



Administrative Approval Action

Case File / Name: SUB-0052-2021
DSLC - 106 WAKEFIELD - SUB

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located on the south side of Hillsborough Street, west of W. Morgan St at 106 Wakefield Avenue.

REQUEST: Proposed development consisting of 14 townhome lots with 1 HOA Common Lot. The property is zoned RX-3-SRPOD, and the development involves a 0.76 acre/33,147 sf tract with 1,666 sf of right-of-way dedication.

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated December 23, 2021 by Timmons Group.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

1. Provide elevations for the proposed retaining walls, drawings for all retaining wall(s) shall include wall elevation grade measurements.
2. Demonstrate compliance with UDO Section 7.4.4. and dimension the height for the proposed light fixture shown.

Public Utilities

3. A Downstream Sewer Capacity Study in compliance with the City of Raleigh Public Utilities Department Handbook shall be submitted by the Project Engineer for review and approval.

Stormwater

4. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
5. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
6. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).



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☒ **LEGAL DOCUMENTS** - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Utility Placement Easement Required
<input checked="" type="checkbox"/>	Stormwater Maintenance Covenant Required

<input checked="" type="checkbox"/>	Slope Easement Required
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☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

General

1. Provide documentation indicating a Property Owner's Association has been established for the subject development.
2. Street names for this development shall be approved by the Raleigh GIS Division and by Wake County.
3. A demolition permit shall be issued and this building permit number shown on all maps for recording.

Engineering

4. A 5' utility placement easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.
5. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.
6. A public infrastructure surety shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.
7. A Slope easement deed of easement shall be approved by City staff and the location of the easement shall be shown on a plat approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recording. If a recorded copy of the document is not provided, further recordings and building permit issuance will be withheld.



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Public Utilities

8. Infrastructure Construction Plans (SPR submittal) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.
9. At the SPR level, the water service layout should be adjusted to conform to the Public Utilities Handbook specifications.

Stormwater

10. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).
11. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
12. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
13. The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office (UDO 9.2.2.G).
14. The maximum allocated impervious area for all applicable lots in the subdivision should be identified on all maps for recording.

Urban Forestry

15. A public infrastructure surety for 6 street trees in tree grates shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 125% of the improvement cost for the City of Raleigh infrastructure.

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

General

1. Provide building elevations for the proposed townhome blocks/lots demonstrating compliance with UDO Section 1.5.7.A for Average Post-Development Grade.

Stormwater

2. Impervious restrictions for each lot must be recorded on a plat prior to building permit issuance.



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Urban Forestry

3. Tree impact permits must be obtained for the approved streetscape tree installations in the right of way. This development proposes 6 street trees along Wakefield Avenue.

The following are required prior to issuance of building occupancy permit:

General

1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
2. Final inspection of right of way street trees by Urban Forestry Staff.

EXPIRATION DATES: If significant construction has not taken place on a project after preliminary subdivision approval, that approval may "sunset" and be declared void, requiring re-approval before permits may be issued. To avoid allowing this preliminary approval to "sunset", the following must take place by the following dates:

3-Year Sunset Date: May 27, 2025

Record at least ½ of the land area approved.

