

Preliminary Subdivision Application

Planning and Development

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



INSTRUCTIONS: This form is used when submitting a Preliminary Subdivision (UDO Section 10.2.5). Please check the appropriate review type and include the plan checklist document. Please email all documents and your preliminary subdivision plans to SiteReview@raleighnc.gov.


DEVELOPMENT TYPE (UDO Section 2.1.2)			
<input checked="" type="checkbox"/> Conventional Subdivision	<input type="checkbox"/> Compact Development	<input type="checkbox"/> Conservation Development	<input type="checkbox"/> Cottage Court
NOTE: Subdivisions may require City Council approval if in a Metro Park Overlay or Historic Overlay District			
GENERAL INFORMATION			
Scoping/sketch plan case number(s):			
Development name (subject to approval): PERRY FARM			
Property Address(es): 2701 FORESTVILLE RD.			
Recorded Deed PIN(s): 1748638285			
What is your project type?	<input type="checkbox"/> Single family <input type="checkbox"/> Apartment	<input checked="" type="checkbox"/> Townhouse <input type="checkbox"/> Non-residential	<input type="checkbox"/> Attached houses <input type="checkbox"/> Other: _____

CURRENT PROPERTY OWNER/DEVELOPER INFORMATION	
NOTE: Please attach purchase agreement when submitting this form	
Company: TAYLOR MORRISON OF CAROLINAS, INC.	Owner/Developer Name and Title: MARK ALTMAN, LAND DEVELOPMENT DIRECTOR
Address: 15501 WESTON PARKWAY, SUITE 100, RALEIGH NC 27513	
Phone #: 919.407.1232	Email: MALTMAN@TAYLORMORRISON.COM
APPLICANT INFORMATION	
Company: MCADAMS	Contact Name and Title: BRAD RHINEHALT, PROJECT MANAGER
Address: 2905 MERIDIAN PARKWAY, DURHAM NC 27713	
Phone #: 919.361.5000	Email: RHINEHALT@MCADAMSCO.COM

Continue to page 2 >>

DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)	
ZONING INFORMATION	
Gross site acreage: 34.924 ACRES	
Zoning districts (if more than one, provide acreage of each): R-10-CU	
Overlay district: NONE	Inside City limits? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Conditional Use District (CUD) Case # Z- 34-20	Board of Adjustment (BOA) Case # A-

STORMWATER INFORMATION	
Existing Impervious Surface: Acres: <u>0</u> Square Feet: <u>0</u>	Proposed Impervious Surface: Acres: <u>12.55</u> Square Feet: <u>546,521</u>
Neuse River Buffer <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Wetlands <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Is this a flood hazard area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, please provide the following: Alluvial soils: _____ Flood study: _____ FEMA Map Panel #: _____	
NUMBER OF LOTS AND DENSITY	
Total # of townhouse lots:	Detached Attached 160
Total # of single-family lots:	
Proposed density for each zoning district (UDO 1.5.2.F): 4.73 UNITS/AC	
Total # of open space and/or common area lots: 6	
Total # of requested lots: 166	

SIGNATURE BLOCK	
<p>The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.</p> <p>I, <u>MCADAMS</u> will serve as the agent regarding this application, and will receive and respond to administrative comments, resubmit plans and applicable documentation, and will represent the property owner(s) in any public meeting regarding this application.</p> <p>I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.</p>	
Signature: 	Date: <u>6-30-21</u>
Printed Name: <u>Mark Altman ; Taylor Morrison</u>	
Signature:	Date:
Printed Name:	

Please email your completed application to SiteReview@raleighnc.gov.

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- C0.01 PROJECT NOTES
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C1.02 EXISTING CONDITIONS - AREA "B"
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FORESTVILLE STATION

(FORMERLY PERRY FARM SUBDIVISION)
2701 FORESTVILLE RD
RALEIGH, NORTH CAROLINA ZIP 27616

PRELIMINARY SUBDIVISION
RALEIGH CASE NUMBER: SUB-0055-2021

PROJECT NUMBER: TMH-20070
DATE: JULY 23, 2021

DEVELOPMENT TYPE (UDO Section 2.1.2)
GENERAL INFORMATION
CURRENT PROPERTY OWNER/DEVELOPER INFORMATION
APPLICANT INFORMATION

DEVELOPMENT TYPE + SITE DATE TABLE
ZONING INFORMATION
STORMWATER INFORMATION
NUMBER OF LOTS AND DENSITY
SIGNATURE BLOCK

SITE DATA
OWNER: PERRY FARM, LLC
PARCEL PIN NUMBER: 1748638285
EXISTING ZONING: R-10 CU (RESIDENTIAL - 10 - CONDITIONAL USE)
DEVELOPER: MCMADAMS

PER TC-5A-18, PRIMARY STREET DESIGNATION FOR LOTS

Table with columns: STREET FRONTAGE, LOT NUMBERS. Includes streets like MALMESBURY LANE, SAMMISH WAY, WARDLE COURT, etc.

PARKING DATA

Table with columns: PROPOSED TOWNHOUSE UNIT MIX, PARKING DATA, ACCESSIBLE PARKING, BIKE PARKING, PARKING SETBACK

OPEN AREA PER ZONING CONDITIONS: SEE C0.01 FOR ZONING CONDITIONS

Table with columns: OVERALL NET SITE AREA, ON-SITE R.O.W. DEDICATION, NEW OVERALL SITE OPEN AREA, WITHIN PHASE 1, WITHIN PHASE 2

OPEN AREA AND HOA COMMON LOTS

Table with columns: PHASE, OPEN AREA, HOA COMMON, WITHIN PHASE 1, WITHIN PHASE 2

OUTDOOR AMENITY AREA PER TOWNHOUSE BUILDING TYPE:

Table with columns: TOTAL OUTDOOR AMENITY AREA REQUIRED, WITHIN PHASE 1, WITHIN PHASE 2, PROVIDED

PRIVATE COMMUNITY AREA W/ ACTIVE RECREATION FEATURES (Z-34-20)

Table with columns: REQUIRED, PROVIDED, TOTAL

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH AND NCDOT (WHERE APPLICABLE) ENGINEERING DESIGN AND CONSTRUCTION STANDARDS

SEE SHEET C0.01 FOR ALL PROJECT ZONING CONDITIONS, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES



Know what's below. Call before you dig.

CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.

GENERAL NOTES:

- 1. RESIDENTIAL DRIVEWAY LOCATIONS AND WIDTHS WILL BE SUBJECT TO APPROVAL AT TIME OF SITE PERMITTING REVIEW...
2. PROPOSED LIGHTING WITHIN PUBLIC RIGHT OF WAY AND PRIVATE AREAS TO BE PROVIDED WITH CONSTRUCTION DRAWINGS...
3. REQUIRED PUBLIC IMPROVEMENTS ON THIS PRELIMINARY SUBDIVISION PLAN ARE SHOWN AS PRELIMINARY AND FINAL DESIGN SHALL BE COORDINATED AT SITE PERMIT REVIEW...

ATTENTION CONTRACTORS

The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Public Works Department at (919) 996-2408, and the Public Utilities Department at (919) 996-4540 at least twenty four hours prior to beginning any of their construction.

