

Preliminary Subdivision Application

Planning and Development

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



INSTRUCTIONS: This form is used when submitting a Preliminary Subdivision (UDO Section 10.2.5). Please check the appropriate review type and include the plan checklist document. Please email all documents and your preliminary subdivision plans to SiteReview@raleighnc.gov.


DEVELOPMENT TYPE (UDO Section 2.1.2)			
<input checked="" type="checkbox"/> Conventional Subdivision	<input type="checkbox"/> Compact Development	<input type="checkbox"/> Conservation Development	<input type="checkbox"/> Cottage Court
NOTE: Subdivisions may require City Council approval if in a Metro Park Overlay or Historic Overlay District			
GENERAL INFORMATION			
Scoping/sketch plan case number(s):			
Development name (subject to approval):			
Property Address(es):			
Recorded Deed PIN(s):			
What is your project type?	<input type="checkbox"/> Single family <input type="checkbox"/> Apartment	<input type="checkbox"/> Townhouse <input type="checkbox"/> Non-residential	<input type="checkbox"/> Attached houses Other: _____

CURRENT PROPERTY OWNER/DEVELOPER INFORMATION	
NOTE: Please attach purchase agreement when submitting this form	
Company:	Owner/Developer Name and Title:
Address:	
Phone #:	Email:
APPLICANT INFORMATION	
Company:	Contact Name and Title:
Address:	
Phone #:	Email:

Continue to page 2 >>

DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)	
ZONING INFORMATION	
Gross site acreage: 95.41 ac	
Zoning districts (if more than one, provide acreage of each): R-6-CU: 85.99 ac CM: 9.43 ac	
Overlay district:	Inside City limits? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Conditional Use District (CUD) Case # Z-	Board of Adjustment (BOA) Case # A-

STORMWATER INFORMATION	
Existing Impervious Surface: Acres: <u>2.15</u> Square Feet: <u>93,676</u>	Proposed Impervious Surface: Acres: <u>28.58</u> Square Feet: <u>1,245,022</u>
Neuse River Buffer <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Wetlands <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Is this a flood hazard area? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If yes, please provide the following: Alluvial soils: _____ Flood study: _____ FEMA Map Panel #: <u>3720173500k, 3720174500k, 3720173400k, 3720174400k</u>	
NUMBER OF LOTS AND DENSITY	
Total # of townhouse lots:	Detached Attached
Total # of single-family lots: 281	
Proposed density for each zoning district (UDO 1.5.2.F): 281 lots / 95.41 ac = 2.95	
Total # of open space and/or common area lots: 4	
Total # of requested lots: 285	

SIGNATURE BLOCK	
<p>The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.</p> <p>I, <u>Sean Hein</u> will serve as the agent regarding this application, and will receive and respond to administrative comments, resubmit plans and applicable documentation, and will represent the property owner(s) in any public meeting regarding this application.</p> <p>I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.</p>	
Signature: 	Date: 07/21/2022
Printed Name: Sean Hein	
Signature:	Date:
Printed Name:	

Please email your completed application to SiteReview@raleighnc.gov.

ADOBE ON ADCOCK HILL

PRELIMINARY SUBDIVISION PLAN

1521, 1529, 1601, 1617, 1633 OLD MILBURNIE RD, RALEIGH NC 27604

SKETCH PLAN REVIEW #: SCOPE-0061-2022

Preliminary Subdivision Application

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DEVELOPMENT TYPE (UDO Section 2.1.2)	
<input checked="" type="checkbox"/> Conventional Subdivision	<input type="checkbox"/> Compact Development
<input type="checkbox"/> Conservation Development	<input type="checkbox"/> Cottage Court
NOTE: Subdivisions may require City Council approval if in a Metro Park Overlay or Historic Overlay District.	
GENERAL INFORMATION	
Scoping/sketch plan case number(s):	SCOPE-0061-2022
Development name (subject to approval):	Adobe On Adcock Hill
Property Address(es):	1521 Old Milburnie Road, 1529 Old Milburnie Road, 1601 Old Milburnie Road, 1617 Old Milburnie Road, 1633 Old Milburnie Road
Recorded Deed PIN(s):	1735-90-2389, 1735-90-8493, 1745-00-0797, 1734-89-7943, 1734-99-9718
What is your project type?	<input checked="" type="checkbox"/> Single family <input type="checkbox"/> Apartment <input type="checkbox"/> Townhouse <input type="checkbox"/> Non-residential <input type="checkbox"/> Other: _____ <input type="checkbox"/> Attached houses
CURRENT PROPERTY OWNER/DEVELOPER INFORMATION	
NOTE: Please attach purchase agreement when submitting this form.	
Company: Darlington Advisors, LLC	Owner/Developer Name and Title: Darlington Advisors, LLC
Address: 3105 Glenwood Avenue, Suite 105, Raleigh, NC 27612	
Phone #: 919-306-3330	Email: john@jpsouth.com, scullinan@edgewater-ventures.com
APPLICANT INFORMATION	
Company: Timmons Group	Contact Name and Title: Sean Hein
	Address: 5410 Trinity Road, Suite 102, Raleigh, NC 27607
Phone #: 919-866-4934	Email: sean.hein@timmons.com