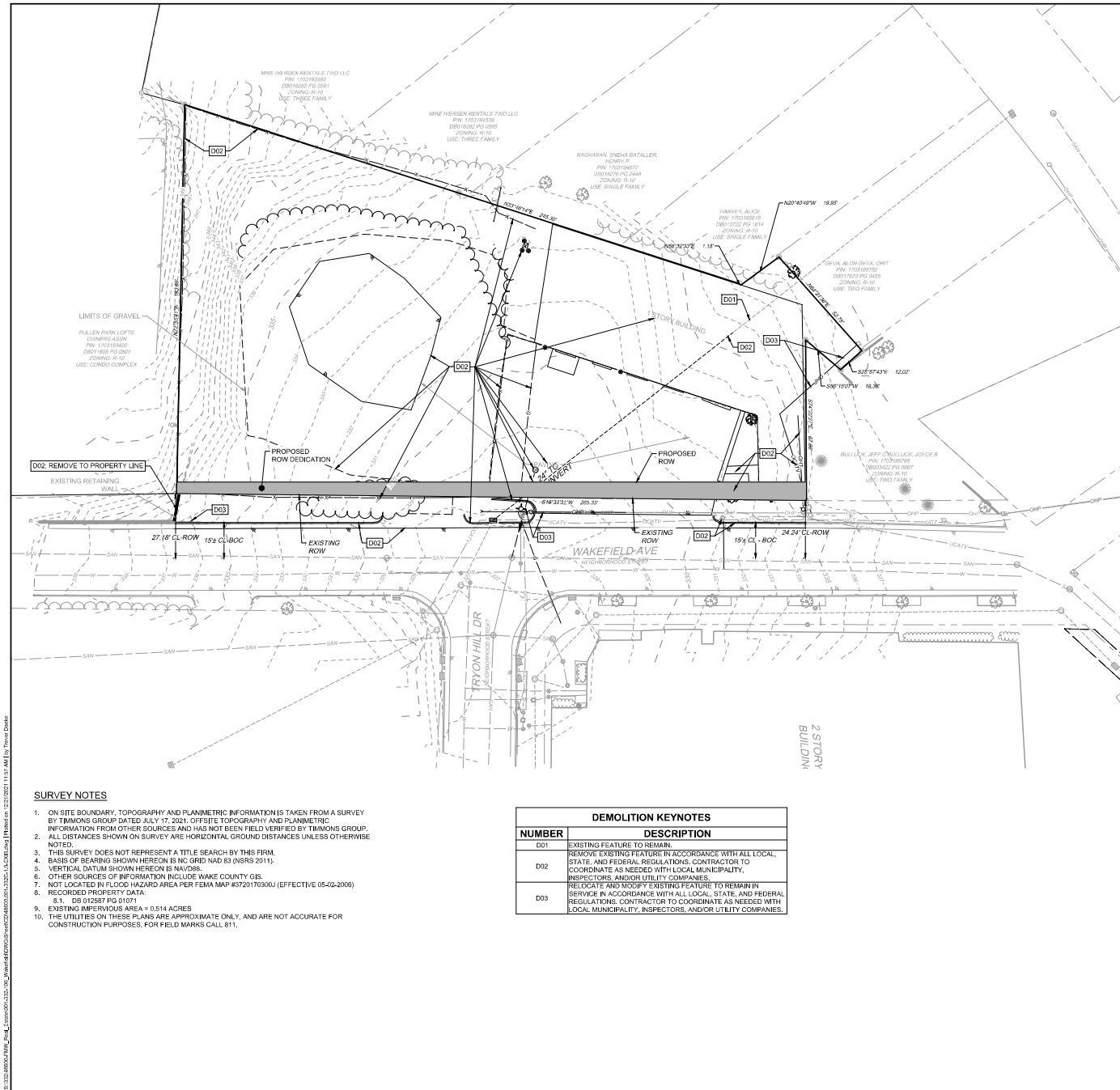
5-Year Sunset Date: May 27, 2027

Record entire subdivision.

I hereby certify this administrative decision.

Signed: Alysis Bailey Taylor Date: 01/28/2022
Development Services Dir/Designee
Staff Coordinator: Jermont Purifoy

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SURVEY NOTES

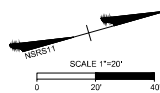
- ON SITE BOUNDARY, TOPOGRAPHY AND PLANIMETRIC INFORMATION IS TAKEN FROM A SURVEY BY TIMMONS GROUP DATED JULY 17, 2021. OFFSITE TOPOGRAPHY AND PLANIMETRIC INFORMATION FROM OTHER SOURCES AND HAS NOT BEEN FIELD VERIFIED BY TIMMONS GROUP. ALL DISTANCES SHOWN ON SURVEY ARE HORIZONTAL GROUND DISTANCES UNLESS OTHERWISE NOTED.
- THIS SURVEY DOES NOT REPRESENT A TITLE SEARCH BY THIS FIRM.
- BASIS OF BEARING SHOWN HEREON IS N 0° 00' 00" E (NARS 2011).
- VERTICAL DATUM SHOWN HEREON IS NAVD83.
- OTHER SOURCES OF INFORMATION INCLUDE WAKE COUNTY GIS.
- NOT LOCATED IN FLOOD HAZARD AREA PER FEMA MAP 45720170300 (EFFECTIVE 05-02-2008)
- RECORDED PROPERTY DATA.
- S.T. DB 012687 PG 01071
- EXISTING INTERVIEWS AREA = 0.514 ACRES
- THE UTILITIES ON THESE PLANS ARE APPROXIMATE ONLY, AND ARE NOT ACCURATE FOR CONSTRUCTION PURPOSES. FOR FIELD MARKS CALL 811.

DEMOLITION KEYNOTES	
NUMBER	DESCRIPTION
D01	EXISTING FEATURE TO REMAIN
D02	REMOVE EXISTING FEATURE IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS. CONTRACTOR TO COORDINATE AS NEEDED WITH LOCAL MUNICIPALITY, INSPECTORS, AND/OR UTILITY COMPANIES.
D03	RELOCATE AND MODIFY EXISTING FEATURE TO REMAIN IN SERVICE IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS. CONTRACTOR TO COORDINATE AS NEEDED WITH LOCAL MUNICIPALITY, INSPECTORS, AND/OR UTILITY COMPANIES.