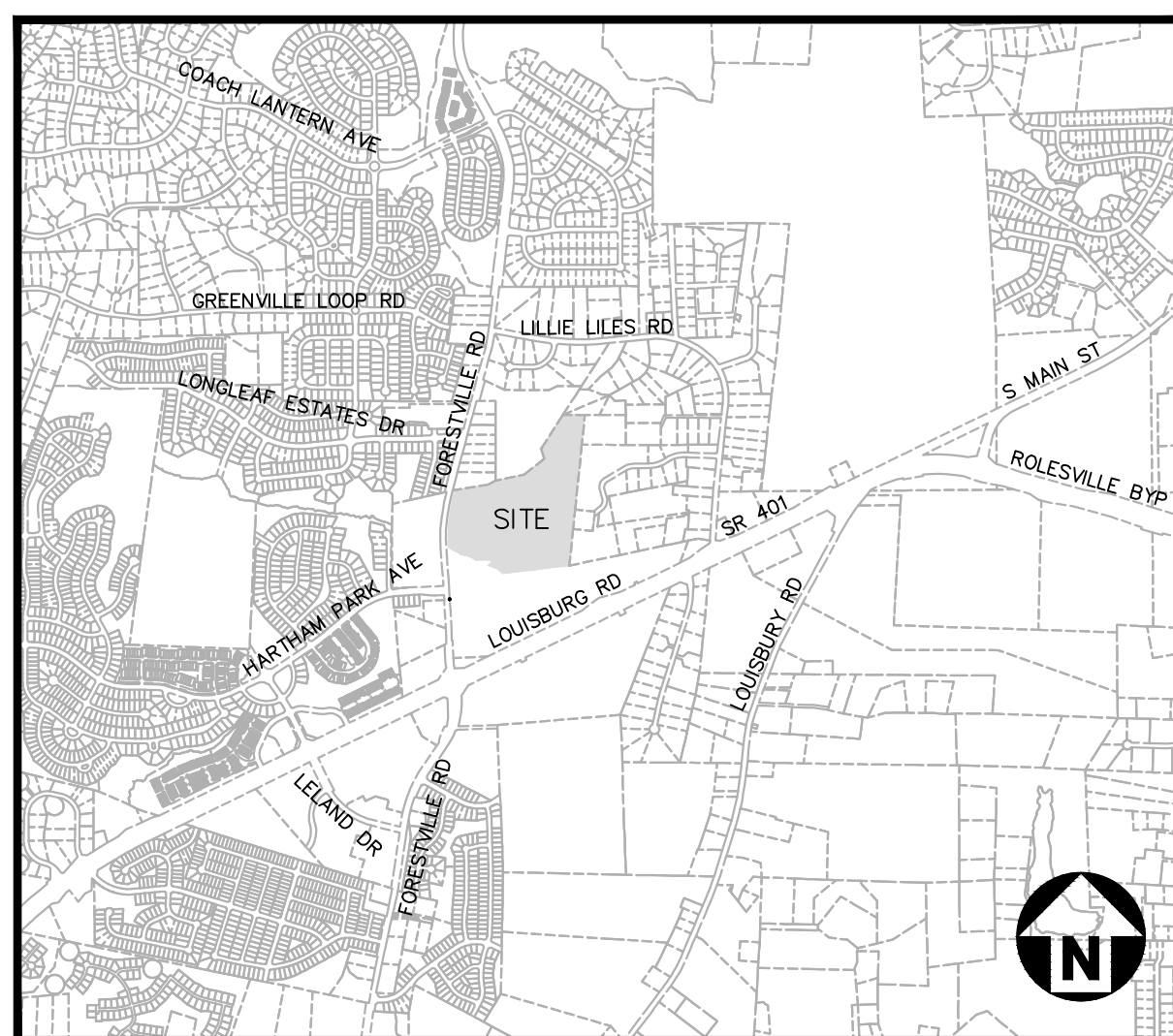
Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstatement of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for Inspection, install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.

SOLID WASTE COMPLIANCE STATEMENT:

- 1. THE DEVELOPER ACKNOWLEDGES THAT THEY HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.
2. THE SOLID WASTE REMOVAL FOR THIS PROJECT WILL BE HANDLED BY THE CITY OF RALEIGH.
3. INDIVIDUAL ROLLOUT CARTS WILL BE PROVIDED AND ARE PROPOSED TO BE STORED WITHIN THE GARAGES.

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



VICINITY MAP
1"=2000'



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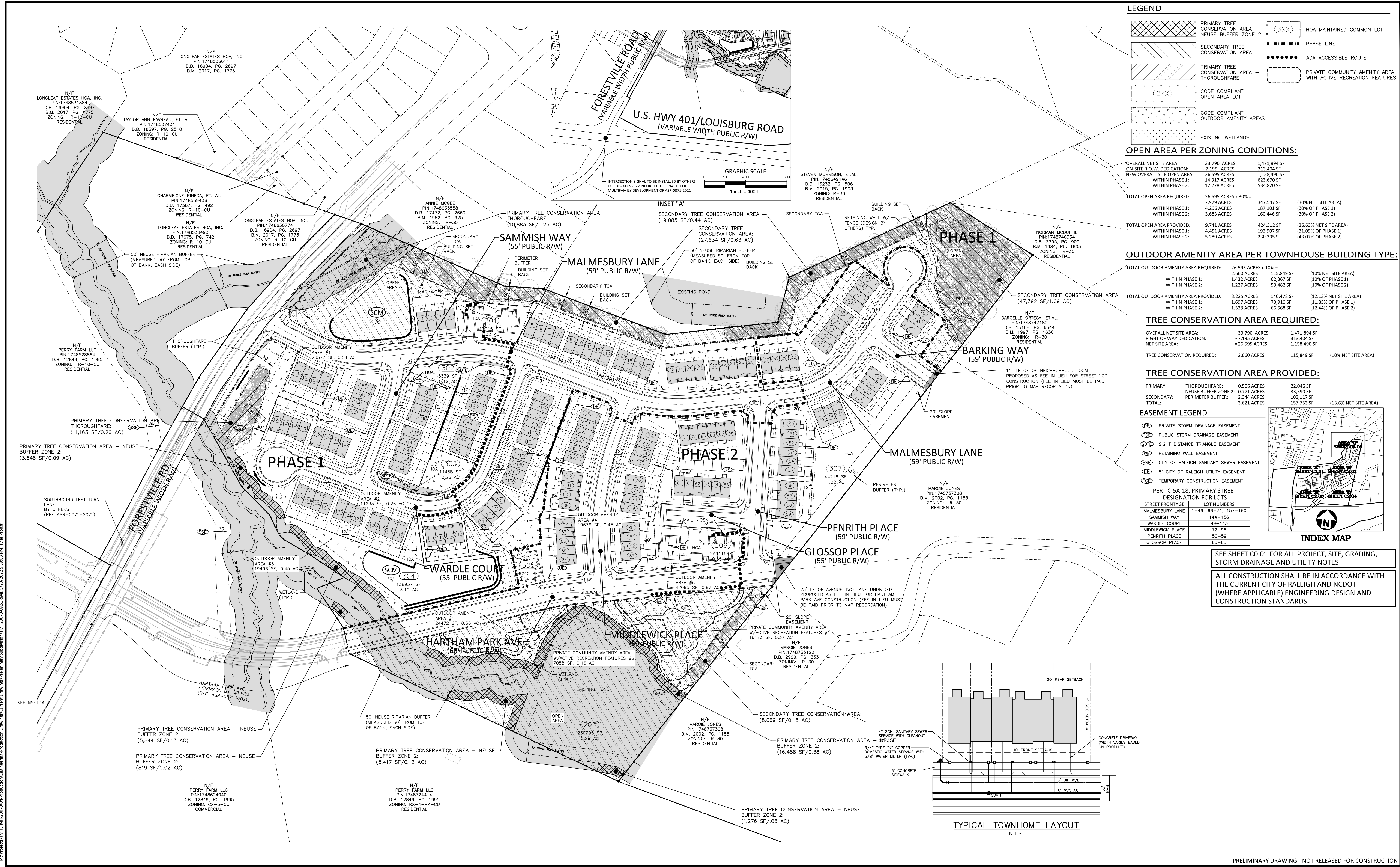
CLIENT
TAYLOR MORRISON HOMES
15501 WEST PARKWAY, SUITE 100
CARY, NORTH CAROLINA 27513
PHONE: 919. 407. 1232
taylor morrison

