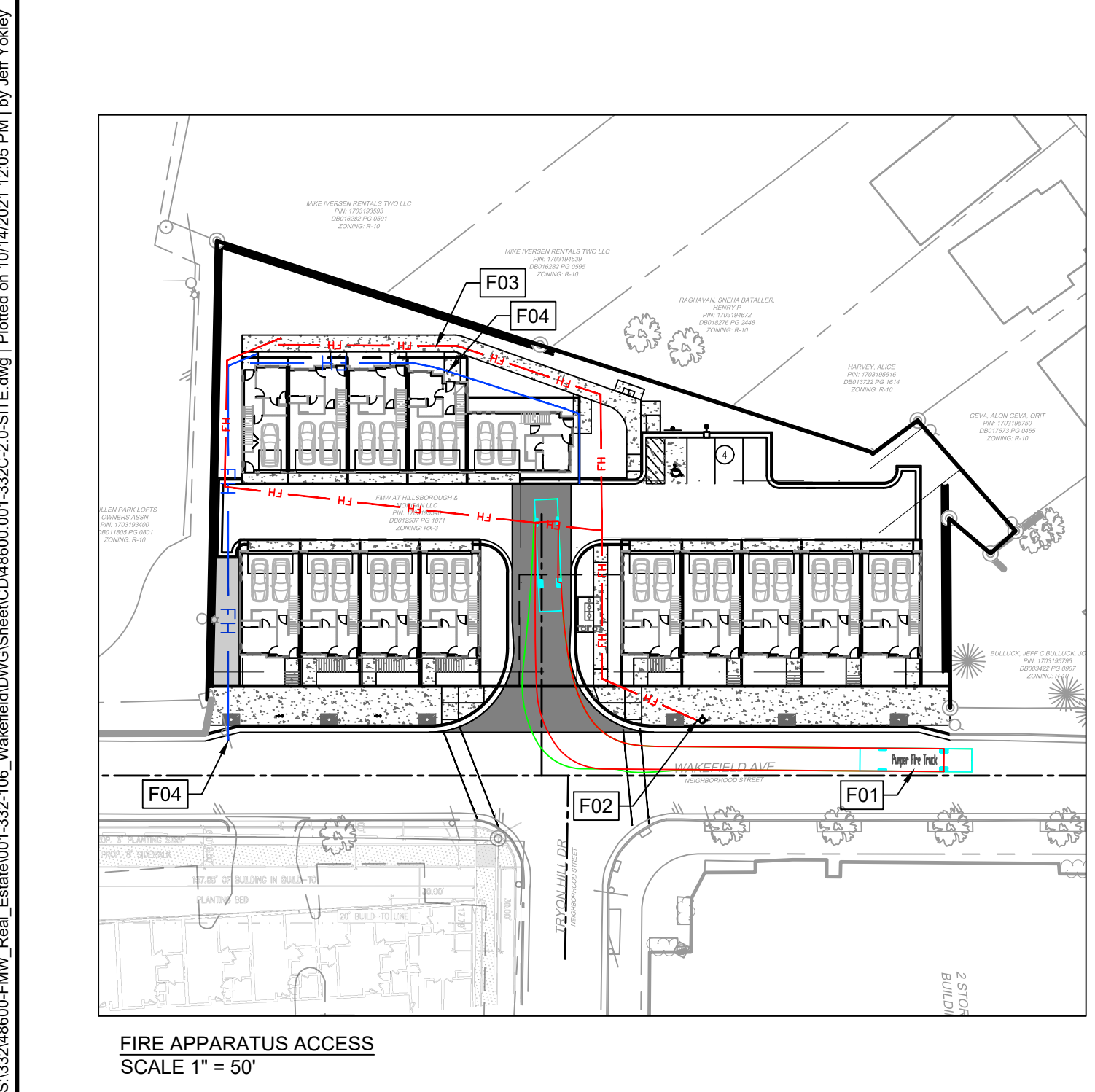
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SITE LAYOUT KEYNOTES	
NUMBER	DESCRIPTION
S01	RIGHT-OF-WAY (TYP.)
S02	PROPERTY BOUNDARY (TYP.)
S03	TOWNHOUSE LOT LINE
S04	BUILDING SETBACK
S05	PARKING SETBACK
S06	24" CONCRETE CURB & GUTTER; REFER TO DETAIL
S07	30" CONCRETE CURB & GUTTER; REFER TO CITY OF RALEIGH DETAIL T-10.26.01
S08	TAPER 30" CURB TO 24" CURB
S09	24" FLUSH CURB
S10	CONCRETE ADA STALL (TYP.) DIMENSIONED AND STRIPED PER ADA AND LOCAL CODES; WITH SIGNAGE (R-4A MUTCD)
S11	CURB RAMP @ 8.33% MAXIMUM (TYPICAL - PER ADA AND LOCAL CODES)
S12	BUILDING; REFER TO ARCHITECTURAL PLANS
S13	BUILDING PRIMARY ENTRANCE
S14	SINGLE CAR GARAGE
S15	TWO CAR GARAGE (TYP.)
S16	HEAVY DUTY ASPHALT; REFER TO DETAIL
S17	STANDARD DUTY ASPHALT; REFER TO DETAIL
S18	VARIABLE WIDTH PRIVATE DRAINAGE EASEMENT
S19	RETAINING WALL (DESIGN BY OTHERS)
S20	U-RAIL BICYCLE RACK (2 SPACES); REFER TO DETAIL
S21	4" THICK CONCRETE SIDEWALK; REFER TO PLANS FOR WIDTH DIMENSIONS
S22	PARKING STALL STRIPING PER LOCAL CODES (TYP.)
S23	"STOP" SIGN; R1-1 (MUTCD)
S24	SOLID WASTE PICKUP POINT
S25	3' CURB RADIUS (TYP.)
S26	FILTERRA SCM; REFER TO DETAIL
S27	PEDESTRIAN CROSSWALK STRIPING (PER LOCAL CODES)
S28	LIGHT POLE BASE (TYPICAL - REFER TO LIGHTING AND ARCHITECTURAL PLANS)
S31	ADA ACCESSIBLE OUTDOOR AMENITY AREA
S34	SCM ACCESS EASEMENT
S35	MAIL KIOSK
S36	LENGTH OF FARTHEST ENTRANCE TO PUBLIC ACCESS POINT (<300 LF PER 8.3.3.A.3)

