



Administrative Approval Action

Case File / Name: SUB-0054-2022
DSLC - Lyon Street Subdivision

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This 0.62 acre site is located at 2300 - 2306 Lyon Street on two parcels north of Grant Ave, south of Churchill Rd, east of Chester Rd, and west of Hathaway Rd. The parcels are zoned R-6 and identified as Lots 27 & 28 on the Sunset Hills Subdivision Plat recorded in Book 1947, Page 101.

REQUEST: A conventional subdivision to divide the 0.62 acre site from two lots (13,809 SF and 13,776 SF) into three lots (Lot 1: 9,195 SF, Lot 2: 9,127 SF and Lot 3: 9,263 SF). The existing lots each contain attached dwellings that will be demolished to construct a detached single family dwelling on each new lot.

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** FIL-0973-2022: DSENG - Fee-In-Lieu Estimator/Fee-In-Lieu Estimator

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated January 5, 2023 by HOMES BY DICKERSON INC.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

General

1. A demolition permit shall be issued and this building permit number shown on all maps for recording.

Engineering

2. A 5' utility placement easement deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)



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3. A 2.5' public street right-of-way deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
4. A 10' slope easement deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
5. A fee-in-lieu for 6' sidewalk is paid to the City of Raleigh (UDO 8.1.10).

Stormwater

6. If demolition causes a land disturbance of more than 12,000 sf, a mass grading permit will be required. (UDO 9.4.6)
7. The maximum allocated impervious area for all applicable lots in the subdivision should be identified on all maps for recording.

Urban Forestry

8. A public infrastructure surety for (3) street trees shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

Stormwater

1. These lots are exempt per UDO Section 9.2.2.A.2.b.i as a residential subdivision of one acre or less approved after May 1, 2001, but are subject to impervious limitations of subsection A.4 and subject to further review upon placement of impervious surface areas.



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2. Impervious restrictions for each lot must be recorded on a plat prior to building permit issuance.
3. If total land disturbance will be over 12,000 sq. ft. for multiple houses, a separate site plan submittal & approval will be required. Site plans require an erosion control plan. (UDO 9.4.6.)

Urban Forestry

4. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes (6) small maturing street trees along Lyon St.

The following are required prior to issuance of building occupancy permit:

General

1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.

Stormwater

2. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).

EXPIRATION DATES: If significant construction has not taken place on a project after preliminary subdivision approval, that approval may "sunset" and be declared void, requiring re-approval before permits may be issued. To avoid allowing this preliminary approval to "sunset", the following must take place by the following dates:

3-Year Sunset Date: February 15, 2026
Record at least ½ of the land area approved.

5-Year Sunset Date: February 15, 2028
Record entire subdivision.

I hereby certify this administrative decision.

Signed: Daniel L. Stegall Date: 02/15/2023
Development Services Dir/Designee
Staff Coordinator: Jessica Gladwin

LYON STREET SUBDIVISION

SUBDIVISION PLAN

SUB-0054-2022



VICINITY MAP

SCALE: 1"=200'

SHEET INDEX	
COV	COVER
L100	EXISTING CONDITIONS & DEMOLITION PLAN
L200	SUBDIVISION PLAN
C-5.0	UTILITY PLAN
C-5.1	UTILITY DETAILS

NOTES:

1. THIS PARCEL IS LESS THAN 2 ACRES THEREFORE COMPLIANCE WITH ARTICLE 9.1 TREE CONSERVATION IS NOT REQUIRED.
2. STORMWATER EXEMPTION: EXEMPT FROM RUNOFF AND NUTRIENT MANAGEMENT REQUIREMENTS OF 9.2.2 PER UDO SEC. 9.2.2.A.2 AND SUBJECT TO IMPERVIOUS LIMITATIONS IN 9.2.2.A.4.A.
3. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH CITY OF RALEIGH AND NCDDOT STANDARDS AND SPECIFICATIONS.