CONTACT
TYLER PROBST
taylor@mcadamsco.com
PHONE: 919. 361. 5000

PROJECT DIRECTORY
DEVELOPER
TAYLOR MORRISON HOMES
15501 WEST PARKWAY, SUITE 100
CARY, NORTH CAROLINA 27513
PHONE: 919.407.1232

Table with columns: NO., DATE, REV. PER 1ST ROUND PSP COMMENTS, REV. PER 2ND ROUND PSP COMMENTS, REV. PER 3RD ROUND PSP COMMENTS, REV. PER 4TH ROUND PSP COMMENTS

PRELIMINARY SUBDIVISION FOR: FORESTVILLE STATION
2701 FORESTVILLE RD
RALEIGH, NORTH CAROLINA ZIP 27616
PROJECT NUMBER: TMH-20070



LEGEND

- PRIMARY TREE CONSERVATION AREA - NEUSE BUFFER ZONE 2
- SECONDARY TREE CONSERVATION AREA
- PRIMARY TREE CONSERVATION AREA - THOROUGHFARE
- CODE COMPLIANT OPEN AREA LOT
- CODE COMPLIANT OUTDOOR AMENITY AREAS
- EXISTING WETLANDS
- HOA MAINTAINED COMMON LOT
- PHASE LINE
- ADA ACCESSIBLE ROUTE
- PRIVATE COMMUNITY AMENITY AREA WITH ACTIVE RECREATION FEATURES

OPEN AREA PER ZONING CONDITIONS:

OVERALL NET SITE AREA:	33.790 ACRES	1,471,894 SF
ON-SITE R.O.W. DEDICATION:	7.195 ACRES	313,404 SF
NEW OVERALL SITE OPEN AREA:	26.595 ACRES	1,158,490 SF
WITHIN PHASE 1:	14.317 ACRES	623,670 SF
WITHIN PHASE 2:	12.278 ACRES	534,820 SF
TOTAL OPEN AREA REQUIRED:	26.595 ACRES x 30% =	7,979 ACRES
WITHIN PHASE 1:	4.296 ACRES	187,101 SF
WITHIN PHASE 2:	3.683 ACRES	160,446 SF
TOTAL OPEN AREA PROVIDED:	9.741 ACRES	424,312 SF
WITHIN PHASE 1:	4.451 ACRES	193,907 SF
WITHIN PHASE 2:	5.289 ACRES	230,395 SF

OUTDOOR AMENITY AREA PER TOWNHOUSE BUILDING TYPE:

TOTAL OUTDOOR AMENITY AREA REQUIRED:	26.595 ACRES x 10% =	2,660 ACRES
WITHIN PHASE 1:	1.432 ACRES	62,367 SF
WITHIN PHASE 2:	1.227 ACRES	53,482 SF
TOTAL OUTDOOR AMENITY AREA PROVIDED:	3.225 ACRES	140,478 SF
WITHIN PHASE 1:	1.697 ACRES	73,910 SF
WITHIN PHASE 2:	1.528 ACRES	66,568 SF

TREE CONSERVATION AREA REQUIRED:

OVERALL NET SITE AREA:	33.790 ACRES	1,471,894 SF
RIGHT OF WAY DEDICATION:	7.195 ACRES	313,404 SF
NET SITE AREA:	26.595 ACRES	1,158,490 SF
TREE CONSERVATION REQUIRED:	2.660 ACRES	115,849 SF

TREE CONSERVATION AREA PROVIDED:

PRIMARY:	THOROUGHFARE:	0.506 ACRES	22,046 SF
SECONDARY:	NEUSE BUFFER ZONE 2:	0.771 ACRES	33,590 SF
TOTAL:	PERIMETER BUFFER:	2.344 ACRES	102,117 SF
		3.621 ACRES	157,753 SF

EASEMENT LEGEND

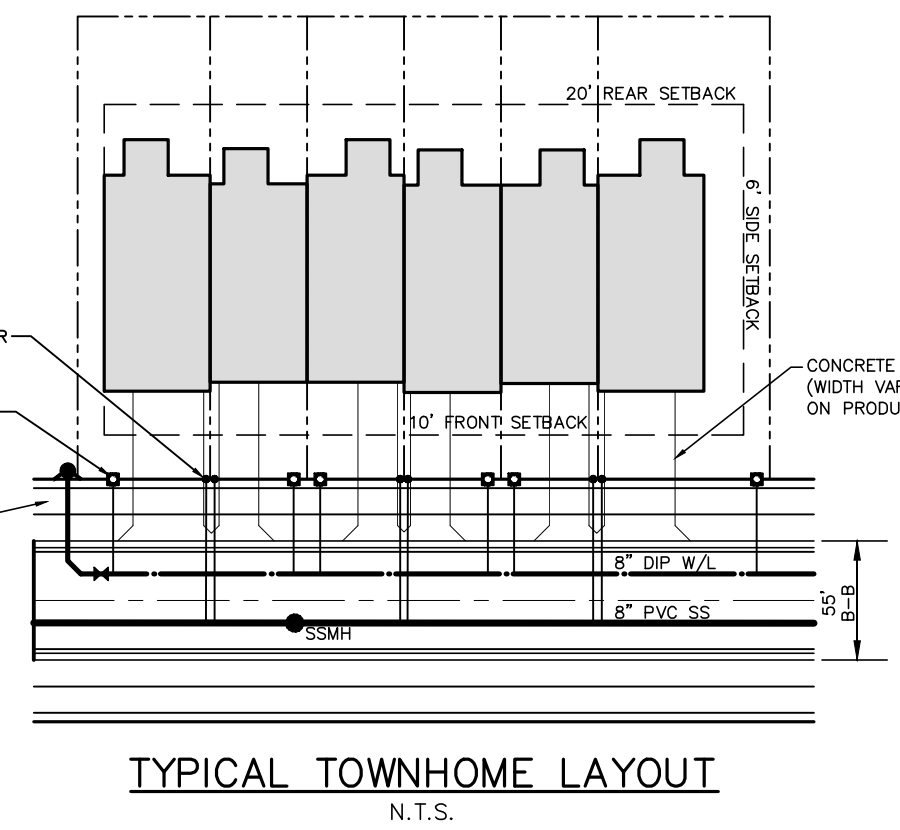
- Private Storm Drainage Easement
- Public Storm Drainage Easement
- Sight Distance Triangle Easement
- Retaining Wall Easement
- City of Raleigh Sanitary Sewer Easement
- 5' City of Raleigh Utility Easement
- Temporary Construction Easement

PER TC-SA-18, PRIMARY STREET DESIGNATION FOR LOTS

STREET FRONTAGE	LOT NUMBERS
MALMESBURY LANE	1-49, 66-71, 157-160
SAMMISH WAY	144-156
WARDLE COURT	99-143
MIDDLEWICK PLACE	72-98
PENRITH PLACE	50-59
GLOSSOP PLACE	60-65

INDEX MAP

SEE SHEET C0.01 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES



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taylor morrison

REVISIONS

NO.	DATE	REV.
1	10.08.2021	REV. PER 1ST ROUND PSP COMMENTS
2	11.29.2021	REV. PER 2ND ROUND PSP COMMENTS
3	01.31.2022	REV. PER 3RD ROUND PSP COMMENTS
4	05.20.2022	REV. PER 4TH ROUND PSP COMMENTS
5		
6		