LEGEND		
RF - IRON PIPE FOUND	● BOLLARD	— SIGW
RF - IRON ROD FOUND	● MH DRAINAGE	— FIBER OPTIC MARKER
RF - IRON PIPE SET	● MH ELECTRIC	— SPRINKLER HEAD
PT - CALCULATED POINT	● MH TELEPHONE	● SPRINKLER VALVE
CM - CONCRETE MONUMENT	● MH WATER	● GAS METER
● FIRE HYDRANT	● ELECTRIC BOX	● GAS VALVE
● TELEPHONE pedestal	● CHALK TV PEDESTAL	● ELECTRIC METER
● POWER POLE < GUY	● WATER METER	● AC UNIT
● LIGHT POLE	● WATER VALVE	● TELEPHONE VAULT
● YARD LIGHT	● ROOF DRAIN	● MAILBOX
● WELL	— LINE NOT SURVEYED	
R - W - INDY-ORWAY	— SAN -	
P - L - PROPERTY LINE	— FENCE	
C - L - CENTERLINE	— DWP -	
NTS - NOT TO SCALE	— G - GAS VALVE	
GV - GAS VALVE	— UGP -	
CB - CATCH BASIN	— STM -	
GR - GRATE INLET	— W -	
Y - YARD INLET	—	
CI - CURB INLET	—	
EP - EDGE OF PAVING	—	
TRC - TOP RAMP OF CURB	—	
DB - DEAD BOOK	—	
RB - PLAT BOOK	—	
PG - PAGE	—	
SF - SQUARE FEET	—	
● FLAG POLE	—	
	RCP - REINFORCED CONCRETE PIPE	
	CB - CORRUGATED METAL PIPE	
	VCP - VITRIFIED CLAY PIPE	
	DC - DUCTILE IRON PIPE	
	HCP - HIGH DENSITY POLYETHYLENE PIPE	
	HAUC - HATCHING, VENTA AND AREA HATCHING	

DEMOLITION NOTES

- ALL UTILITIES OR STRUCTURES NOT INDICATED FOR REMOVAL OR MODIFICATION ARE TO REMAIN AND BE PROTECTED FROM DAMAGE.
- CONTRACTOR TO OBTAIN REFERENCE AND UTILIZE ALL AVAILABLE ENVIRONMENTAL REPORTS (PHASE I ESA, ASBESTOS, ETC) FROM DEVELOPER.
- ALL WASTE MATERIAL GENERATED FROM CLEARING AND DEMOLITION ACTIVITIES SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL APPLICABLE RULES AND REGULATIONS.
- REMOVE/DEMOLISH ABANDON AFTER EROSION CONTROL MEASURES ARE IN PLACE AN APPROVAL OF THE INSPECTOR, REFER TO EROSION CONTROL PLAN.
- REMOVE TOPSOIL AND STOCKPILE APPROPRIATELY ON-SITE. ON-SITE TEMPORARY STOCKPILES SHALL BE LOCATED WITHIN CONSTRUCTION LIMITS.
- DO NOT INTERRUPT EXISTING UTILITIES SERVING FACILITIES OCCUPIED BY THE OWNER OR OTHERS EXCEPT WHEN PERMITTED UNDER THE FOLLOWING CONDITIONS AND THEN ONLY AFTER ARRANGING TO PROVIDE ACCEPTABLE TEMPORARY UTILITY SERVICES. (1) NOTIFY OWNER NOT LESS THAN ONE WEEK IN ADVANCE OF PROPOSED UTILITY INTERRUPTIONS. (2) DO NOT PROCEED WITH UTILITY INTERRUPTIONS WITHOUT RECEIVING OWNER WRITTEN PERMISSION. (3) COORDINATE ALL UTILITY RELOCATION WITH APPROPRIATE UTILITY PROVIDER.