Continue to page 2 >>

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DEVELOPMENT TYPE + SITE DATE TABLE	
(Applicable to all developments)	
ZONING INFORMATION	
Gross site acreage: 95.41 ac	
Zoning districts (if more than one, provide acreage of each):	R-6-CU: 85.99 ac CM: 9.43 ac
Overlay district:	Inside City limits? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Conditional Use District (CUD) Case # Z-	Board of Adjustment (BOA) Case # A-
STORMWATER INFORMATION	
Existing Impervious Surface:	Proposed Impervious Surface:
Acre: .115 Square Feet: 50,576	Acre: .116 Square Feet: 51,482
Neuse River Buffer: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Wetlands: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Is this a flood hazard area? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
If yes, please provide the following:	
Alluvial soils:	
Flood study:	
FEMA Map Panel #: 212017500A, 212017400B, 212017400C, 212017400D, 212017400E	
NUMBER OF LOTS AND DENSITY	
Total # of townhouse lots:	Detached Attached
Total # of single-family lots:	281
Proposed density for each zoning district (UDO 1.5.2.F):	281 lots / 95.41 ac = 2.95
Total # of open space and/or common area lots:	4
Total # of requested lots:	285
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I, <u>Sean Hein</u> , will serve as the agent regarding this application, and will receive and respond to administrative comments, resubmit plans and applicable documentation, and will represent the property owner(s) in any public meeting regarding this application.	
I/We have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.	
Signature: <u>[Signature]</u>	Date: 07/21/2022
Signature: _____	Date: _____
Printed Name: _____	
Please email your completed application to SiteReview@raleighnc.gov .	

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VICINITY MAP
SCALE 1" = 500'

ADCOCK	
Sheet Number	Sheet Title
C0.0	COVER
C1.0	OVERALL EXISTING CONDITIONS
C1.1	EXISTING CONDITIONS
C1.2	EXISTING CONDITIONS
C1.3	EXISTING CONDITIONS
C2.0	OVERALL SITE PLAN
C2.1	SITE PLAN
C2.2	SITE PLAN
C2.3	SITE PLAN
C2.4	BLOCK PLAN
C2.5	TREE CONSERVATION AREA PLAN
C3.0	OVERALL UTILITY PLAN
C3.1	UTILITY PLAN
C3.2	UTILITY PLAN
C3.3	UTILITY PLAN
C4.0	OVERALL GRADING PLAN
C4.1	GRADING PLAN
C4.2	GRADING PLAN
C4.3	GRADING PLAN
C5.0	OVERALL LANDSCAPE PLAN
C5.1	LANDSCAPE PLAN
C5.2	LANDSCAPE PLAN
C5.3	LANDSCAPE PLAN
C5.4	LANDSCAPE DETAILS
C6.0	LIGHTING PLAN
C7.0	NOTES AND DETAILS
C7.1	NOTES AND DETAILS

NOTE: SOLID WASTE FOR EACH RESIDENCE WILL BE MANAGED THROUGH CURB SIDE PICK UP 0 AS PROVIDED BY THE CITY OF RALEIGH'S SOLID WASTE SERVICE DEPARTMENT AND IN ACCORDANCE WITH THE SOLID WASTE SERVICES DESIGN MANUAL. REFUSE CONTAINERS ARE TO BE STORED IN GARAGES.

SITE DATA

PROJECT:	ADOBE ON ADCOCK HILL
ENGINEER:	ALLISON STONE, PE TIMMONS GROUP 5410 TRINITY ROAD; SUITE 102 RALEIGH, NC 27607 PHONE: 919-866-4518 FAX: 919-859-5663 EMAIL: ALLISON.STONE@TIMMONS.COM
DEVELOPER:	DARLINGTON ADVISORS, LLC 3105 GLENWOOD AVE, SUITE 105, RALEIGH, NC 27612 PHONE: 919-306-3330 EMAIL: JOHN@JPSOUTH.COM, SCULLINAN@EDGEWATER-VENTURSE.COM
PINS:	1735-90-2389, 1735-90-8493, 1745-00-0797, 1734-89-7943, 1734-99-9718
ZONING:	R-6-CU, CM
PROPOSED USE:	RESIDENTIAL - DETACHED HOUSING
TOTAL TRACT AREA:	R-6-CU: 85.99 AC CM: 9.43 AC
NUMBER OF PROPOSED LOTS:	281