SITE DATA SUMMARY	
PROJECT NAME	LYON STREET SUBDIVISION
EXISTING STREET ADDRESS	2300-2306 LYON ST, RALEIGH NC, 27608
LOT AREA (CURRENT)	13,809 SF (0.3170 AC) & 13,776 SF (0.3163)
CURRENT ZONING	R-6
OVERLAY DISTRICT(S)	NONE
PARCEL NUMBER	1704075735 & 1704076704
REAL ID NUMBER	0030181 & 0031962
DEED BOOK / DEED PAGE	BM 1947 / PG 101
EXISTING GROSS BUILDING AREA	1,911 SF & 1,911 SF
EXISTING BUILDING USE	ATTACHED HOUSES
GROSS SITE AREA	28,057 SF / 0.64 AC
NET SITE AREA	27,116 SF / 0.62 AC
PROPOSED GROSS BUILDING AREA	NA
PROPOSED BUILDINGS USES	SINGLE FAMILY
PROPOSED IMPERVIOUS AREA	NA
NET CHANGE IN IMPERVIOUS AREA	NA
RIGHT-OF-WAY DEDICATION	389 SF (0.008 AC)

Preliminary Subdivision Application

Planning and Development

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



INSTRUCTIONS: This form is used when submitting a Preliminary Subdivision (UDO Section 10.2.5). Please check the appropriate review type and include the plan checklist document. Please email all documents and your preliminary subdivision plans to SiteReview@raleighnc.gov.

DEVELOPMENT TYPE (UDO Section 2.1.2)			
<input checked="" type="checkbox"/> Conventional Subdivision	<input type="checkbox"/> Compact Development	<input type="checkbox"/> Conservation Development	<input type="checkbox"/> Cottage Court
NOTE: Subdivisions may require City Council approval if in a Metro Park Overlay or Historic Overlay District			
GENERAL INFORMATION			
Scoping/sketch plan case number(s):			
Development name (subject to approval): Lyon Street Subdivision			
Property Address(es): 2300 LYON ST, RALEIGH NC 27608, 2302 LYON ST, RALEIGH NC 27608, 2304 LYON ST, RALEIGH NC 27608, 2306 LYON ST, RALEIGH NC 27608			
Recorded Deed PIN(s): 1704075735 & 1704076704			
What is your project type?			
<input type="checkbox"/> Single family	<input checked="" type="checkbox"/> Apartment	<input type="checkbox"/> Townhouse	<input type="checkbox"/> Other: <input type="checkbox"/> Attached houses
CURRENT PROPERTY OWNER/DEVELOPER INFORMATION			
NOTE: Please attach purchase agreement when submitting this form			
Company: Homes by Dickerson		Owner/Developer Name and Title: Homes by Dickerson	
Address: 2841 Plaza Place Suite 210 Raleigh NC 27612		Email: operations@homesbydickerson.com	
Phone #: 919.847.4447			
APPLICANT INFORMATION			
Company: Homes by Dickerson		Contact Name and Title: Kelly O'Rourke	
		Address: 2841 Plaza Place Suite 210 Raleigh NC 27612	
Phone #: 919.847.4447		Email: operations@homesbydickerson.com	

Continue to page 2 >>

CONTACT INFORMATION

OWNER

HOMES BY DICKERSON INC
2841 PLAZA PLACE SUITE 210
RALEIGH, NC 27612

DEVELOPER

HOMES BY DICKERSON INC
2841 PLAZA PLACE SUITE 210
RALEIGH, NC 27612
CONTACT: KELLY O'ROURKE
PHONE: 919.847.4447
EMAIL: OPERATIONS@HOMESBYDICKERSON.COM

LANDSCAPE ARCHITECT
SITE COLLABORATIVE INC.
821 WAKE FOREST RD
RALEIGH, NC 27604
CONTACT: GRAHAM H. SMITH
PHONE: 919.805.3586
EMAIL: GRAHAM@SITECOLLABORATIVE.COM

ENGINEER

DRYE-MCGLAMERY ENGINEERING, PLLC
821 WAKE FOREST RD
RALEIGH, NC 27604
CONTACT: DANIEL J. MCGLAMERY
PHONE: 704.360.0180
EMAIL: DANIEL.MCGLAMERY@DRYEENGINEERING.COM

NOTES:

1. BOUNDARY SURVEY AND TOPOGRAPHY INFORMATION PROVIDED BY JOHN A. EDWARDS & COMPANY
2. ALL CONSTRUCTION SHALL COMPLY WITH APPLICABLE CITY OF RALEIGH DEVELOPMENT STANDARDS AND SPECIFICATIONS.
3. ALL NEW DRIVEWAY LOCATIONS WILL BE DETERMINED AND PERMITTED AT BUILDING PERMIT SUBMITTAL PER CITY OF RALEIGH STANDARDS.
4. DEVELOPERS HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.
5. SOLID WASTE SERVICE WILL BE PROVIDED AT PUBLIC STREET BY INDIVIDUAL 96-GAL STANDARD CITY OF RALEIGH RESIDENTIAL SOLID WASTE CART PER CITY OF RALEIGH WASTE DESIGN MANUAL.
6. A SURETY OF 125% OF ESTIMATED CONSTRUCTION COST IS REQUIRED FOR THE CONSTRUCTION COSTS OF ALL PUBLIC IMPROVEMENTS WHICH ARE NOT COMPLETE AT THE TIME OF BUILDING PERMIT.
7. PER SEC 9.1, THIS PROJECT IS EXEMPT FROM CITY OF RALEIGH TREE CONSERVATION REQUIREMENTS.
8. RESIDENTIAL INFILL RULES APPLY (SEC 2.2.7) AND PROPOSED SETBACKS AND BUILDING HEIGHTS ARE BASED ON SAID RULES.