FORESTVILLE STATION

PRELIMINARY SUBDIVISION

2701 FORESTVILLE RD
RALEIGH, NORTH CAROLINA ZIP 27616

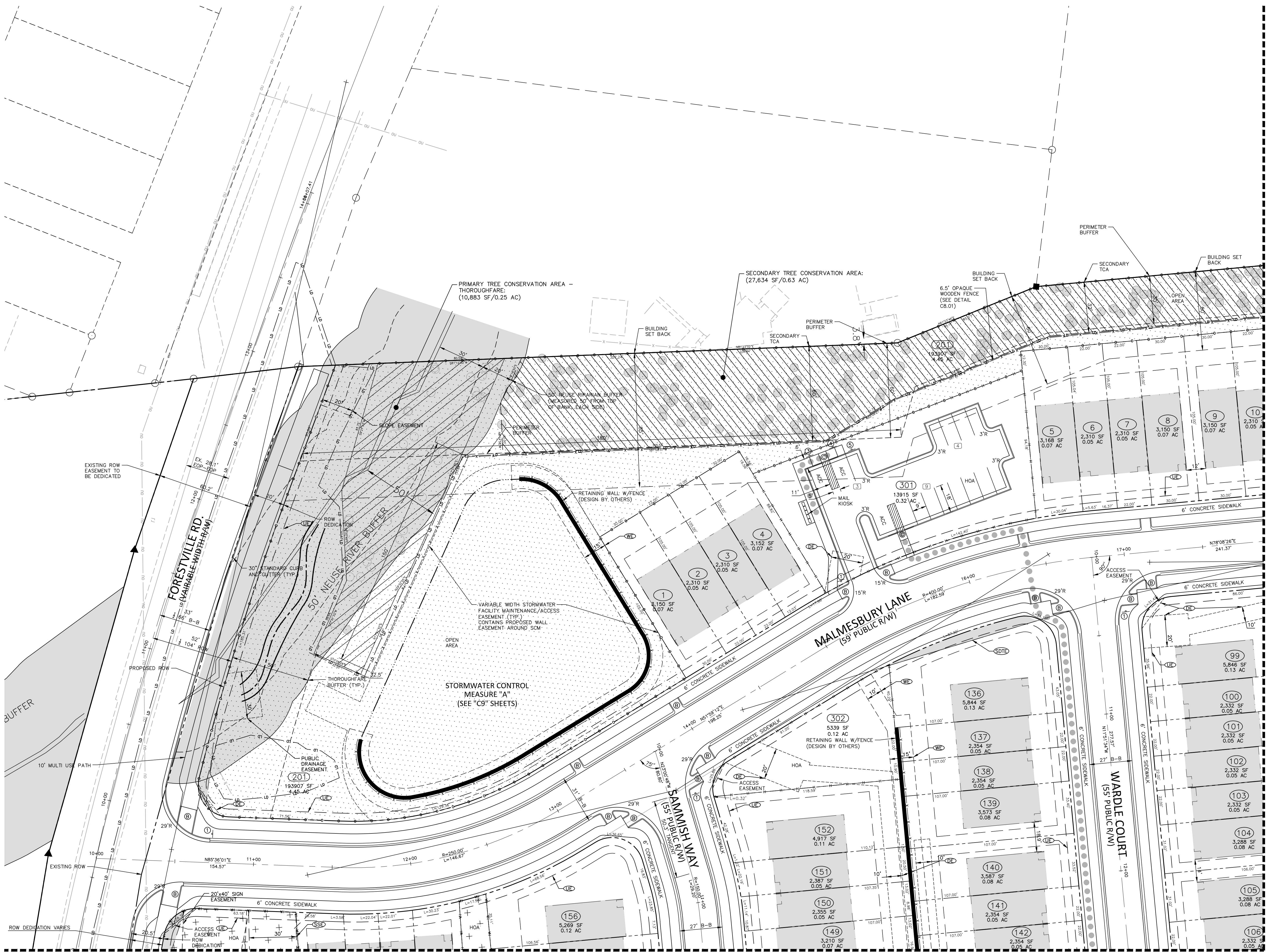
PLAN INFORMATION

PROJECT NO.	TMH-20070
FILENAME	TMH20070-C0A51
CHECKED BY	TEP
DRAWN BY	LRS
SCALE	1" = 100'
DATE	07.23.2021

OVERALL SITE PLAN

C2.00

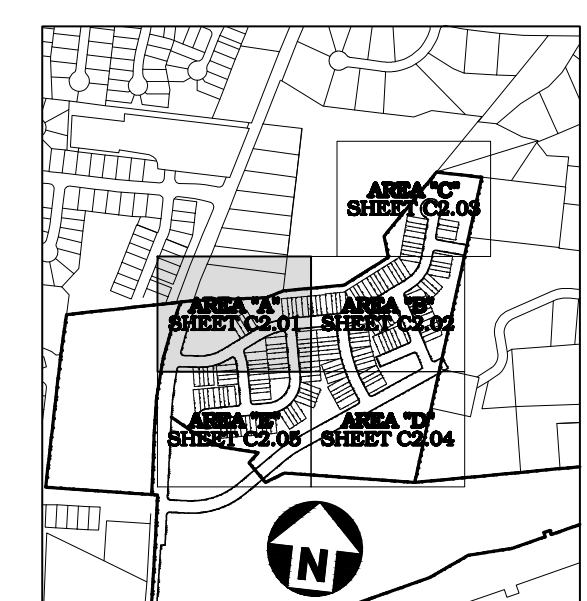
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SITE LEGEND	
	SIGNAGE
	POWER POLE
	ACCESSIBLE PARKING STALL
	PARKING SPACE COUNT
	ACCESSIBLE RAMPS
	ACCESSIBLE ROUTE
	PHASE LINE
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	LOT LINE
	EASEMENT LINE
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	PRIMARY TREE CONSERVATION AREA - NEUSE BUFFER ZONE 2
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	CODE COMPLIANT AMENITY AREAS
	HOA MAINTAINED COMMON LOT
	PRIVATE COMMUNITY AMENITY AREA WITH ACTIVE RECREATION FEATURES
	PHASE LINE

SIGNAGE LEGEND	
	STOP (R1-1)
	SPEED LIMIT (R2-1)
	VAN ACCESSIBLE PARKING SIGN (R7-8 & R7-8A)
	ACCESSIBLE PARKING SIGN (R7-8)
	MAIL PARKING 15 MINUTE LIMIT (R7-21A)

EASEMENT LEGEND	
	PRIVATE STORM DRAINAGE EASEMENT
	PUBLIC STORM DRAINAGE EASEMENT
	SIGHT DISTANCE TRIANGLE EASEMENT
	RETAINING WALL EASEMENT
	CITY OF RALEIGH SANITARY SEWER EASEMENT
	CITY OF RALEIGH UTILITY EASEMENT
	TEMPORARY CONSTRUCTION EASEMENT



SEE SHEET C0.01 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH AND NCDOT (WHERE APPLICABLE) ENGINEERING DESIGN AND CONSTRUCTION STANDARDS

MATCH LINE - SEE SHEET C2.05

MATCH LINE - SEE SHEET C2.02

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



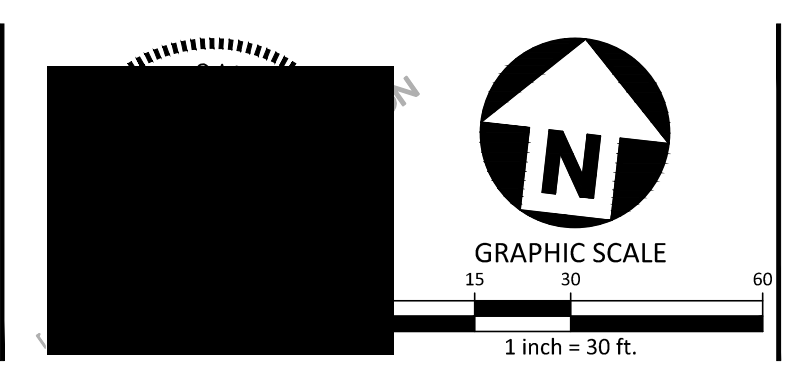
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5		
6		