- ALL PAVEMENT OR CONCRETE TO BE SAW CUT TO PROVIDE A STRAIGHT AND UNIFORM JOINT WITH NEW CONSTRUCTION. ANY EXISTING PAVEMENT, SIDEWALK, CURB & GUTTER, ETC. THAT MUST BE REMOVED TO ALLOW NEW CONSTRUCTION SHALL BE REMOVED TO ALLOW NEW CONSTRUCTION SHALL BE REMOVED AND REPAIRED PER THE SPECIFICATIONS AND DETAILS OR TO MATCH EXISTING CONDITIONS (WHETHER OR NOT SHOWN ON THE DRAWINGS) TO BE REMOVED. UTILITY INSTALLATIONS MAY UTILIZE OPEN CUT OF PAVEMENTS UNLESS INDICATED OTHERWISE. TRENCH IN EXISTING ASPHALT SHALL BE PATCHED PER PAVEMENT REPAIR DETAIL.
- PROTECT ALL ADJACENT PROPERTIES, THE GENERAL PUBLIC AND ALL OF THE OWNERS' FACILITIES. SHOULD DAMAGE OCCUR, NOTIFY ARCHITECT IMMEDIATELY.
- SUBSURFACE FEATURES ARE SHOWN IN APPROXIMATE LOCATION. CONTRACTOR IS RESPONSIBLE FOR SUBSURFACE UTILITY EXPLORATION TO DETERMINE UTILITY LOCATIONS AND DEPTHS.
- THE CONTRACTOR SHALL USE NC ONE CALL (811) TO LOCATE ALL UNDERGROUND UTILITIES.
- CONTRACTOR TO VERIFY LOCATIONS AND SIZES OF ALL EXISTING FEATURES PRIOR TO COMMENCEMENT OF CONSTRUCTION, REPAIR AND REPLACE ANY DAMAGES TO EXISTING UTILITIES RESULTING FROM CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR REMOVING OR ABANDONING ALL EXISTING UTILITIES AND STRUCTURES REQUIRED TO COMPLETE SITE CONSTRUCTION, EITHER ON-SITE OR IN PUBLIC ROW, IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS.
- WATER AND SEWER ABANDONMENT SHALL BE DONE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS INCLUDING DISCONNECT FROM THE MAIN AND REMOVAL OF SERVICES FROM THE RIGHT-OF-WAY.
- ANY EXISTING UNIDENTIFIED SEPTIC SYSTEMS AND WELLS FOUND ON SITE SHALL BE REMOVED OR ABANDONED IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS AT NO CHARGE TO THE OWNER.
- VERIFY ALL ILLUSTRATED KNOWN UNDERGROUND ELEMENTS. EXERCISE REASONABLE EFFORTS TO PROTECT ANY UNKNOWN UNDERGROUND ELEMENTS. NOTIFY THE ARCHITECT IMMEDIATELY IF UNKNOWN ELEMENTS ARE DISCOVERED THAT WOULD NECESSITATE MODIFICATION TO THE PROPOSED DESIGN.
- CONTRACTOR SHALL COORDINATE ALL CONNECTIONS, RELOCATION AND DEMOLITION WORK WITH THE APPROPRIATE COMPANY OR JURISDICTION HAVING AUTHORITY AND SHALL OBTAIN ANY PERMITS AS REQUIRED.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE LOCAL, STATE, AND OSHA REGULATIONS.
- EXISTING MANHOLES, VALVE BOXES, VAULTS, CLEANOUTS, UTILITY POLES ETC. TO REMAIN WITHIN THE GRADING LIMITS SHALL BE ADJUSTED AS NEEDED TO FUNCTION PROPERLY WITH THE PROPOSED FINISHED GRADES (WHETHER OR NOT INDICATED TO BE MODIFIED).
- GENERAL CONTRACTOR TO COORDINATE ALL PEDESTRIAN ACCESS PATHS, LOCATIONS, LIGHTING ETC. WITH THE DEVELOPER.
- CONTRACTOR SHALL NOTIFY APPROPRIATE DEPARTMENTS PRIOR TO BEGINNING ANY WORK WITHIN PUBLIC RIGHT-OF-WAY.