NOTES OF DOCUMENT
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LYON STREET SUBDIVISION

Homes By Dickerson

2300-2306 Lyon St, Raleigh NC 27608







PROJECT NUMBER:
22035
SUBDIVISION PLAN
DATE: 06.16.2022
09.14.2022
11.07.2022
12.05.2022
01.05.2023

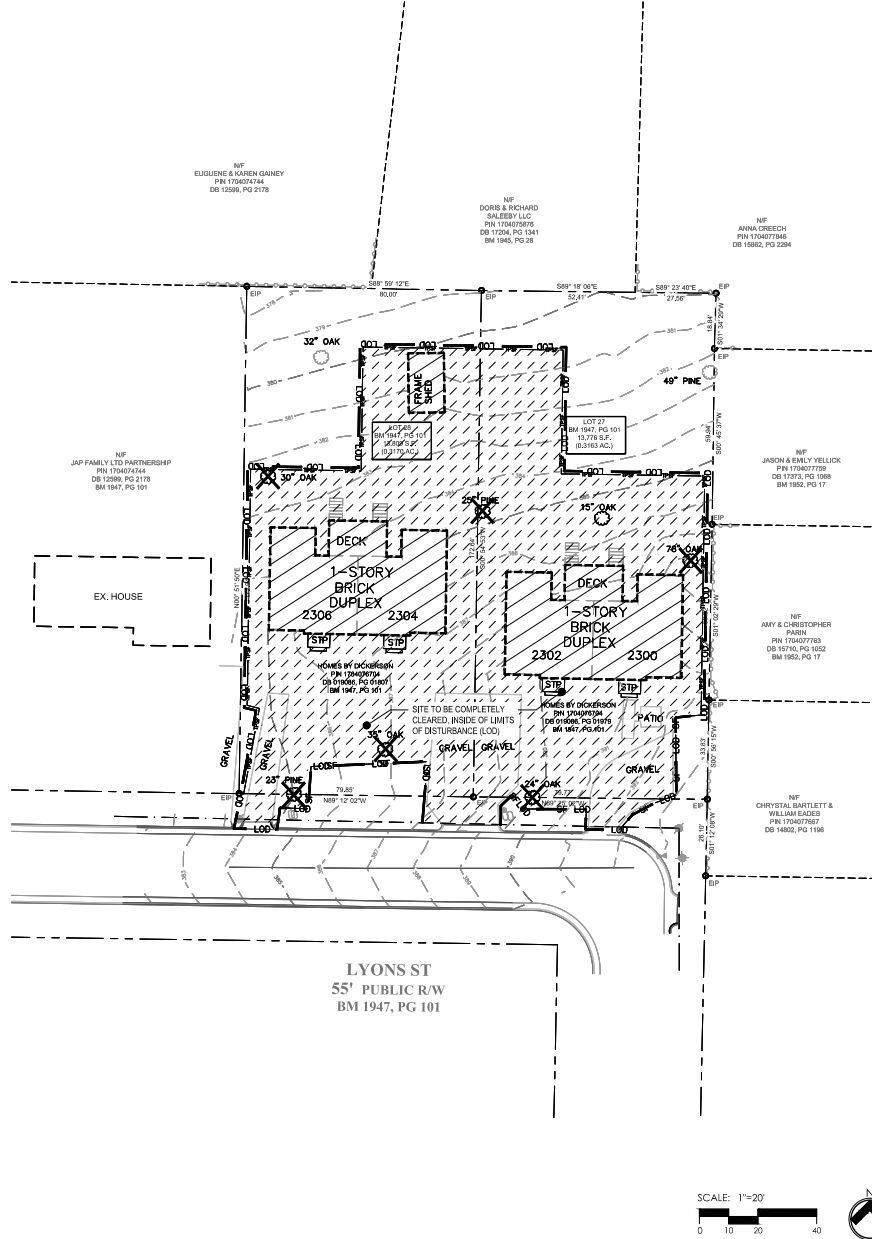
SHEET TITLE:
COVER SHEET

SHEET NUMBER:
COV

DEMOLITION NOTES

1. THE CONTRACTOR SHALL NOTIFY THE N.C. ONE CALL CENTER AT 811 OR 1-800-438-6899 PRIOR TO STARTING WORK.
2. THE CONTRACTOR SHALL NOTIFY THE LOCAL GOVERNING PUBLIC UTILITIES DEPARTMENT PRIOR TO STARTING WORK.
3. ALL DEMOLITION AND ANY SUBSEQUENT CONSTRUCTION, SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS SET FORTH AND APPROVED BY THE LOCAL GOVERNING MUNICIPALITY OR THE STATE. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS.
4. THE CONTRACTOR SHALL NOT MAKE ANY LANE CLOSURES OR CHANGES TO THE EXISTING TRAVEL PATTERNS ON ANY PUBLIC STREET WITHOUT PRIOR APPROVAL FROM THE LOCAL GOVERNING MUNICIPALITY, TRANSPORTATION DEPARTMENT AND/OR STATE TRANSPORTATION DEPARTMENT.
5. LANE CLOSURE, TRAFFIC CONTROL, PLAN, OR PEDESTRIAN CONTROL PLAN TO BE COORDINATED WITH APPROPRIATE STAFF OF THE LOCAL GOVERNING MUNICIPALITY AND/OR STATE DEPARTMENT OF TRANSPORTATION PRIOR TO ANY CONSTRUCTION IN PUBLIC RIGHT-OF-WAY.
6. THE CONTRACTOR IS RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE AND FEDERAL REQUIREMENTS REGARDING REMOVAL AND DISPOSAL OF MATERIALS AND DEBRIS.
7. CONTRACTOR SHALL REFER TO CIVIL SHEETS FOR SANITARY SEWER AND WATER REMOVALS AND RELOCATIONS.
8. RELOCATION OF EXISTING UTILITIES TO BE COORDINATED WITH THE LOCAL UTILITY PROVIDERS.
9. WHERE UTILITIES TO BE REMOVED IMPACT THE FOOTPRINT OF THE NEW BUILDING, CONTRACTOR SHALL EXCAVATE AND REMOVE AN ADDITIONAL 2 FEET OF SOILS TO EITHER SIDE OF PIPE, AND 1 FOOT BELOW TO REMOVE UNSUITABLE SOILS, IF UNSUITABLE SOILS EXIST.