FORESTVILLE STATION
PRELIMINARY SUBDIVISION
2701 FORESTVILLE RD
RALEIGH, NORTH CAROLINA ZIP 27616

PLAN INFORMATION	
PROJECT NO.	TMH-20070
FILENAME	TMH20070-01
CHECKED BY	TEP
DRAWN BY	LR5
SCALE	1" = 30'
DATE	07.23.2021

SITE PLAN - AREA "A"

C2.01

MATCH LINE - SEE SHEET C2.03

SITE LEGEND

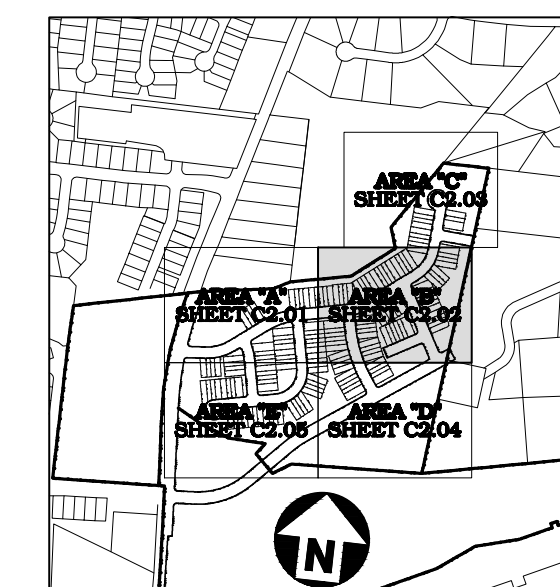
- SIGNAGE
- POWER POLE
- ACC ACCESSIBLE PARKING STALL
- PARKING SPACE COUNT
- ACCESSIBLE RAMPS
- ACCESSIBLE ROUTE
- PHASE LINE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- LOT LINE
- EASEMENT LINE
- CENTERLINE
- PRIMARY TREE CONSERVATION AREA - NEUSE BUFFER ZONE 2
- SECONDARY TREE CONSERVATION AREA
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SIGNAGE LEGEND

- STOP (R1-1)
- SPEED LIMIT (R2-1)
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- ACCESSIBLE PARKING SIGN (R7-B)
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EASEMENT LEGEND

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- PUBLIC STORM DRAINAGE EASEMENT
- SIGHT DISTANCE TRIANGLE EASEMENT
- RETAINING WALL EASEMENT
- CITY OF RALEIGH SANITARY SEWER EASEMENT
- CITY OF RALEIGH UTILITY EASEMENT
- TEMPORARY CONSTRUCTION EASEMENT



INDEX MAP

SEE SHEET C0.01 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH AND NCDOT (WHERE APPLICABLE) ENGINEERING DESIGN AND CONSTRUCTION STANDARDS

MATCH LINE - SEE SHEET C2.01

MATCH LINE - SEE SHEET C2.04

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

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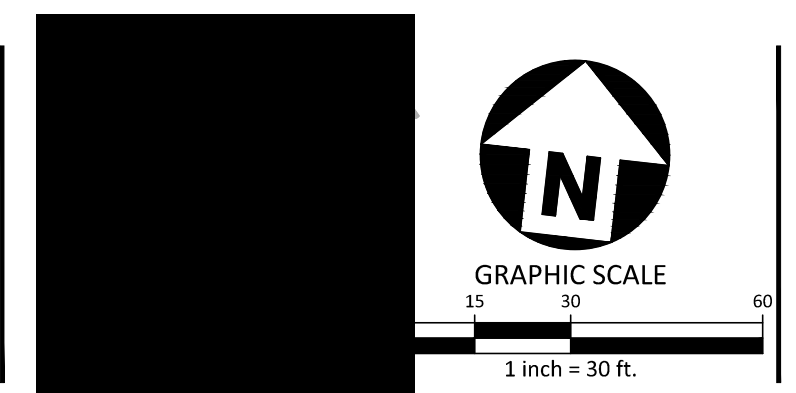
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6			



FORESTVILLE STATION
 PRELIMINARY SUBDIVISION
 2701 FORESTVILLE RD
 RALEIGH, NORTH CAROLINA ZIP 27616

PLAN INFORMATION

PROJECT NO. TMH-20070
 FILENAME TMH20070-S1
 CHECKED BY TEP
 DRAWN BY LRS
 SCALE 1" = 30'
 DATE 07.23.2021

SITE PLAN - AREA "B"

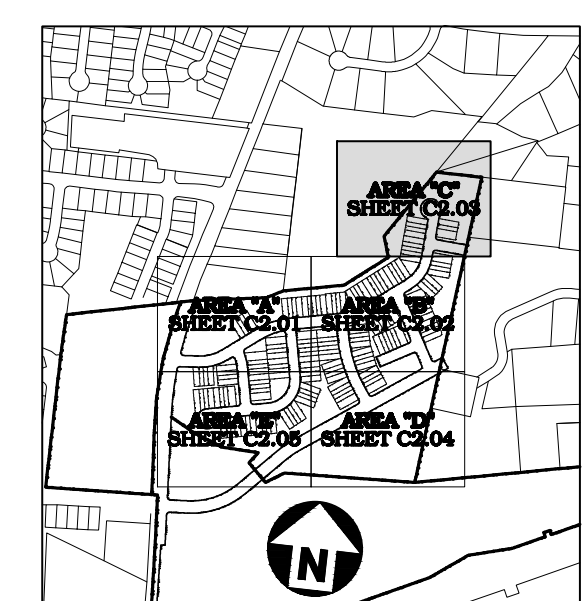
C2.02

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SITE LEGEND	
	SIGNAGE
	POWER POLE
	ACCESSIBLE PARKING STALL
	PARKING SPACE COUNT
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	PHASE LINE