CONDITIONS DATED: OCTOBER 22, 2021

- DEVELOPMENT OF THE SUBJECT PROPERTY SHALL INCLUDE A MULTI-USE PATH BUILT TO CITY OF RALEIGH GREENWAY STANDARDS AND SUBJECT TO APPROVAL OF PARKS, RECREATION AND CULTURAL RESOURCES AT THE TIME OF ADMINISTRATIVE SITE REVIEW GENERALLY CONSISTENT WITH THE ALIGNMENT SHOWN IN EXHIBIT A. AS SUCH, THE PATH SHALL BE APPROXIMATELY 2,675' IN LENGTH, TEN FEET (10') IN WIDTH, WHICH CAN VARY TO ACCOMMODATE TOPOGRAPHICAL AND OTHER NATURAL FEATURES OF THE SITE, AND INCLUDE AT LEAST ONE POINT OF ACCESS FROM THE SIDEWALK SYSTEM WITHIN THE DEVELOPMENT.
- TO PROTECT THE WATER QUALITY OF BEAVER DAM LAKE, PRESERVE HABITAT AND CREATE A VISUAL BUFFER, ANY ADMINISTRATIVE SITE REVIEW (ASR) FOR A TIER THREE SITE PLAN ON THE PROPERTY SHOWN ON A PLAT RECORD IN BOOK OF MAPS 017533, PAGE 02783 SHALL PRESERVE AN UNDISTURBED NATURAL BUFFER OF 100' MEASURED PERPENDICULARLY FROM THE NORTHERN PROPERTY LINE OF THE SUBJECT PROPERTY. NOTWITHSTANDING THE ABOVE, APPROVED STORMWATER FACILITIES CONTROLLING THE CONVEYANCE OF STORMWATER THROUGH A STREAM BUFFER MAY BE PLACED WITHIN THE 100' BUFFER AREA.
- TO PROVIDE BETTER TREATMENT AND DETENTION BEFORE DRAINAGE OF STORMWATER, ANY ADMINISTRATIVE SITE REVIEW (ASR) FOR A TIER THREE SITE PLAN SHALL CONTROL THE POST DEVELOPMENT PEAK FLOW AT EACH DISCHARGE POINT DRAINING TO BEAVERDAM LAKE AND THE NEUSE RIVER TO PRE-DEVELOPMENT LEVELS DURING 2-YEAR, 10-YEAR AND 25-YEAR RAINFALL EVENTS.
- TO PROTECT THE WATER QUALITY OF BEAVER DAM LAKE DURING THE CONSTRUCTION PHASE OF ANY DEVELOPMENT ON THE SUBJECT OF PROPERTIES, A SUPER SILT FENCE SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS DOWNSLOPE FROM ALL DISTURBED AREAS DRAINING TO BEAVER DAM LAKE.
- DEVELOPMENT OF THE SUBJECT PROPERTY SHALL INCLUDE AN AREA LOCATED ON 1521 OLD MILBURNIE ROAD (PIN NUMBER 1735903287) ON THE EAST SIDE OF OLD MILBURNIE ROAD WITH A MINIMUM OF ONE ACRE IN SIZE TO BE USED EXCLUSIVELY FOR NON-RESIDENTIAL USES, INCLUDING BUT NOT LIMITED TO DAY CARE, PARK, RECREATION FIELD, COMMUNITY CENTER, OPEN SPACE, COMMUNITY GARDEN, PRODUCE STAND, AND GATHERING PLACE FOR TEMPORARY EVENTS SUCH AS CELEBRATIONS AND AN OUTDOOR MARKET.



THIS DRAWING PREPARED AT THE
RALEIGH OFFICE
5410 Trinity Road, Suite 102 | Raleigh, NC 27607
TEL 919-866-4931 FAX 919-859-5663 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

DESIGNED BY
331
CHECKED BY
A. STONE
SCALE
SEE MAP

TIMMONS GROUP
ADOBE ON ADCOCK HILL
1521 OLD MILBURNIE RD, RALEIGH, NC 27604
COVER

JOB NO.
50484
SHEET NO.
C0.0

PROGRESS DRAWINGS - DO NOT USE FOR CONSTRUCTION

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S:\03150484-Adcock_Family_Firm\DWG\Sheet\Preliminary\0484-331C-0-COVER.dwg | Plotted by Allison Stone



SITE LAYOUT NOTES:

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS.
- ALL DIMENSIONS ARE TO BACK OF CURB, EDGE OF PAVING, BUILDING WALL FACE OR PROPERTY LINE, UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, UTILITIES AND GRADES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY EXISTING DISCREPANCIES PRIOR TO COMMENCING ANY RELATED CONSTRUCTION.
- AT LEAST 72 HOURS PRIOR TO CONSTRUCTION OR EXCAVATION THE CONTRACTOR SHALL NOTIFY "NORTH CAROLINA ONE CALL" (811) OR (1-800-432-4949) TO HAVE EXISTING UTILITIES LOCATED.
- PARKING SPACES ARE 9'0" WIDE X 18' LONG MINIMUM EXCEPT HANDICAP SPACES WHICH ARE 8'0" WIDE MINIMUM WITH 8'0" VAN ACCESS AND 5'0" STANDARD ACCESS AISLES.
- REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS OF THE BUILDING.
- CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DIMENSIONAL CONFLICTS PRIOR TO THE BEGINNING OF CONSTRUCTION.
- ALL CURB AND GUTTER IN THE PUBLIC RIGHT OF WAY SHALL BE 30" WIDE.
- ALL DRIVEWAY DESIGN AND CONSTRUCTION MUST COMPLY WITH THE RALEIGH STREET DESIGN MANUAL. DRIVEWAYS SHALL BE PERMITTED SEPARATELY.
- WITHIN THE AREA OF ABOVE DEFINED SIGHT TRIANGLE, THERE SHALL BE NO SIGHT OBSTRUCTING OR PARTLY OBSTRUCTING WALL, FENCE, SIGN, FOLIAGE, BERMS, OR PARKED VEHICLES BETWEEN THE HEIGHTS OF 24 INCHES AND EIGHT FEET ABOVE THE CURB LINE ELEVATION OR THE NEAREST TRAVELED WAY IF NO CURBING EXISTS.
- MUST COMPLY WITH REQUIREMENTS FOR FIRE SAFETY DURING CONSTRUCTION AND DEMOLITION (CHAPTER 14, 2012 NC FIRE CODE, NFPA 241 AND CHAPTER 33, 2012 NC BUILDING CODE).
- MINIMUM CORNER CLEARANCE FROM CURB LINE OF INTERSECTION STREETS SHALL BE AT LEAST TWENTY (20) FEET FROM THE POINT OF TANGENCY.

OPEN SPACE CALCULATIONS		
PARCEL NAME	SQUARE FEET	ACRES
LOT #282	1,515,938.463	34.801
LOT #283	11,324.852	0.26
LOT #284	49,451.921	1.135
OPEN LOT #286	42,820.812	0.983

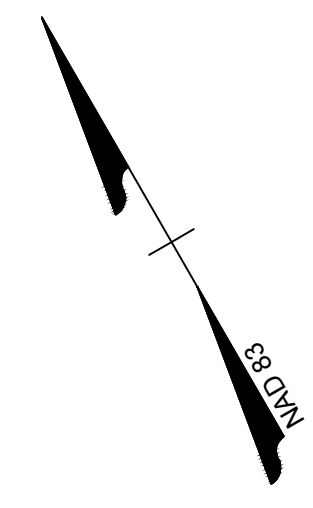
STREET TABLE			
STREET NAME	TYPE	R/W	LENGTH (LF)
ROAD A	NEIGHBORHOOD YEILD	55	3996
ROAD B	NEIGHBORHOOD YEILD	55	2175
ROAD C	NEIGHBORHOOD YEILD	55	1101
ROAD D	NEIGHBORHOOD YEILD	55	1597
ROAD E	NEIGHBORHOOD YEILD	55	616
ROAD F	NEIGHBORHOOD YEILD	55	743
ROAD G	NEIGHBORHOOD YEILD	55	980
ROAD H	NEIGHBORHOOD YEILD	55	378

LEGEND

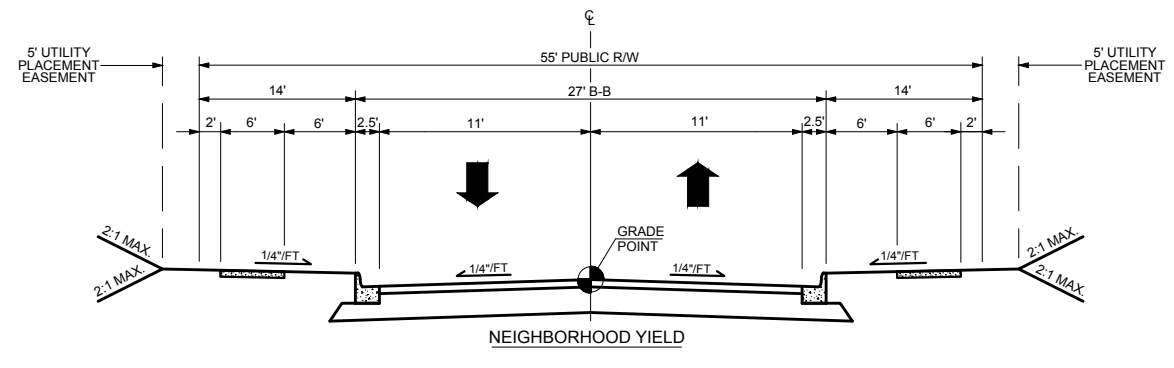
- ADJACENT PROPERTY LINE
- PROPOSED RIGHT-OF-WAY
- PROPOSED LOT LINE
- PROPOSED ROAD CENTER
- DRAINAGE EASEMENT
- SANITARY SEWER EASEMENT
- EXISTING CITY OF RALEIGH PROPERTY LINE
- UTILITY EASEMENT
- EXISTING WETLANDS
- NEUSE RIPARIAN BUFFER
- PROPOSED SIDEWALK
- PROPOSED 10' MUP
- 100 YEAR FLOODPLAIN
- OPEN LOT
- ZONING LINE
- FLOODWAY
- 30' MUP EASEMENT