PRELIMINARY - NOT RELEASED FOR CONSTRUCTION

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH, NCDEQ, AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS.

PRELIMINARY
NOT FOR
CONSTRUCTION

THIS DRAWING PREPARED AT THE
RALEIGH OFFICE
5401 TERRY ROAD, SUITE 100, RALEIGH, NC 27607
TEL 919.866.4951 FAX 919.833.8124 WWW.TIMMONSGROUP.COM
North Carolina License No. C-1082

REVISION DESCRIPTION
2021-07-15 CITY OF RALEIGH COMMENTS
2021-07-15 CITY OF RALEIGH COMMENTS

YOUR VISION ACHIEVED THROUGH OURS.

DATE
10/15/2021

DESIGNED BY
332

CHECKED BY
332

SCALE
1"=1'

106 WAKEFIELD
CITY OF RALEIGH - WAKE COUNTY - NC

EXISTING CONDITIONS AND DEMOLITION PLAN

JOB NO.
48600.001

SHEET NO.
C1.0

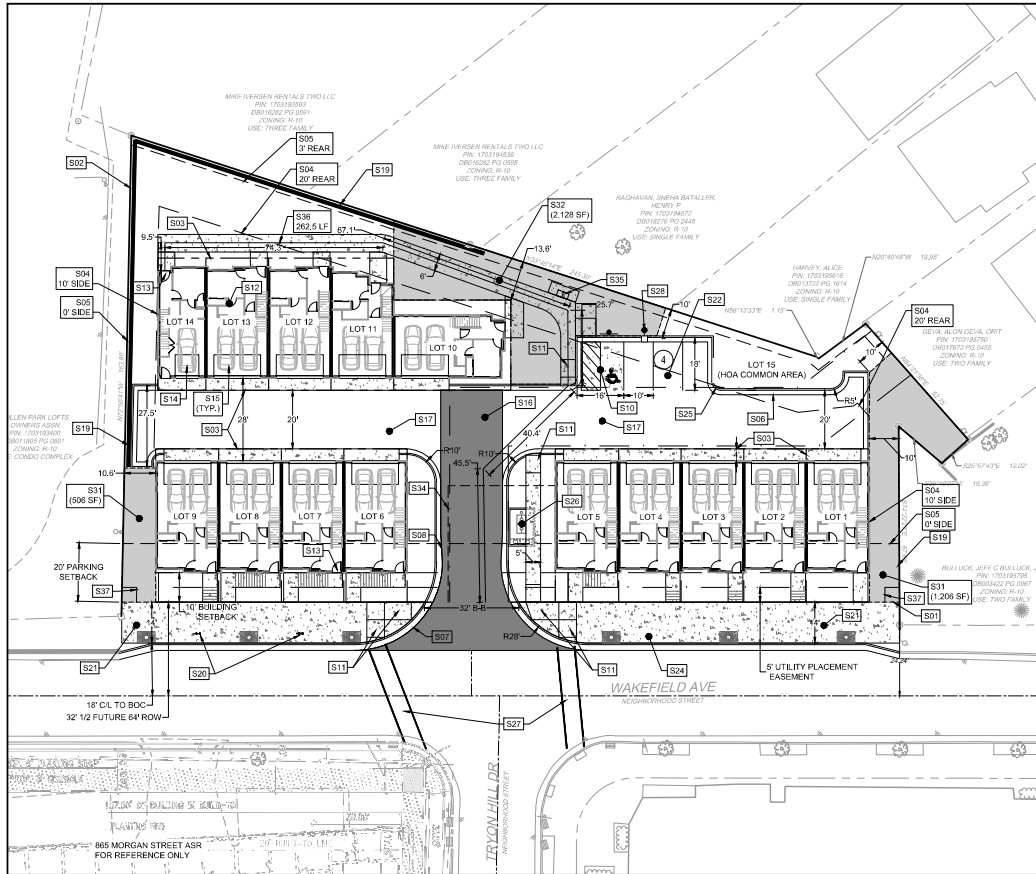
106 WAKEFIELD
CITY OF RALEIGH - WAKE COUNTY - NC

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JOB NO.
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SHEET NO.
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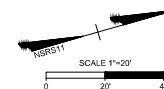
SITE LAYOUT KEYNOTES	
NUMBER	DESCRIPTION
S01	PROPOSED RIGHT-OF-WAY (TYP.)
S02	PROPERTY BOUNDARY (TYP.)
S03	TOWNHOUSE LOT LINE
S04	BUILDING SETBACK
S05	PARKING SETBACK
S06	24" CONCRETE CURB & GUTTER; REFER TO DETAIL
S07	30" CONCRETE CURB & GUTTER; REFER TO CITY OF RALEIGH DETAIL T-10.26.01
S08	TAPER 30" CURB TO 24" CURB
S09	24" FLUSH CURB
S10	CONCRETE ADA KALL (TYP.)
S11	DIMENSIONED AND STRIPPED PER ADA AND LOCAL CODES; WITH SIGNAGE (R-8A MUTCD)
S12	CURB RAMP @ 3.33% MAXIMUM (TYPICAL - PER ADA AND LOCAL CODES)
S13	BUILDING; REFER TO ARCHITECTURAL PLANS
S14	BUILDING PRIMARY ENTRANCE
S15	SINGLE CAR GARAGE
S16	TWO CAR GARAGE (TYP.)
S17	HEAVY DUTY ASPHALT; REFER TO DETAIL
S18	STANDARD DUTY ASPHALT; REFER TO DETAIL
S19	VARIABLE WIDTH PRIVATE DRAINAGE EASEMENT
S20	RETAINING WALL (DESIGN BY OTHERS)
S21	1/4" RAIL BI-CYCLE RACK (2 SPACES); REFER TO DETAIL
S22	4" THICK CONCRETE SIDEWALK; REFER TO PLANS FOR WIDTH DIMENSIONS
S23	PARKING STRIP STRIPPING PER LOCAL CODES (TYP.)
S24	"STOP" SIGN; R-1 (MUTCD)
S25	SOLID WASTE PICKUP POINT
S26	3" CURB RADIUS (TYP.)
S27	PEDESTRIAN CROSSWALK STRIPPING (PER LOCAL CODES)
S28	LIGHT POLE BASE (TYPICAL - REFER TO LIGHTING AND ARCHITECTURAL PLANS)
S29	ADA ACCESSIBLE OUTDOOR AMENITY AREA (EACH AREA IS AT LEAST 10' IN WIDTH AND LENGTH)
S30	OUTDOOR AMENITY SPACE (EACH AREA IS AT LEAST 10' IN WIDTH AND LENGTH)
S31	SCM ACCESS EASEMENT
S32	MAIL BOX
S33	LENGTH OF FARTHEST ENTRANCE TO PUBLIC ACCESS POINT (<100 LF PER 3.3.3.A.3)
S34	5%+ SLOPE EASEMENT