10. CLEANOUTS LOCATED IN AREAS OF DEMOLITION OR SUBSEQUENT CONSTRUCTION THAT ARE TO REMAIN, SHALL BE PROTECTED FROM DAMAGE AND RAISED TO FINISH WITH NEW GRADE.
11. ELECTRICAL OR GAS UTILITY SERVICES TO BE REMOVED SHALL BE REMOVED AND RELOCATED (AS INDICATED) BY THE UTILITY PROVIDER. CONTRACTOR SHALL SCHEDULE AND COORDINATE THE WORK WITH THE APPROPRIATE SERVICE PROVIDER. ALL SERVICES SHOULD BE REINSTALLED PRIOR TO THE INSTALLATION OF PAVEMENT, SIDEWALKS, CURBS AND GUTTERS, OR OTHER PERMANENT FEATURES.
12. REMOVE EXISTING CONCRETE (WHERE REQUESTED) TO FIRST COLD JOINT OR SAWCUT JOINT TO OBTAIN A CLEAN EDGE FOR NEW CONSTRUCTION. SAWCUT EXISTING ASPHALT DRIVE AT LIMITS OF NEW CURBING TO OBTAIN A CLEAN EDGE.
13. CONTRACTOR SHALL RETAIN AND STOCKPILE CONCRETE WHEELSTOPS WHICH ARE IN REUSABLE CONDITION FOR RE-INSTALLATION AT THE END OF THE PROJECT.
14. CONTRACTOR SHALL RESTORE THE LAYDOWN AND STAGING AREA TO ORIGINAL CONDITIONS AND TO THE SATISFACTION OF THE OWNER, PRIOR TO DEMOBILIZATION AT THE CONCLUSION OF THE PROJECT.
15. CLEAN SOILS SHALL BE UTILIZED FOR BACKFILL, COMPACTION OF THESE SOILS PERFORMED IN ACCORDANCE WITH SPECIFICATIONS, GEOTECHNICAL REPORT, AND SITE PLAN.
16. ALL FENCING TO BE REMOVED SHALL BE REMOVED AT NEXT NEAREST POLE.
17. ALL GRAVEL TO BE REMOVED (SURFACE OR SUBSURFACE) SHALL BE STOCKPILED AND REUSED ON SITE WHERE POSSIBLE.
18. ALL ITEMS DESIGNATED TO BE REMOVED SHALL BE REMOVED COMPLETELY, INCLUDING ALL SUBGRADE MATERIALS DIRECTLY ASSOCIATED WITH ITEMS TO BE REMOVED.
19. ALL ITEMS DESIGNATED TO BE REMOVED SHALL BE DISPOSED OF LEGALLY OFF-SITE UNLESS OTHERWISE NOTED ON THIS PLAN.
20. ALL TREES TO BE REMOVED SHALL BE GROUND DOWN TO A MINIMUM DEPTH OF 12" BELOW PROPOSED FINISH GRADE.
21. ALL TREE PROTECTION FENCING SHALL REMAIN IN PLACE DURING DEMOLITION AND CONSTRUCTION.