- SITE LAYOUT NOTES**
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS.
 - ALL DIMENSIONS ARE TO FACE OF CURB, EDGE OF PAVING, BUILDING WALL FACE OR PROPERTY LINE UNLESS OTHERWISE NOTED.
 - CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, UTILITIES AND GRADES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY EXISTING DISCREPANCIES PRIOR TO COMMENCING ANY RELATED CONSTRUCTION.
 - AT LEAST 72 HOURS PRIOR TO CONSTRUCTION OR EXCAVATION THE CONTRACTOR SHALL NOTIFY "NORTH CAROLINA ONE CALL" (811) TO HAVE EXISTING UTILITIES LOCATED.
 - PARKING SPACES ARE 9' WIDE X 18' LONG MINIMUM EXCEPT HANDICAP SPACES WHICH ARE 8.0' WIDE MINIMUM WITH 8.0' VAN ACCESS AND 5.0' STANDARD ACCESS AISLES.
 - REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS OF THE BUILDING.
 - CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DIMENSIONAL CONFLICTS PRIOR TO THE BEGINNING OF CONSTRUCTION.
 - ALL CURB AND GUTTER ON-SITE SHALL BE 30" WIDE. ALL CURB AND GUTTER IN THE PUBLIC RIGHT OF WAY SHALL BE 30" WIDE.
 - TRANSITION FROM 30" TO 24" CURB AND GUTTER IS TO OCCUR ON-SITE. THIS TRANSITION SHALL BE 10' LONG IMMEDIATELY ADJACENT TO PUBLIC RIGHT OF WAY OR AS DIRECTED IN THE PLAN.
 - ALL DISTURBED CURB & GUTTER AND ASPHALT SHALL BE REPLACED PER CITY OF RALEIGH OR NCDOT STANDARDS AND SPECIFICATIONS.
 - ALL DRIVEWAY DESIGN AND CONSTRUCTION MUST COMPLY WITH CITY OF RALEIGH. DRIVEWAYS SHALL BE PERMITTED SEPARATELY.
 - NO SIGHT OBSTRUCTING OR PARTIALLY OBSTRUCTING WALL, FENCE, FOLIAGE, BERMING, PARKED VEHICLES OR SIGN BETWEEN THE HEIGHTS OF TWENTY-FOUR (24) INCHES AND EIGHT (8) FEET ABOVE THE CURB LINE ELEVATION, OR THE NEAREST TRAVELED WAY IF NO CURBING EXISTS, SHALL BE PLACED WITHIN A SIGHT TRIANGLE OF A PUBLIC STREET, PRIVATE STREET OR DRIVEWAY CONTAINED EITHER ON THE PROPERTY OR ON AN ADJOINING PROPERTY.
 - SOLID WASTE ROLL-OUT CARTS TO BE STORED IN INDIVIDUAL GARAGES.
 - NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING BUT NOT LIMITED TO CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.
 - STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY TREE MANUAL.
 - ROOFTOP MECHANICAL UNITS TO BE SCREENED IN COMPLIANCE WITH CITY OF RALEIGH REQUIREMENTS.