SITE LAYOUT NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS.
- ALL DIMENSIONS ARE TO FACE OF CURB, EDGE OF PAVING, BUILDING WALL FACE OR PROPERTY LINE UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, UTILITIES AND GRADES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY EXISTING DISCREPANCIES PRIOR TO COMMENCING ANY RELATED CONSTRUCTION.
- AT LEAST 72 HOURS PRIOR TO CONSTRUCTION OR EXCAVATION THE CONTRACTOR SHALL NOTIFY NORTH CAROLINA ONE CALL (811) TO HAVE EXISTING UTILITIES LOCATED.
- PARKING SPACES ARE 9' WIDE X 18' LONG MINIMUM EXCEPT HANDICAP SPACES WHICH ARE 8'0" WIDE MINIMUM WITH 8'0" VAN ACCESS AND 5'0" STANDARD ACCESS AISLES.
- REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS OF THE BUILDING.
- CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DIMENSIONAL CONFLICTS PRIOR TO THE BEGINNING OF CONSTRUCTION.
- ALL CURB AND GUTTER ON-SITE SHALL BE 30" WIDE. ALL CURB AND GUTTER IN THE PUBLIC RIGHT OF WAY SHALL BE 30" WIDE.
- TRANSITION FROM 30" TO 24" CURB AND GUTTER IS TO OCCUR ON-SITE. THIS TRANSITION SHALL BE 10' LONG IMMEDIATELY ADJACENT TO PUBLIC RIGHT OF WAY OR AS DIRECTED IN THE PLAN.
- ALL DISTURBED CURB & GUTTER AND ASPHALT SHALL BE REPLACED PER CITY OF RALEIGH OR NCDOT STANDARDS AND SPECIFICATIONS.
- ALL DRIVEWAY DESIGN AND CONSTRUCTION MUST COMPLY WITH CITY OF RALEIGH DRIVEWAYS SHALL BE PERMITTED SEPARATELY.
- NO SIGHT OBSTRUCTING OR PARTIALLY OBSTRUCTING WALL, FENCE, FOLIAGE, BERNING, PARKED VEHICLES OR SIGN BETWEEN THE HEIGHTS OF TWENTY-FOUR (24) INCHES AND EIGHT (8) FEET ABOVE THE CURB LINE ELEVATION, OR THE NEAREST TRAVELED WAY F NO CURBING EXITS SHALL BE PLACED WITHIN A SIGHT TRIANGLE OF A PUBLIC STREET, PRIVATE STREET OR DRIVEWAY CONTAINED EITHER ON THE PROPERTY OR ON AN ADJOINING PROPERTY.
- SOLID WASTE ROLL-OUT CARTS TO BE STORED IN INDIVIDUAL GARAGES.
- NO TEMPORARY OR PERMANENT ENCROACHMENTS INCLUDING BUT NOT LIMITED TO CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.
- STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY TREE MANUAL.
- ROOFTOP MECHANICAL UNITS TO BE SCREENED IN COMPLIANCE WITH CITY OF RALEIGH REQUIREMENTS.

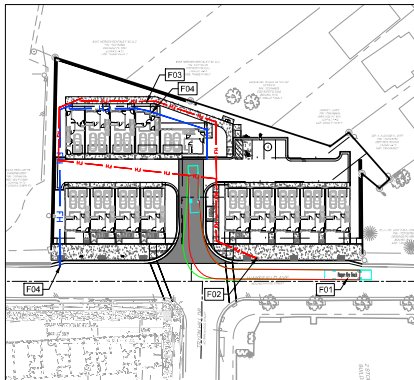
SITE DATA TABLE

PROJECT NAME	106 WAKEFIELD
PROPERTY OWNER	PMW AT HILLSBOROUGH AND MORGAN LLC 132 BREVARD CT CHARLOTTE, NC 28202
DEED REFERENCE	PMW 1703-15-040
PROPERTY ADDRESS	DB, 106 WAKEFIELD AVE 106 WAKEFIELD AVE RALEIGH, NC 27603
JURISDICTION	CITY OF RALEIGH
PROPERTY ZONING	RX-3 SRPOD
EXISTING USE	WAREHOUSE
PROPOSED USE	TOWNHOMES
EXISTING PARCEL AREA	33,147 SF (0.76 AC)
PROPOSED PARCEL AREA	31,481 SF (0.72 AC)
PROPOSED RAW DEDICATION AREA	1,666 SF
BLOCK PERIMETER	NOT REQUIRED AS SITE IS BELOW THE MINIMUM APPLICABLE SITE AREA.
SETBACKS:	
FRONT (FROM PRIMARY STREET)	BLDG. 10' PARKING: 20'
SIDE	BLDG. 10' PARKING: 0'
REAR	BLDG. 20' PARKING: 3'
PARKING SUMMARY:	
MINIMUM REQUIRED VEHICULAR PARKING SPACES	MULTI-UNIT LIVING 3 BEDROOMS 2 SPACES PER UNIT 14' x 2 = 28 SPACES
TOTAL PROVIDED VEHICULAR PARKING SPACES	TWO-CAR GARAGES: 13' x 2 = 26 SPACES ONE-CAR GARAGES: 1' x 1 = 1 SPACE COMMON AREA SURFACE PARKING = 4 SPACES (1 ADA) TOTAL = 31 SPACES (1 ADA)
MINIMUM REQUIRED SHORT-TERM BICYCLE PARKING SPACES	SPACE PER 20 UNITS, MINIMUM 4
MINIMUM REQUIRED LONG-TERM BICYCLE PARKING SPACES	NONE
TOTAL PROVIDED BICYCLE PARKING SPACES	1 SHORT TERM SPACES (2 RACKS)
IMPERVIOUS SURFACE SUMMARY:	
EXISTING ON-SITE IMPERVIOUS AREA	0.514 ACRES = 67.5%
PROPOSED ON-SITE IMPERVIOUS	0.563 ACRES = 77.9% (INCLUDES 0.044 ACRES FUTURE IMPERVIOUS)
PROPOSED OFF-SITE IMPERVIOUS IN ROW	0.103 ACRES
TOTAL PROPOSED IMPERVIOUS	0.666 ACRES
OUTDOOR AMENITY AREA:	
REQUIRED	10% NET SITE AREA 31,481' x 10% = 3,148 SF 50% REQ'D AMENITY SPACE AREA IS TO BE ADA ACCESSIBLE 3,148' x 50% = 1,574 SF
PROVIDED	3,840 SF TOTAL PROVIDED (1208+506+128) 1,712 SF ADA ACCESSIBLE PROVIDED (1208+508)