LEGEND	
	SILT FENCE
	TREE PROTECTION & SILT FENCE
	LIMITS OF DISTURBANCE
	CRITICAL ROOT ZONE (CRZ)
	TREE TO BE REMOVED COMPLETELY
	SITE DEMOLITION



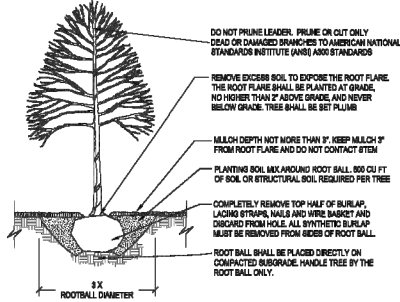
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LYON STREET SUBDIVISION
Homes By Dickerson
2300-2306 Lyon St, Raleigh NC 27608

PROJECT NUMBER:
22035
PROJECT PHASE:
Subdivision Plan
DATE: 06.16.2022
09.14.2022
11.07.2022
12.05.2022
01.05.2023

SHEET TITLE:
EXISTING
CONDITIONS &
DEMOLITION PLAN

SHEET NUMBER:
L100



- NOTES:**
1. TREES MUST MEET THE TREE QUALITY STANDARDS IN CH. 2 OF THE CITY TREE MANUAL.
 2. CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITS. (POSITIVE DRAINAGE AWAY FROM PIT)
 3. TREES SHALL BE PLANTED BETWEEN OCTOBER 1ST AND APRIL 30TH.
 4. A TREE IMPACT PERMIT IS REQUIRED.
 5. ELECTRICAL OUTLETS AND OTHER UTILITIES ARE PROHIBITED IN THE PLANTING AREA IMMEDIATELY SURROUNDING THE TREE.
 6. IF STAKING IN ACCORDANCE WITH THE CITY TREE MANUAL, THE STAKING MUST BE REMOVED WITHIN ONE YEAR.
 7. TREES WILL HAVE A MINIMUM 1 YEAR WARRANTY AFTER THE INITIAL PLANTING IS APPROVED BY THE CITY.