SITE DATA TABLE	
PROJECT NAME:	106 WAKEFIELD
PROPERTY OWNER:	FMW AT HILLSBOROUGH AND MORGAN LLC 132 BREVARD CT CHARLOTTE, NC 28202
PIN:	1703-19-5540
DEED REFERENCE:	DB. 012587 PG. 01071
PROPERTY ADDRESS:	106 WAKEFIELD AVE RALEIGH, NC 27603
JURISDICTION:	CITY OF RALEIGH
PROPERTY ZONING:	RX-3
EXISTING USE:	WAREHOUSE
PROPOSED USE:	TOWNHOMES
EXISTING PARCEL AREA:	33,147 SF (0.76 AC)
PROPOSED PARCEL AREA:	31,481 SF (0.72 AC)
PROPOSED RW DEDICATION AREA:	1,666 SF
BLOCK PERIMETER:	NOT REQUIRED AS SITE IS BELOW THE MINIMUM APPLICABLE SITE AREA.
SETBACKS:	
FRONT (FROM PRIMARY STREET):	BLDG.: 10' PARKING: 20'
SIDE:	BLDG.: 10' PARKING: 0'
REAR:	BLDG.: 20' PARKING: 3'
PARKING SUMMARY:	
MINIMUM REQUIRED VEHICULAR PARKING SPACES:	MULTI-UNIT LIVING: 3 BEDROOMS 2 SPACES PER UNIT 14' x 2 = 28 SPACES
TOTAL PROVIDED VEHICULAR PARKING SPACES:	TWO-CAR GARAGES: 13' x 2 = 26 SPACES ONE-CAR GARAGES: 1' x 1 = 1 SPACE COMMON AREA SURFACE PARKING = 4 SPACES (1 ADA) TOTAL = 31 SPACES (1 ADA)
MINIMUM REQUIRED SHORT-TERM BICYCLE PARKING SPACES:	1 SPACE PER 20 UNITS, MINIMUM 4
MINIMUM REQUIRED LONG-TERM BICYCLE PARKING SPACES:	NONE
TOTAL PROVIDED BICYCLE PARKING SPACES:	4 SHORT TERM SPACES (2 RACKS)
IMPERVIOUS SURFACE SUMMARY:	
EXISTING ONSITE IMPERVIOUS AREA:	0.514 ACRES = 67.5%
PROPOSED ONSITE IMPERVIOUS:	0.563 ACRES = 77.9% (INCLUDES 0.044 ACRES FUTURE IMPERVIOUS)
PROPOSED OFFSITE IMPERVIOUS IN R/W:	0.103 ACRES
TOTAL PROPOSED IMPERVIOUS:	0.666 ACRES
OUTDOOR AMENITY AREA:	
REQUIRED:	10% NET SITE AREA 31,481' x 10% = 3,148 SF 50% REQD OPEN SPACE IS TO BE ADA ACCESSIBLE 3,148' x 50% = 1,574 SF
PROVIDED:	3,840 SF TOTAL PROVIDED (1206+506+2128) 1,712 SF ADA ACCESSIBLE PROVID (1206+506)