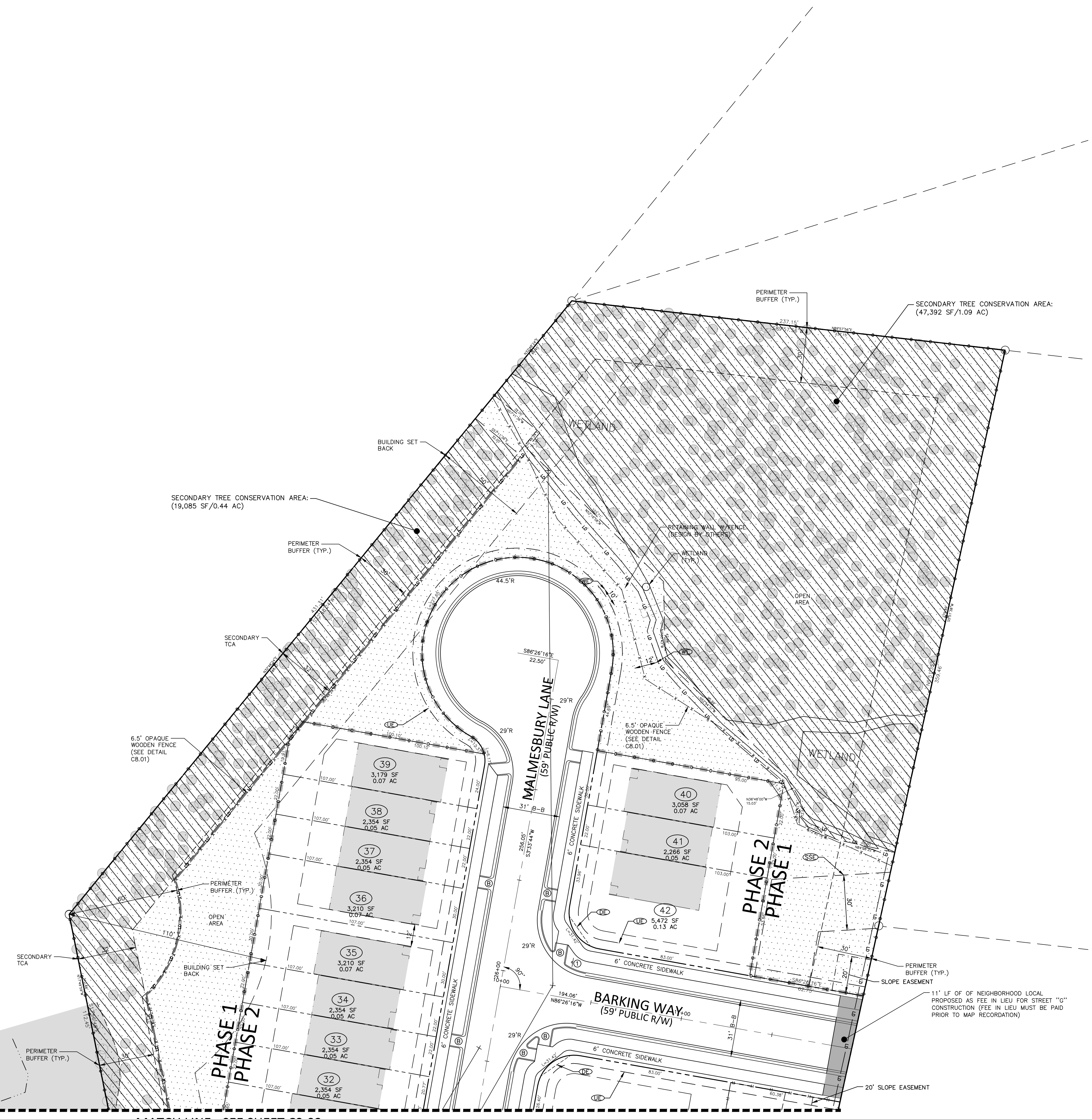
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	STOP (R1-1)
	SPEED LIMIT (R2-1)
	VAN ACCESSIBLE PARKING SIGN (R7-8 & R7-8A)
	ACCESSIBLE PARKING SIGN (R7-B)
	MAIL PARKING 15 MINUTE LIMIT (R7-21A)

EASEMENT LEGEND	
	PRIVATE STORM DRAINAGE EASEMENT
	PUBLIC STORM DRAINAGE EASEMENT
	SIGHT DISTANCE TRIANGLE EASEMENT
	RETAINING WALL EASEMENT
	CITY OF RALEIGH SANITARY SEWER EASEMENT
	5' CITY OF RALEIGH UTILITY EASEMENT
	TEMPORARY CONSTRUCTION EASEMENT



SEE SHEET C0.01 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

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MATCH LINE - SEE SHEET C2.02

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



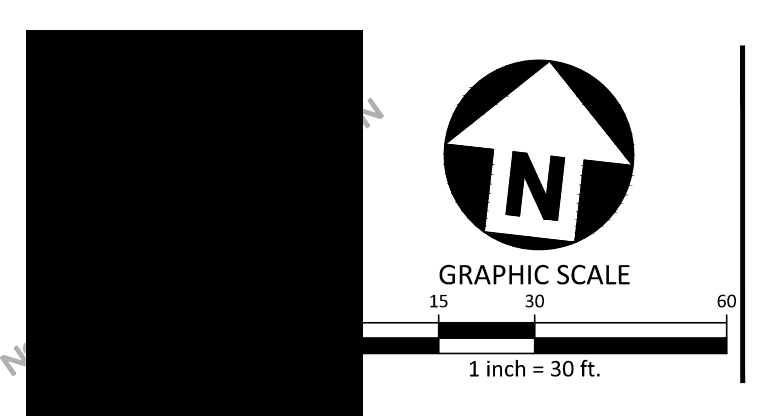
The John R. McAdams Company, Inc.
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phone 919. 361. 5000
fax 919. 361. 2269
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CARY, NORTH CAROLINA 27513
MARK ALTMAN
PHONE: 919. 407. 1232
taylor morrison

REVISIONS			
NO.	DATE	REV.	PER
1	10.08.2021	REV. PER 1ST ROUND PSP COMMENTS	
2	11.29.2021	REV. PER 2ND ROUND PSP COMMENTS	
3	01.31.2022	REV. PER 3RD ROUND PSP COMMENTS	
4	05.20.2022	REV. PER 4TH ROUND PSP COMMENTS	
5			
6			



FORESTVILLE STATION
PRELIMINARY SUBDIVISION
2701 FORESTVILLE RD
RALEIGH, NORTH CAROLINA ZIP 27616

PLAN INFORMATION	
PROJECT NO.	TMH-20070
FILENAME	TMH20070-S1
CHECKED BY	TEP
DRAWN BY	LRS
SCALE	1" = 30'
DATE	07.23.2021

SITE PLAN - AREA "C"

C2.03

MATCH LINE - SEE SHEET C2.02



SITE LEGEND

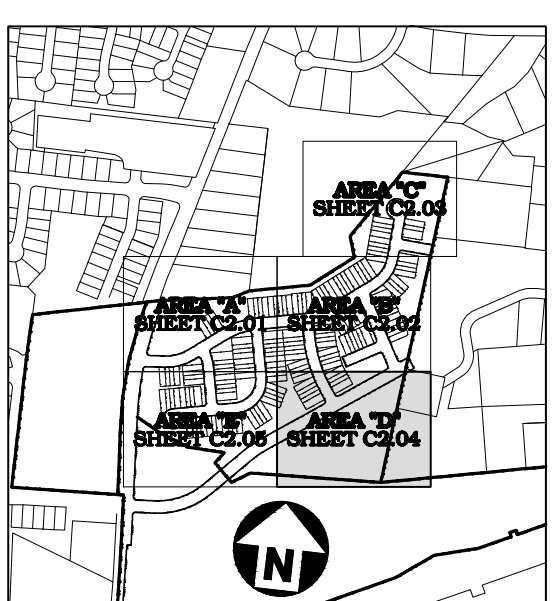
	SIGNAGE
	POWER POLE
	ACCESSIBLE PARKING STALL
	PARKING SPACE COUNT
	ACCESSIBLE RAMPS
	ACCESSIBLE ROUTE
	PHASE LINE
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	LOT LINE
	EASEMENT LINE
	CENTERLINE
	PRIMARY TREE CONSERVATION AREA - NEUSE BUFFER ZONE 2
	SECONDARY TREE CONSERVATION AREA
	PRIMARY TREE CONSERVATION AREA - THOROUGHFARE
	CODE COMPLIANT OPEN AREA LOT
	CODE COMPLIANT AMENITY AREAS
	HOA MAINTAINED COMMON LOT
	PRIVATE COMMUNITY AMENITY AREA WITH ACTIVE RECREATION FEATURES
	PHASE LINE

SIGNAGE LEGEND

	STOP (R1-1)
	SPEED LIMIT (R2-1)
	VAN ACCESSIBLE PARKING SIGN (R7-8 & R7-8A)
	ACCESSIBLE PARKING SIGN (R7-8)
	MAIL PARKING 15 MINUTE LIMIT (R7-21A)

EASEMENT LEGEND

	PRIVATE STORM DRAINAGE EASEMENT
	PUBLIC STORM DRAINAGE EASEMENT
	SIGHT DISTANCE TRIANGLE EASEMENT
	RETAINING WALL EASEMENT
	CITY OF RALEIGH SANITARY SEWER EASEMENT
	5' CITY OF RALEIGH UTILITY EASEMENT
	TEMPORARY CONSTRUCTION EASEMENT



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STORMWATER CONTROL MEASURE "B" (SEE "C9" SHEETS)

VARIABLE WIDTH STORMWATER FACILITY MAINTENANCE/ACCESS EASEMENT (TYP.) CONTAINS PROPOSED WALL EASEMENTS AROUND SCM.