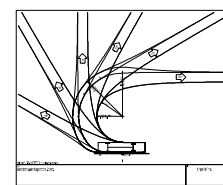
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LEGEND:
DISTANCE FROM FIRE HYDRANT
DISTANCE FROM FIRE TRUCK ACCESS

FIRE TRUCK EXIT & HYDRANT ACCESS KEYNOTES	
NUMBER	DESCRIPTION
F01	PUMPER FIRE TRUCK (TYP.)
F02	PROPOSED FIRE HYDRANT (TYP.)
F03	2400 LF FROM HYDRANT (PULL-THE-HOSE-METHOD)
F04	1150 LF FROM FIRE TRUCK (PULL-THE-HOSE-METHOD)



LOT DATA TABLE		
LOT NUMBER	SF	AC
1	1125.6	0.03
2	1114.7	0.03
3	1114.7	0.03
4	1114.7	0.03
5	1125.6	0.03
6	1125.6	0.03
7	1114.7	0.03
8	1114.7	0.03
9	1125.6	0.03
10	1230.1	0.03
11	960	0.02
12	960	0.02
13	960	0.02
14	736.5	0.02
15	1855.8	0.38

PRELIMINARY
NOT FOR
CONSTRUCTION

THIS DRAWING PREPARED AT THE RALEIGH OFFICE 5403 TERRY ROAD, SUITE 100, RALEIGH, NC 27607 TEL: 919.866.4951 FAX: 919.873.8124 WWW.TIMMONSGROUP.COM North Carolina License No. C-1892	REVISION DESCRIPTION 2021-12-23 CITY OF RALEIGH COMMENTS 2021-12-23 CITY OF RALEIGH COMMENTS
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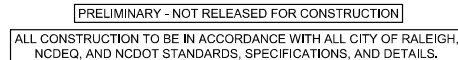
YOUR VISION ACHIEVED THROUGH OURS.	DATE 10/15/2021
DATE 10/15/2021	DESIGNED BY 332
DESIGNED BY 332	CHECKED BY 332
CHECKED BY 332	SCALE ---