SITE DATA:

PINS:	1735-90-2389, 1735-90-8493, 1745-00-0797, 1734-89-7943, 1734-99-9718
PROJECT GROSS AREA:	95.41 ACRES 4,156,060 SF
PROPOSED ROW AREA:	16.73 ACRES 728,759 SF
PROJECT NET AREA:	69.26 ACRES 3,016,966 SF
ZONING:	(R-8, GROSS) 85.99 ACRES 3,745,724 SF
	(R-8, NET) 69.26 ACRES 3,016,966 SF
	(CM, GROSS) 9.43 ACRES 410,771 SF
	(CM, NET) 9.43 ACRES 410,771 SF
EXISTING USE:	VACANT AND SINGLE FAMILY RESIDENTIAL
PROPOSED USE:	"SINGLE FAMILY RESIDENTIAL"
PROPOSED # OF LOTS:	281 SINGLE FAMILY LOTS
PROPOSED # OF OPEN LOTS:	4 LOTS
EXISTING DWELLINGS:	9 UNITS
WATERSHED:	NEUSE RIVER
CONVENTIONAL DEVELOPMENT (R-8) DETACHED HOUSE STANDARDS:	
MAX. ALLOWED BLDG HEIGHT:	40 FEET/ 3 STORIES
PROPOSED BLDG HEIGHT:	TBD
MIN. LOT AREA:	6,000 SF
MIN. LOT WIDTH ALLOWED:	50 FT
MIN. LOT DEPTH ALLOWED:	80 FT
BUILDING SETBACKS:	
FROM PRIMARY STREET:	10' MIN.
FROM SIDE STREET:	10' MIN.
FROM SIDE LOT LINE:	5' MIN.
FROM REAR LOT LINE:	20' MIN.
CONVENTIONAL DEVELOPMENT (R-6) OPEN LOT STANDARDS:	
MIN AREA:	6,000 SF
MIN. WIDTH:	50'
MAX. BUILDING COVERAGE:	20%
MAX. BUILDING HEIGHT:	40/ 3 STORIES
OPEN LOT SETBACKS:	
FROM PRIMARY STREET:	10' MIN.
FROM SIDE STREET:	10' MIN.
FROM SIDE LOT LINE:	10' MIN.
FROM REAR LOT LINE:	20' MIN.
PARKING SETBACKS:	
FROM PRIMARY STREET:	10' MIN.
FROM SIDE STREET:	10' MIN.
FROM SIDE/REAR LOT LINE:	7' MIN.
CONSERVATION MANAGEMENT (CM) OPEN LOT STANDARDS:	
MIN. LOT WIDTH ALLOWED:	N/A
MIN. AREA:	N/A
OPEN LOT SETBACKS:	
FROM PRIMARY STREET:	50' MIN.
FROM SIDE STREET:	50' MIN.
FROM SIDE LOT LINE:	50' MIN.
FROM REAR LOT LINE:	50' MIN.
PARKING SETBACKS:	
FROM PRIMARY STREET:	10' MIN.
FROM SIDE STREET:	10' MIN.
FROM SIDE LOT LINE:	7' MIN.
FROM REAR LOT LINE:	7' MIN.
IMPERVIOUS AREAS:	
MAX IMPERVIOUS AREA:	51%
EXISTING ONSITE IMPERVIOUS:	2.15 AC 93,676 SF
PROP. ONSITE POST-DEV IMPERVIOUS:	14.74 AC 646,300 SF
IMPERVIOUS IN ROADWAY:	14.84 AC 646,300 SF
IMPERVIOUS IN 281 LOTS (2300 SF/HOUSE LOT):	1,245,022 SF 28.58 AC 33.24%
TOTAL IMPERVIOUS AREA:	
IMPERVIOUS PERCENT:	



SCALE 1"=120'



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THIS DRAWING PREPARED AT THE
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TEL 919.866.4951 FAX 919.866.8124 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

DATE
07/22/2022

DRAWN BY
331

DESIGNED BY
331

CHECKED BY
A. STONE

SCALE
1" = 120'