CITY OF RALEIGH
STANDARD DETAIL

REVISIONS

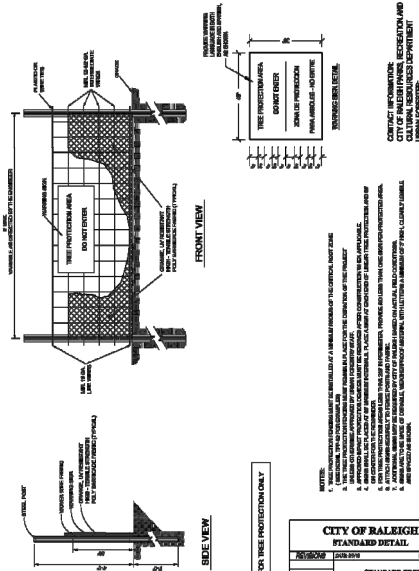
DATE

DESCRIPTION

NOT TO SCALE

TREE PLANTING DETAIL

TPP-03



CITY OF RALEIGH
STANDARD DETAIL

REVISIONS

DATE

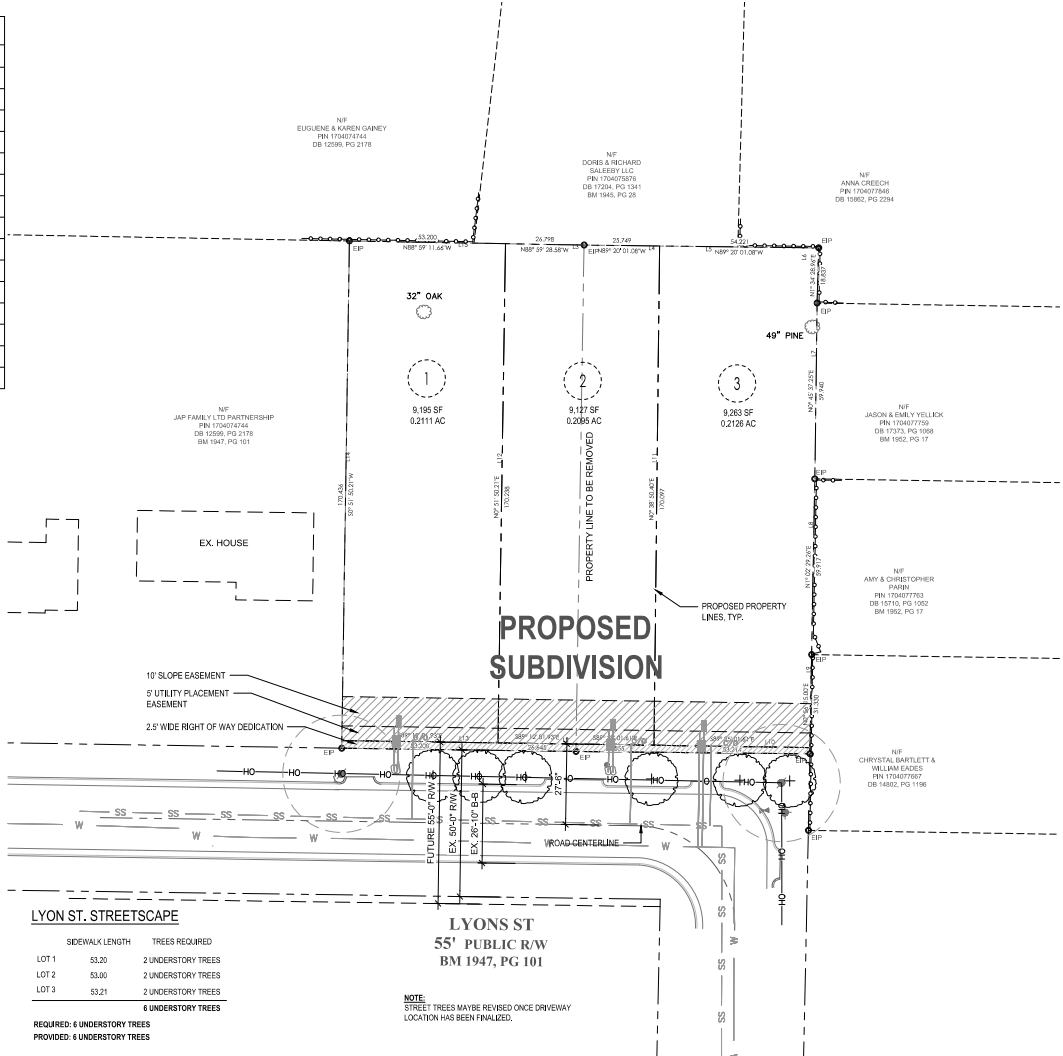
DESCRIPTION

NOT TO SCALE

TREE PLANTING DETAIL

TPP-01

Line #	Length	Direction
L1	26.55	S89° 25' 01.51"E
L2	26.65	S89° 12' 01.93"E
L5	54.22	N89° 20' 01.08"W
L6	18.64	N1° 34' 28.96"E
L7	59.94	N0° 45' 37.25"E
L8	59.92	N1° 02' 29.26"E
L9	31.33	N0° 56' 15.00"E
L10	53.21	S89° 25' 01.51"E
L3	26.80	N88° 59' 28.58"W
L4	25.75	N89° 20' 01.08"W
L13	53.20	S89° 12' 01.93"E
L14	170.44	S0° 51' 50.21"W
L15	53.20	N88° 59' 11.66"W
L12	170.24	N0° 51' 50.21"E
L11	170.10	N0° 38' 50.40"E



TREES	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	REMARKS
CX	6	Cornus x 'Greenvalle'	Greenvalle Dogwood	14'-16'	SINGLE STEM

- NOTE:**
1. STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY TREE MANUAL.
 2. STREET TREES WILL BE PLACED 10' AWAY FROM ALL DRIVEWAYS.