MATCH LINE - SEE SHEET C2.05

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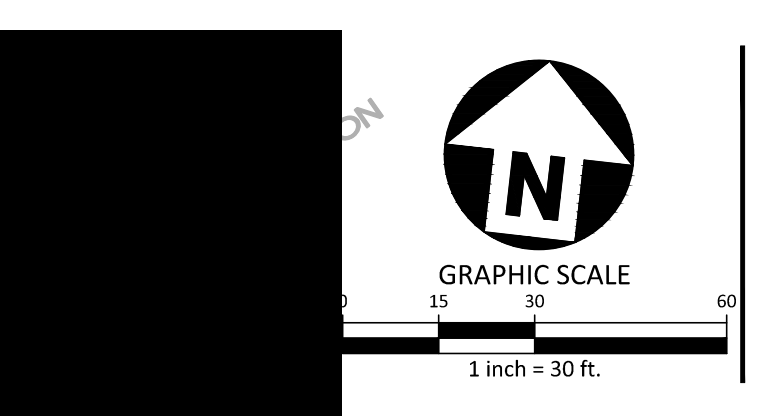
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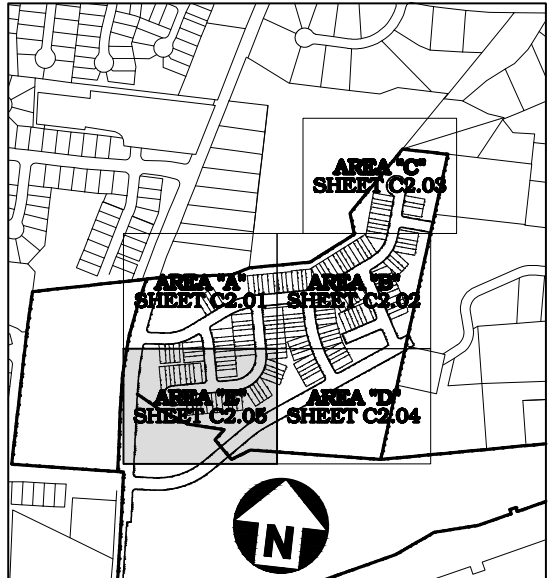
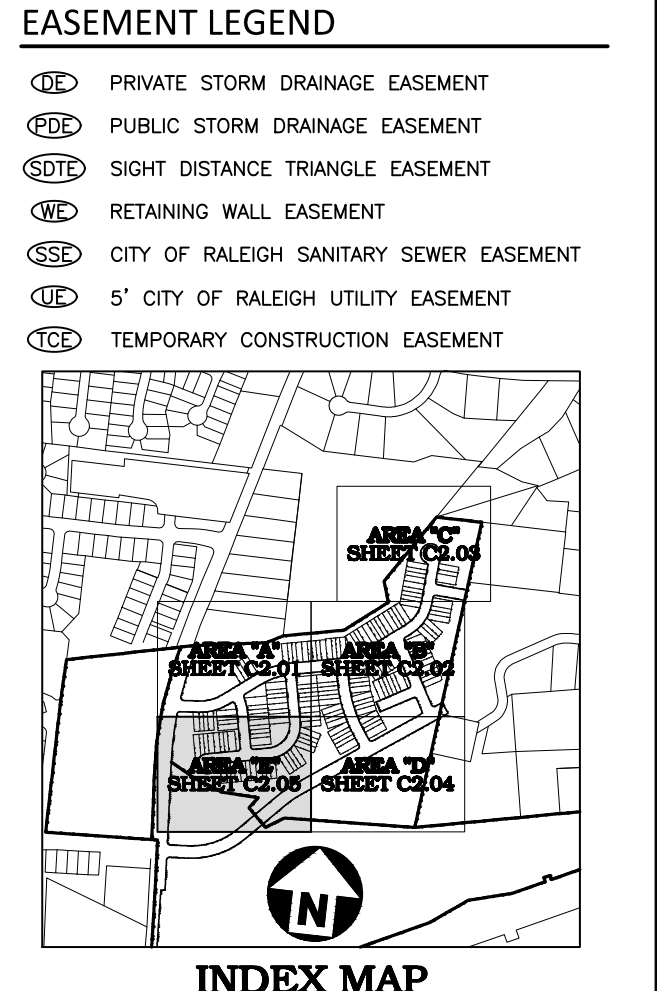
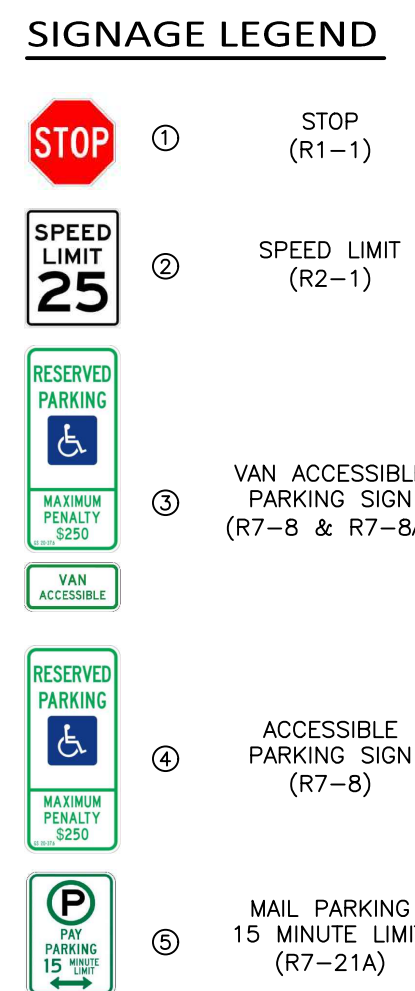
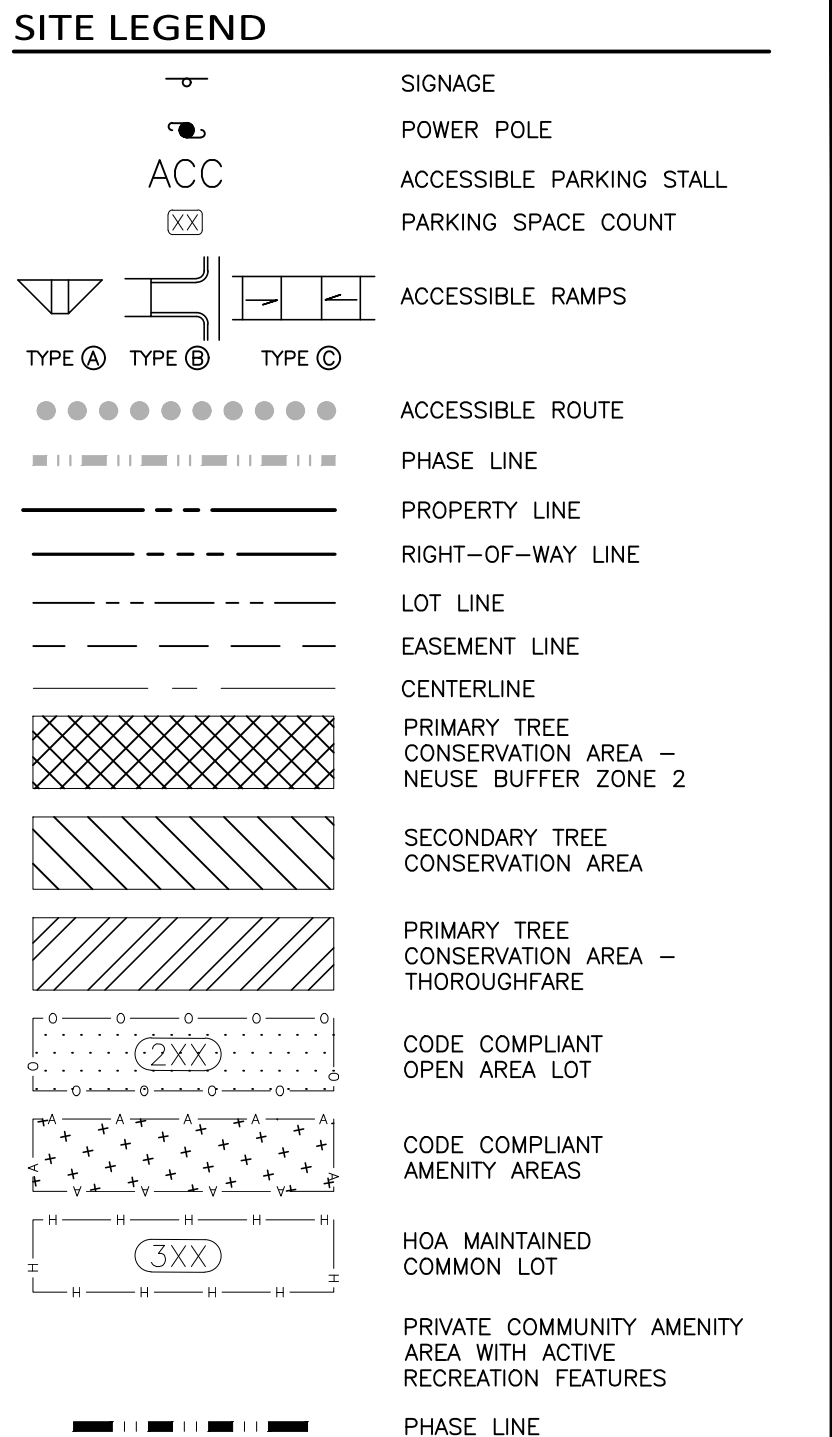
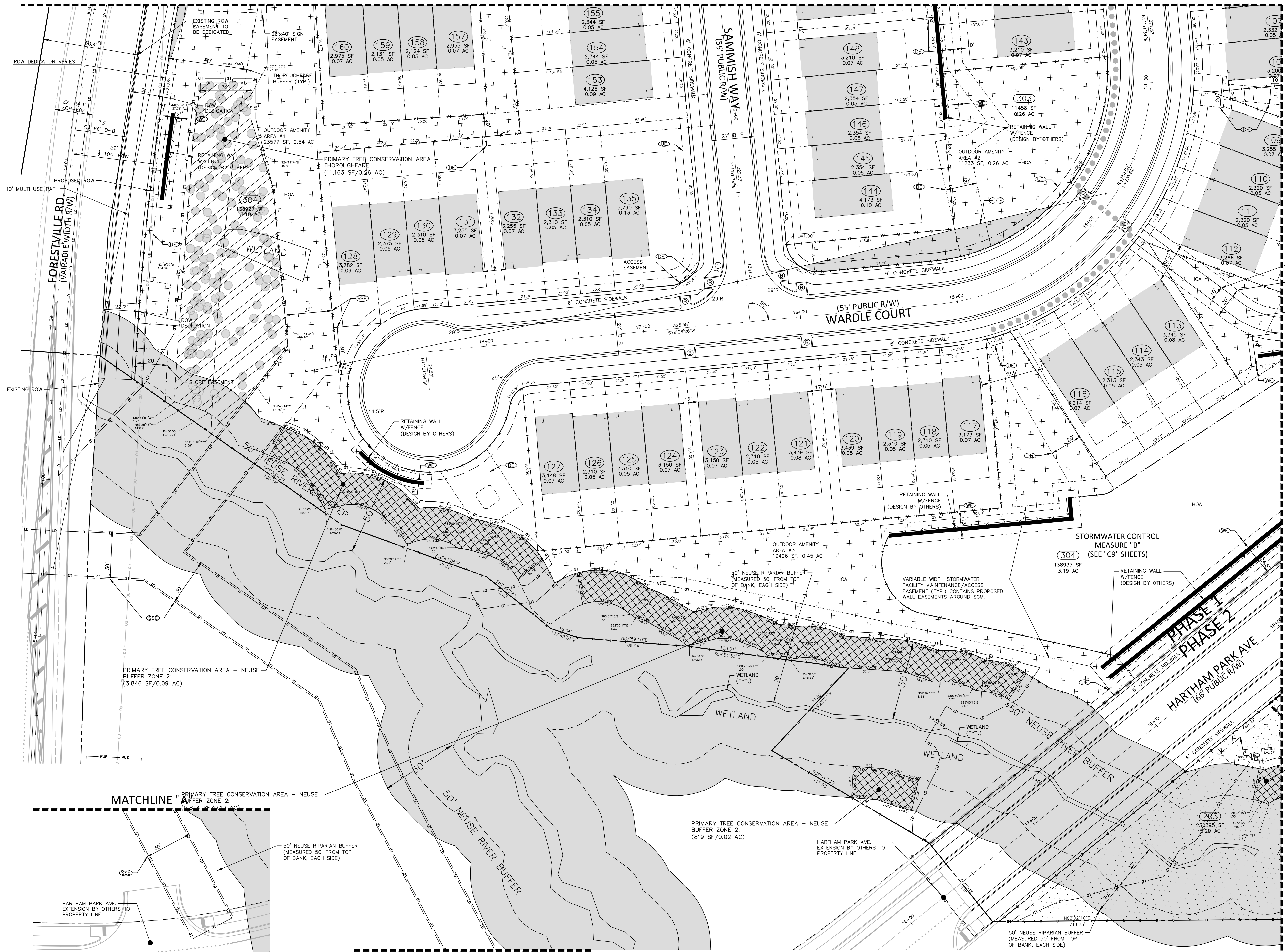
PLAN INFORMATION