TIMMONS GROUP

ADOBE ON ADCOCK HILL
1521 OLD MILBURNIE RD, RALEIGH, NC 27604
OVERALL SITE PLAN

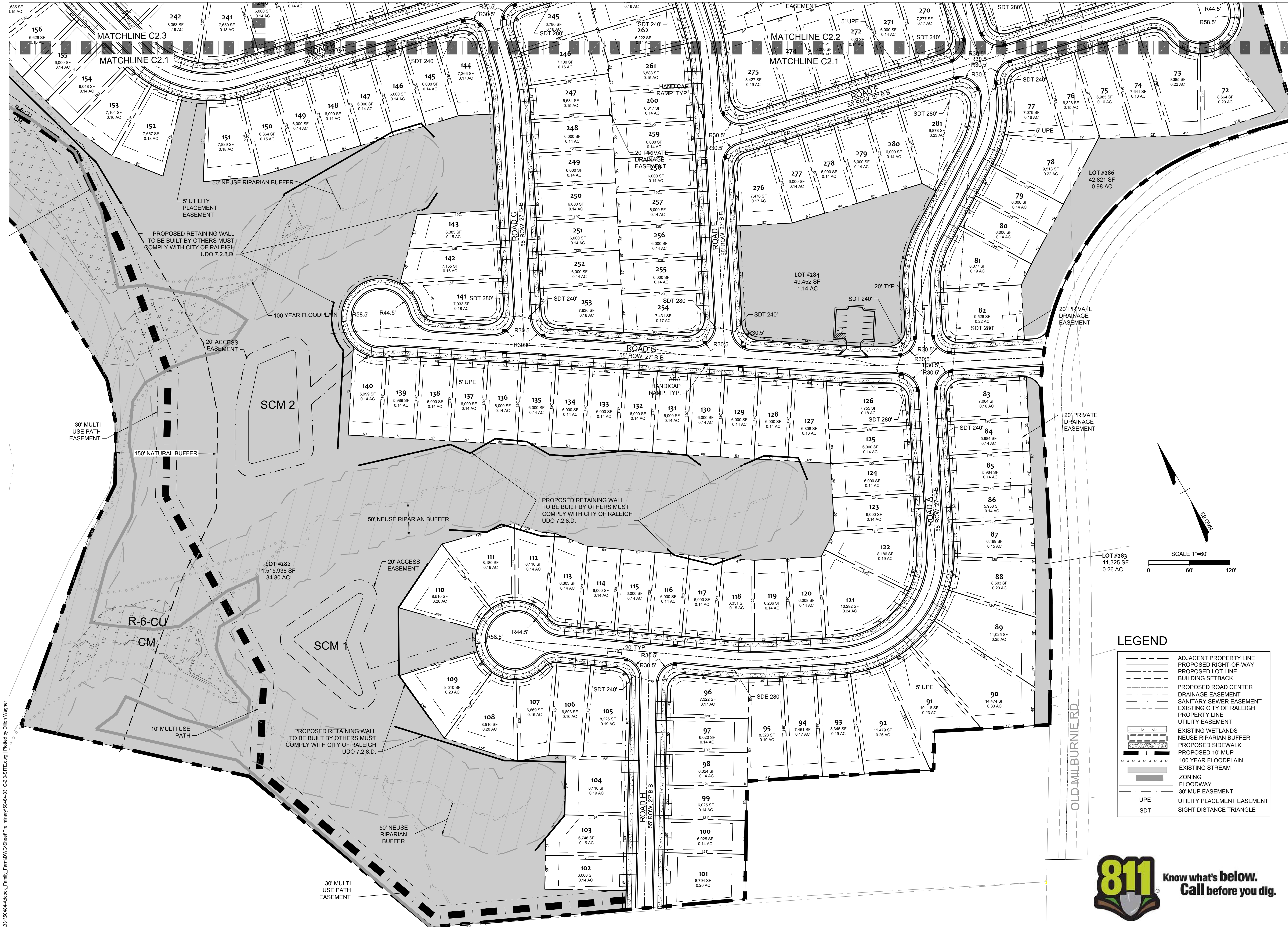
JOB NO.
50484

SHEET NO.
C2.0

PROGRESS DRAWINGS - DO NOT USE FOR CONSTRUCTION

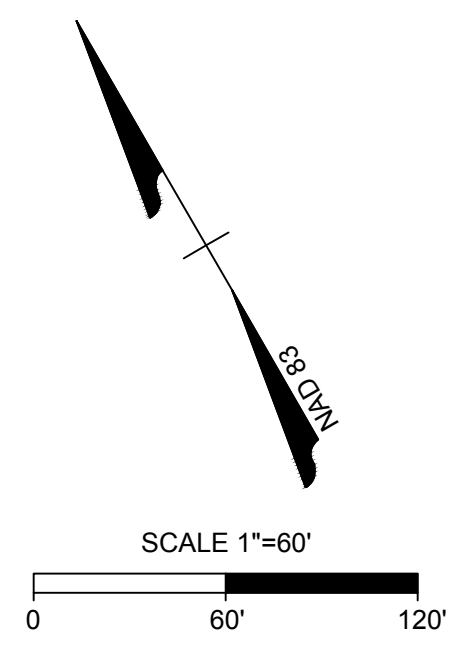
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811 Know what's below.
Call before you dig.