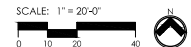
LOTS	AREA (SF)	ACRES
LOT 1	9,832	0.2
LOT 2	8,971	0.2
LOT 3	9,115	0.2
TOTAL	27,918	0.6

R/W DEDICATION 389 SF (0.008 AC)

LOTS	LOT AREA (SF)	R/W IMPERVIOUS (SF)	IMPERVIOUS (SF)
LOT 1	9,832	319	4,287
LOT 2	8,971	319	4,256
LOT 3	9,115	319	4,330

CALCULATION:
(LOT SF X 5%) - 319 = SF
*R/W IMPERVIOUS IS FOR FUTURE SIDEWALK

NOTE:
IMPERVIOUS LIMIT FOR EACH LOT TO BE RECORDED ON PLAT PRIOR TO BUILDING PERMITS.



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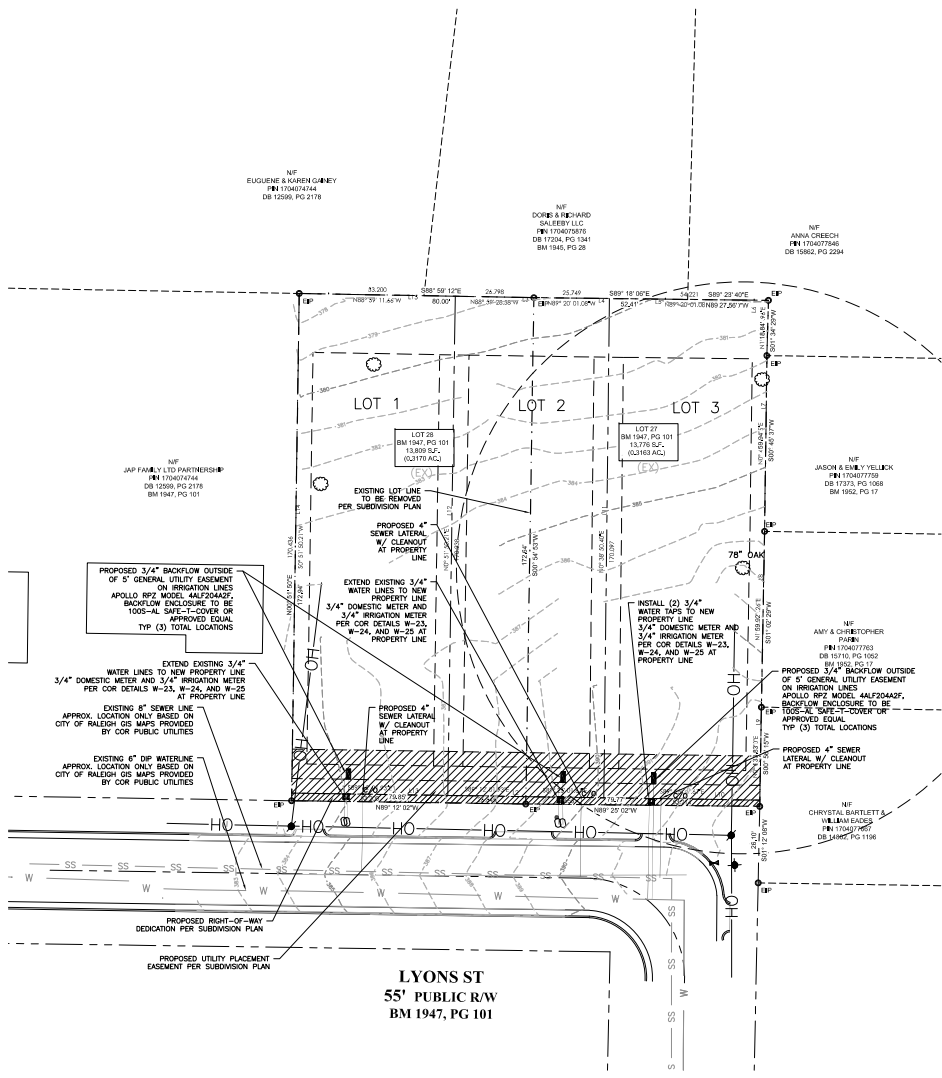
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SHEET TITLE:
SUBDIVISION PLAN

SHEET NUMBER:
L200



CITY OF RALEIGH STANDARD UTILITY NOTES

1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
2. UTILITY SEPARATION REQUIREMENTS:
- a. DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - b. WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR.
 - c. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
3. WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASUREMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
4. 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
5. MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49).
6. ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
7. ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
8. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
9. 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
10. IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
11. INSTALL 3/4" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
12. INSTALL 6" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
13. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
14. ALL ENVIRONMENTAL PERMITS/ORDINANCES TO THE PROJECT MUST BE OBTAINED FROM NCDOT, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
15. NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.