PROJECT NO. TMH-20070
FILENAME TMH20070-S1
CHECKED BY TEP
DRAWN BY LRS
SCALE 1" = 30'
DATE 07.23.2021

SITE PLAN - AREA "D"

C2.04

MATCH LINE - SEE SHEET C2.01



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MATCH LINE - SEE SHEET C2.04

MATCHLINE "A" - SEE INSET THIS SHEET

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

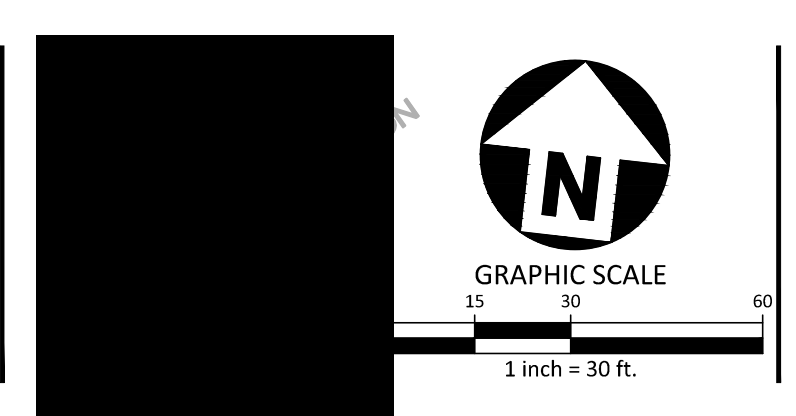
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6			



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PRELIMINARY SUBDIVISION
2701 FORESTVILLE RD
RALEIGH, NORTH CAROLINA ZIP 27616

PLAN INFORMATION

PROJECT NO.	TMH-20070
FILENAME	TMH20070-S1
CHECKED BY	TEP
DRAWN BY	LRs
SCALE	1" = 30'
DATE	07.23.2021

SITE PLAN - AREA "E"
C2.05