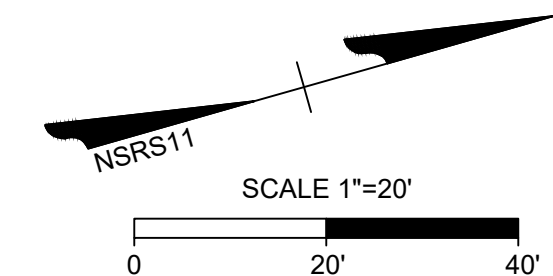
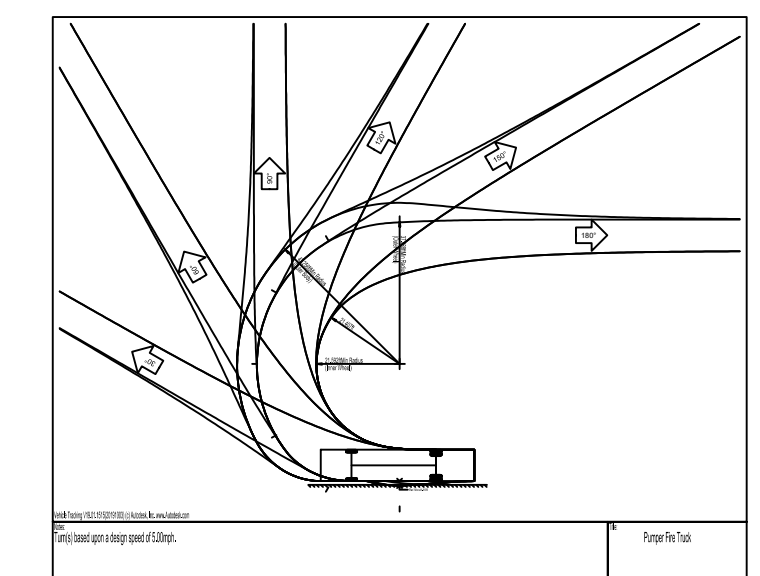


LEGEND:

DISTANCE FROM FIRE HYDRANT — FH — FH — FH —

DISTANCE FROM FIRE TRUCK ACCESS — FH — FH — FH —

NUMBER	DESCRIPTION
F01	PUMPER FIRE TRUCK (TYP.)
F02	PROPOSED FIRE HYDRANT (TYP.)
F03	<400 LF FROM HYDRANT (PULL-THE-HOSE-METHOD)
F04	<150 LF FROM FIRE TRUCK (PULL-THE-HOSE-METHOD)



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CONSTRUCTION

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REVISION	DESCRIPTION	DATE
1	CITY OF RALEIGH COMMENTS	2021-10-15

YOUR VISION ACHIEVED THROUGH OURS.