TIMMONS GROUP


106 WAKEFIELD
CITY OF RALEIGH - WAKE COUNTY - NC
SITE PLAN

JOB NO. 48600.001
SHEET NO. C2.0

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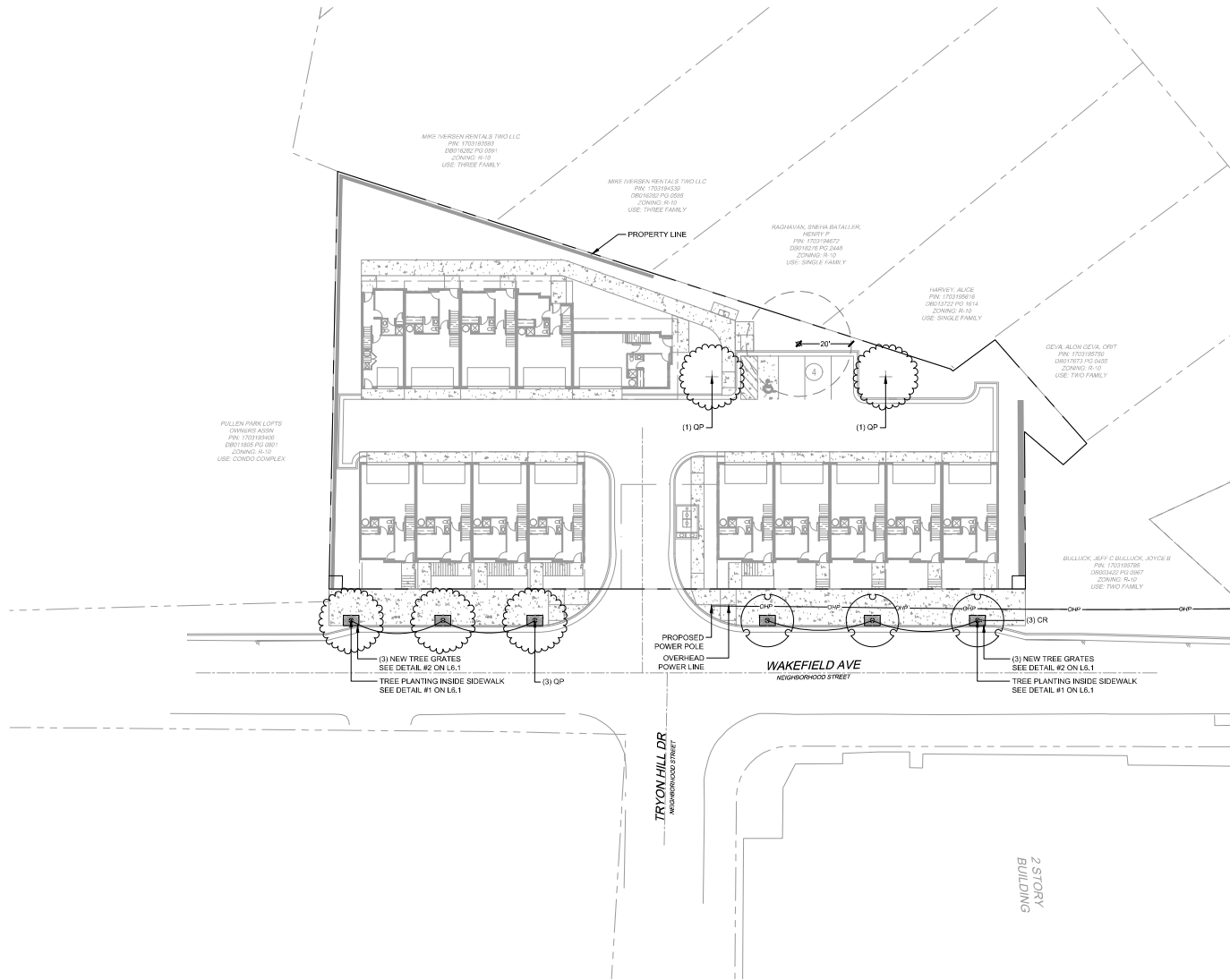
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	332
	DESIGNED BY
	332
	CHECKED BY
	332
	SCALE

JOB NO.	48600.001
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PLANT SCHEDULE					
TREES	QTY	BOTANICAL NAME	COMMON NAME	MIN. INSTALLED SIZE	ROOT TYPE
CR	3	CHONANTHUS RETUSUS	CHINESE FRINGE TREE	1.5" CAL. 6' HT. MIN.	B&B UNDERSTORY TREE
QUE PHE	5	QUERCUS PHELLOS	WILLOW OAK	3" CAL. 10' HT. MIN.	B&B SHADE TREE

LANDSCAPING NOTES

- PROJECT IS EXEMPT FROM TREE CONSERVATION REQUIREMENTS PER USG SEC. 5.1.2. THE SITE IS UNDER 2 ACRES.

STREETS TREES (STREET DESIGN MANUAL)

NEIGHBORHOOD STREET (3.2.2.1)

- MINIMUM PLANTING AREA: 6'
- TREE SPACING: 40' O.C. AVG.

WAKEFIELD AVE -

4 SHADE TREES / 100' SHADE TREES NOT ALLOWED UNDER OVERHEAD UTILITY LINES. UNDERSTORY TREES USED IN PLACE OF SHADE TREES.

- NOTES: LENGTH MEASURED FROM TIP OF SIGHT DISTANCE TRIANGLE TO BUFFER CORNER

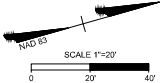
FRONTAGE SEGMENT: 235 LF

6 TREES REQUIRED

3 SHADE TREES PROVIDED

3 UNDERSTORY TREES PROVIDED (OVERHEAD POWER LINE)

- STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY TREE MANUAL.
- STREET TREES SPECIES ARE PER THE HILLSBOROUGH / MORGAN ST. MASTER PLAN.



PRELIMINARY - NOT RELEASED FOR CONSTRUCTION

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH, NCDEQ, AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS.

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REVISION DESCRIPTION	
DATE	CITY OF RALEIGH COMMENTS
2021-10-15	2021-12-23

DATE
10/15/2021

DRAWN BY
S. FANTAYE

DESIGNED BY
S. FANTAYE

CHECKED BY
J. BLASCO

SCALE
AS SHOWN

TIMMONS GROUP

106 WAKEFIELD
CITY OF RALEIGH - WAKE COUNTY - NC
LANDSCAPE PLAN

JOB NO. 48600.001
SHEET NO. L6.0

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