LEGEND

	ADJACENT PROPERTY LINE
	PROPOSED RIGHT-OF-WAY
	PROPOSED LOT LINE
	BUILDING SETBACK
	PROPOSED ROAD CENTER
	DRAINAGE EASEMENT
	SANITARY SEWER EASEMENT
	EXISTING CITY OF RALEIGH PROPERTY LINE
	UTILITY EASEMENT
	EXISTING WETLANDS
	NEUSE RIPARIAN BUFFER
	PROPOSED SIDEWALK
	100 YEAR FLOODPLAIN
	EXISTING STREAM
	ZONING
	FLOODWAY
	30' MUP EASEMENT
	UTILITY PLACEMENT EASEMENT
	SIGHT DISTANCE TRIANGLE



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TEL 919-866-9511 FAX 919-833-8124 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

DATE: 07/22/2022

DRAWN BY: 331

DESIGNED BY: 331

CHECKED BY: A. STONE

SCALE: 1"=60'

REVISION DESCRIPTION

DATE	DESCRIPTION

PROGRESS DRAWINGS - DO NOT USE FOR CONSTRUCTION

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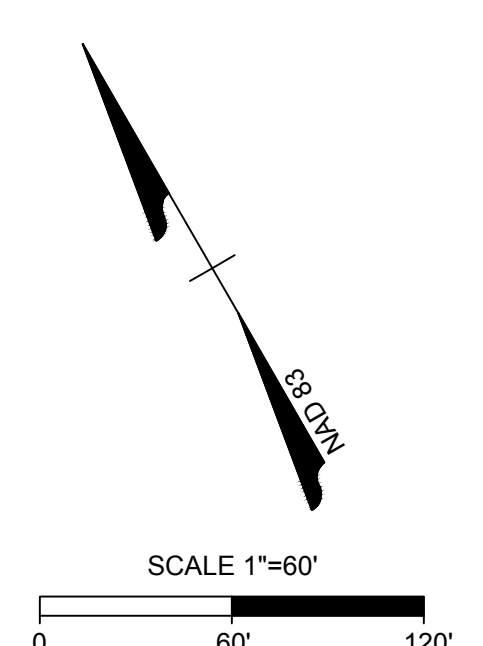
ADOBE ON ADCKOCK HILL
1521 OLD MILBURNIE RD, RALEIGH, NC 27604

SITE PLAN

JOB NO.
50484

SHEET NO.
C2.1

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LEGEND

	ADJACENT PROPERTY LINE
	PROPOSED RIGHT-OF-WAY
	PROPOSED LOT LINE
	BUILDING SETBACK
	PROPOSED ROAD CENTER
	DRAINAGE EASEMENT
	SANITARY SEWER EASEMENT
	EXISTING CITY OF RALEIGH PROPERTY LINE
	UTILITY EASEMENT
	EXISTING WETLANDS
	NEUSE RIPARIAN BUFFER
	PROPOSED SIDEWALK
	PROPOSED 10' MUP
	100 YEAR FLOODPLAIN
	EXISTING STREAM
	ZONING FLOODWAY
	30' MUP EASEMENT
	UTILITY PLACEMENT EASEMENT
	SIGHT DISTANCE TRIANGLE



TIMMONS GROUP

ADOBE ON ADCOCK HILL
1521 OLD MILBURNIE RD, RALEIGH, NC 27604
SITE PLAN

JOB NO. 50484
SHEET NO. C2.2

THIS DRAWING PREPARED AT THE RALEIGH OFFICE
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TEL 919-866-4951 FAX 919-833-8124 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