DATE	10/15/2021
DRAWN BY	332
DESIGNED BY	332
CHECKED BY	332
SCALE	----

TIMMONS GROUP

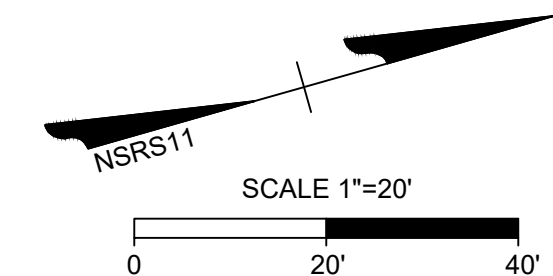
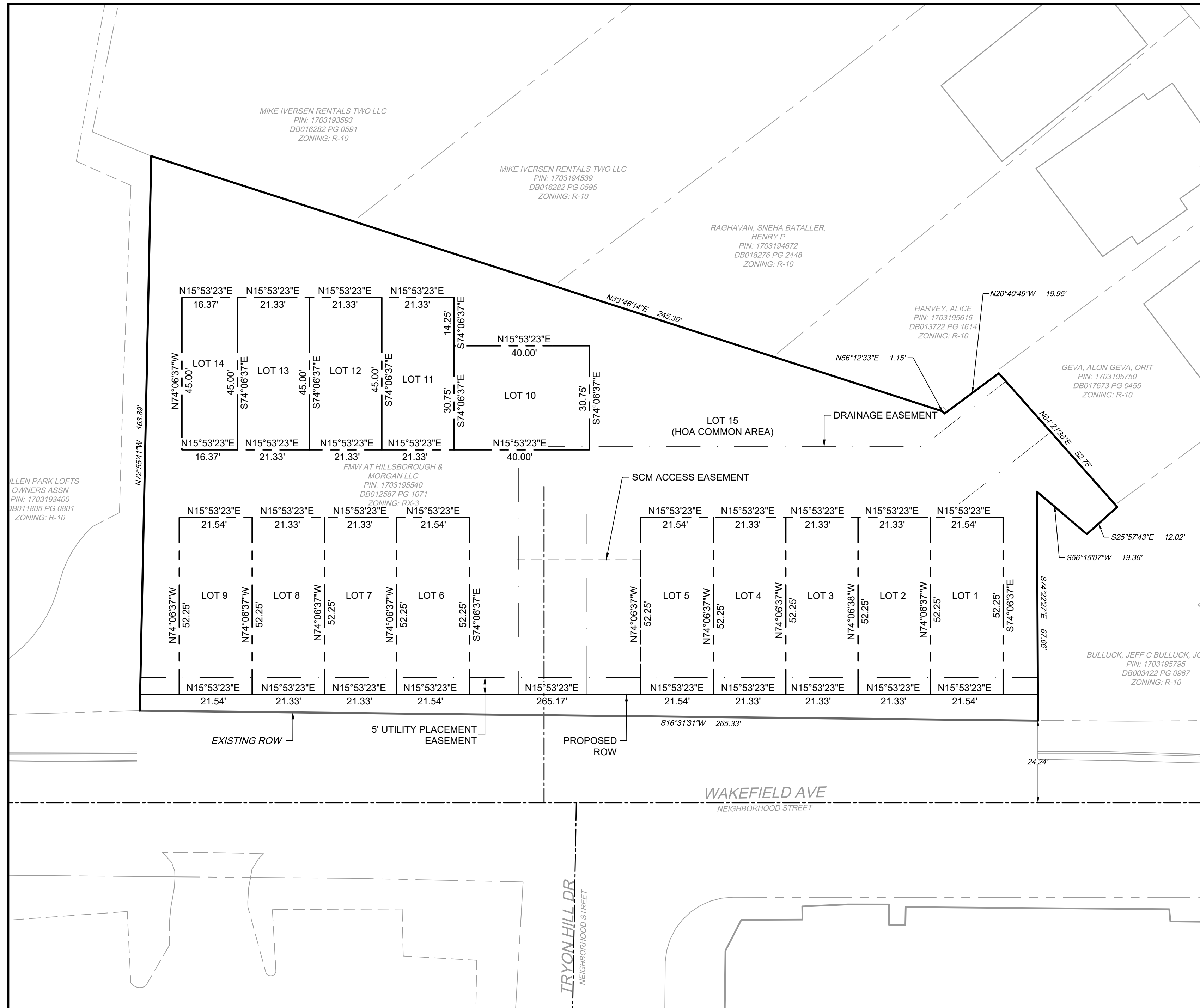
106 WAKEFIELD
CITY OF RALEIGH - Wake County - NC

SITE PLAN

JOB NO. 48600.001
SHEET NO. C2.0

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YOUR VISION ACHIEVED THROUGH OURS.

DATE	REVISION DESCRIPTION
2021-10-15	CITY OF RALEIGH COMMENTS

DATE	SCALE
10/15/2021	----

332
DESIGNED BY
332
CHECKED BY
332
SCALE

332
DRAWN BY
332
CHECKED BY
332
SCALE

TIMMONS GROUP
106 WAKEFIELD
CITY OF RALEIGH - WAKE COUNTY - NC
SUBDIVISION PLAN

JOB NO.
48600.001
SHEET NO.
C2.1

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