UNDERGROUND NOTES

1. CONTRACTOR IS FULLY RESPONSIBLE FOR CONTACTING APPROPRIATE PARTIES AND ASSURING THAT EXISTING UTILITIES ARE LOCATED PRIOR TO CONSTRUCTION.
2. CONTRACTOR IS RESPONSIBLE FOR PLACING BARRICADES, USING FLAG MEN, ETC. AS NECESSARY TO ENSURE THE SAFETY OF THE PUBLIC.
3. ALL PAVEMENT CUTS, CONCRETE OR ASPHALT, ARE TO BE REPLACED ACCORDING TO STANDARDS OF THE NCDOT.
4. SHORING WILL BE ACCORDING TO OSHA TRENCHING STANDARDS PART 1926, SUBPART P, OR AS AMENDED.
5. ALL CONSTRUCTION MUST CONFORM TO THE UNDERGROUND UTILITY PROTECTION ACT. BEFORE YOU DIG CALL THE CONTACT ONE-CALL CENTER AT 1-800-632-4949.

TRAFFIC CONTROL NOTES

1. ALL WORK IN RIGHT-OF-WAY FOR WATERLINE SERVICE SHALL BE IN ACCORDANCE WITH NCDOT, MUTCD, AND CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.

WATER DISTRIBUTION NOTES

1. 3/4" WATER METER SET BY THE CITY OF RALEIGH. CONTRACTOR IS RESPONSIBLE FOR COORDINATING AND PAYING FOR INSTALLATION INCLUDING TAP FEES. (INCLUDING CAPITAL FACILITY FEES)
2. CONTRACTOR TO LOCATE TIE-INS TO ALL BUILDING LOCATIONS BASED ON PLUMBING PLANS.
3. THERE SHALL BE NO TAPS, PIPING BRANCHES, UNAPPROVED BYPASS PIPING, HYDRANTS, FIRE DEPARTMENT CONNECTIONS, OR OTHER WATER USING APPURTENANCES CONNECTED TO THE SUPPLY LINE BETWEEN ANY WATER METER AND ITS CITY OF RALEIGH REQUIRED BACKFLOW PREVENTER.
4. PUBLIC UTILITIES CONTRACTORS CONSTRUCTING FIRE SERVICE MAINS FOR BUILDING CONNECTION TO FIRE SPRINKLER SYSTEMS SHALL TERMINATED THOSE LINES AT A FLANGE, CAP, PLUG, OR VALVE INSIDE THE BUILDING 1' ABOVE THE FINISHED FLOOR ELEVATION. ALL FIRE SERVICE MAINS SHALL COMPLY WITH NFPA STANDARDS FOR THE FIRE SERVICE MAIN AS INCORPORATED INTO THE NORTH CAROLINA BUILDING CODE. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION OF BUILDING AND SITE UTILITY CONTRACTORS SO THAT HYDROSTATIC TESTING OF THE FIRE LINE MAY OCCUR TO THE TERMINATION POINT WITHIN THE BUILDING.

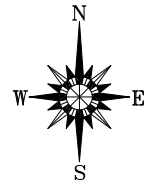
SANITARY SEWER NOTES

1. CONTRACTOR TO LOCATE TIE-INS TO ALL BUILDING LOCATIONS BASED ON PLUMBING PLANS. CONTRACTOR IS RESPONSIBLE FOR COORDINATING AND PAYING FOR INSTALLATION INCLUDING TAP FEES. (INCLUDING CAPITAL FACILITY FEES)

NOTE: ALL CLEAN OUTS LOCATED IN A TRAVELED WAY ARE REQUIRED TO BE TRAFFIC RATED CLEAN OUTS.

NOTE: ALL ADJACENT LOTS ARE SERVED BY PUBLIC WATER AND PUBLIC SEWER

NOTE: ALL EXISTING SEWER LATERALS SHALL BE ABANDONED BACK TO EXISTING MAIN AND REPLACED WITH NEW SERVICE LATERALS PER CITY OF RALEIGH DETAIL S-30



PRELIMINARY SUBDIVISION PLAN
2202 AND 2204 LYONS ST
WAKE COUNTY
NORTH CAROLINA
DRYE-McGLAMERY
ENGINEERING, PLLC
2202 LYONS ST
RALEIGH, NC 27604

PROJECT NO: 2022193

ISSUED FOR REVIEW

REV	DESCRIPTION	DATE
A	ISSUED FOR REVIEW	06/24/2022
B	ISSUED FOR REVIEW	11/21/2022

DRAWN BY: DJM
CHECKED BY: HWD
SCALE: 1" = 20'

UTILITY PLAN

C-5.0