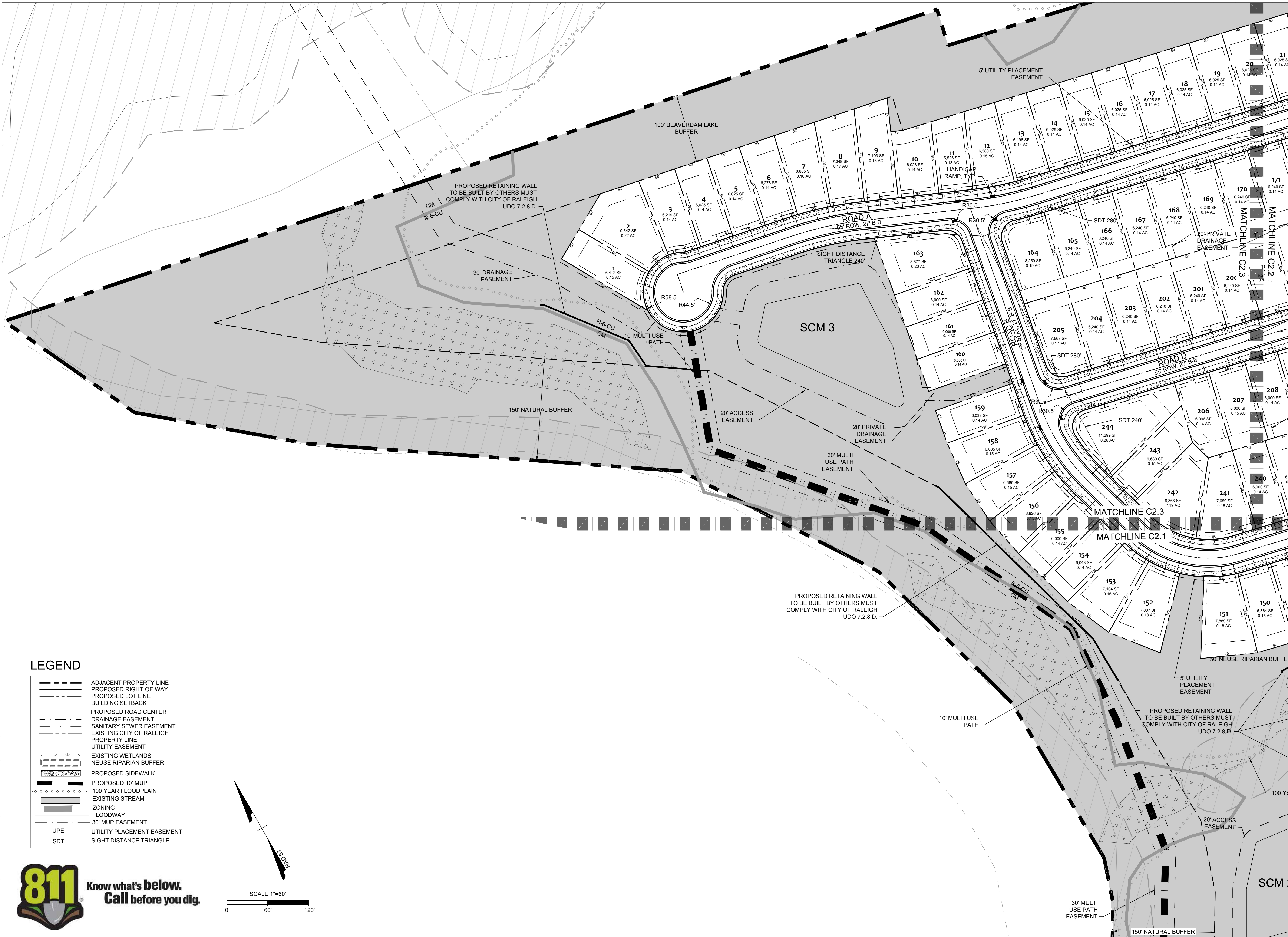
DATE	REVISION DESCRIPTION
07/22/2022 <td></td>	

DRAWN BY 331
DESIGNED BY 331
CHECKED BY A. STONE
SCALE 1"=60'

DATE 07/22/2022
DRAWN BY 331
DESIGNED BY 331
CHECKED BY A. STONE
SCALE 1"=60'

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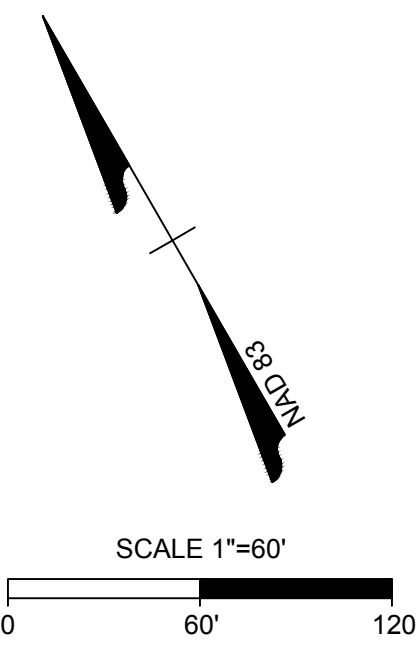


LEGEND

- ADJACENT PROPERTY LINE
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- PROPOSED SIDEWALK
- PROPOSED 10' MUP
- 100 YEAR FLOODPLAIN
- EXISTING STREAM
- ZONING FLOODWAY
- 30' MUP EASEMENT
- UPE
- UTILITY PLACEMENT EASEMENT
- SDT
- SIGHT DISTANCE TRIANGLE



**Know what's below.
Call before you dig.**



S:\3110\0484-Adcock_Family_Firm\DWG\Sheet\Preliminary\50484-C31C-Z-0-SITE.dwg | Plotted by Dillon Wagner

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YOUR VISION ACHIEVED THROUGH OURS.

DATE	REVISION DESCRIPTION
07/22/2022 <td></td>	

DRAWN BY
331

DESIGNED BY
331

CHECKED BY
A. STONE

SCALE
1"=60'

TIMMONS GROUP

ADOBE ON ADCOCK HILL
1521 OLD MILBURNIE RD, RALEIGH, NC 27604

SITE PLAN

JOB NO.	50484
SHEET NO.	C2.3

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