



Administrative Approval Action

Case File / Name: SUB-0055-2024

DSLCL - ROCK QUARRY ROAD - COMMERCIAL SUBDIVISION

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

- LOCATION:** The site is located at the northwest corner of Whitfield Rd (SR 2645) and Rock Quarry Rd (SR 2542). The address is 6325 Rock Quarry Rd (PIN 1731640509). The site is approximately 9.36 acres in size and is zoned CX-4-CU. It is currently undeveloped and has trees covering the majority of the site. It is inside the city limits.
- REQUEST:** The applicant is proposing a subdivision to create four Open Lots. The lots range in size from 50,252 sf to 205,392 sf. Lots 1 and 2 include areas of Primary Tree Conservation Area.
- DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** N/A
- FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated December 2, 2025 by GANDER DEVELOPMENT.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

1. SPR approval for this project will depend on the approval of the Bluejack Falls project (SPR-0262-2023) and the Rock Quarry Road Infrastructure Improvements project (SPR-0134-2025) or this project will need to provide its own waterline design.

Engineering

2. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to the City of Raleigh Transportation Department – Mobility Strategy and Infrastructure Division prior to Site Permit review approval.

Urban Forestry

3. Submit a final tree conservation plan that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required (UDO 9.1.5).
4. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.



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☒ **LEGAL DOCUMENTS** - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Cross Access Agreements Required
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<input checked="" type="checkbox"/>	Right of Way Deed of Easement Required
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☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

Engineering

1. A cross access agreement among the lots 2 and 3 shall be approved by the Development Services Department for recording in the Wake County Registry, and a copy of the recorded cross access easement shall be returned to the Development Services Department within one day of plat recordation. If a recorded copy of the document is not provided within this time, further recordings and building permit issuance will be withheld.
2. A public street right-of-way deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
3. A public infrastructure surety shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.

Public Utilities

4. Site Permit Review plans (SPR) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.

Stormwater

5. The riparian buffers, in accordance with the preliminary plan and the State of North Carolina regulations, shall be shown on plats for recording along with required buffer statement (Recorded Map Checklist).

Urban Forestry



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6. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1). This development proposes 1.953 acres of tree conservation area.

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

Engineering

1. A Traffic Control and Pedestrian (TCPED) Plan must be approved and a right-of-way occupancy permit must be obtained from Right-of-way Services for any construction activities within the right-of-way.

Public Utilities

2. A water and/or sanitary sewer deed of easement, in addition to a plat must be recorded at the Wake County Register of Deeds office for all water and sanitary sewer easement dedications.

The following are required prior to issuance of building occupancy permit:

General

1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
2. Final inspection of tree conservation areas by Urban Forestry Staff.

EXPIRATION DATES: If significant construction has not taken place on a project after preliminary subdivision approval, that approval may "sunset" and be declared void, requiring re-approval before permits may be issued. To avoid allowing this preliminary approval to "sunset", the following must take place by the following dates:

3-Year Sunset Date: December 17, 2028
Record at least ½ of the land area approved.

5-Year Sunset Date: December 17, 2030
Record entire subdivision.

I hereby certify this administrative decision.

Signed: Keegan.McDonald@raleighnc.gov

Digitally signed by Keegan.McDonald@raleighnc.gov
DN: E=Keegan.McDonald@raleighnc.gov,
CN=Keegan.McDonald@raleighnc.gov
Date: 2025.12.17 08:42:36-05'00'

Date: 12/17/2025

Development Services Dir/Designee
Staff Coordinator: Jeff Caines

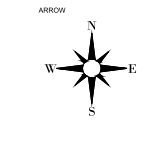


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SCALE



DATE: 11/1/2020
DRAWN BY: JPL
PROJECT: C0.20

GENERAL NOTES

C0.20

GENERAL NOTES:

1. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE OFFICE OF STATE CONSTRUCTION, DEPARTMENT OF INSURANCE, INSURANCE AND ALL OTHER APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS. ALL UTILITIES CONSTRUCTION SHALL COMPLY WITH APPLICABLE LOCAL JURISDICTIONAL STANDARDS AND SPECIFICATIONS.
2. EXISTING SURVEY INFORMATION INCLUDING TOPOGRAPHIC INFORMATION PROVIDED BY SWIFT PARTNERS, UNLESS OTHERWISE NOTED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEW AND VERIFICATION. CONFIRMING PRIOR TO COMMENCEMENT OF ANY WORK, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTRACTING, COORDINATING AND PAYMENT FOR ALL NECESSARY LOCATING SERVICES INCLUDING LOCATING SERVICES. THE CONTRACTOR SHALL PROVIDE NOTICE OF EXCAVATION TO NOTIFICATION CENTER AND FACILITY OWNERS PER 15A STATUTE. IN THE EVENT OF A DISCREPANCY OR CONFLICT, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS.
4. ALL SUBSURFACE UTILITIES IDENTIFIED ON THE CONSTRUCTION DOCUMENTS ARE SHOWN IN THE APPROPRIATE LOCATION BASED ON SURVEY INFORMATION OBTAINED FROM FIELD INSPECTION AND/OR ANY OTHER AVAILABLE RECORD DRAWINGS WHICH MAY BE AVAILABLE. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS.
5. EXISTING IMPROVEMENTS DAMAGED OR DESTROYED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE RESTORED OR REPLACED TO ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE AT THE CONTRACTOR'S EXPENSE.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND COORDINATING PERMITS, INSPECTIONS, CERTIFICATIONS AND OTHER REQUIREMENTS WHICH MUST BE MET UNDER THE CONTRACT.
7. THE CONTRACTOR SHALL MAINTAIN "AS-BUILT" DRAWINGS TO RECORD THE ACTUAL LOCATION OF ALL PIPING PRIOR TO CONSTRUCTION, AND ANY CHANGES AND THEREAFTER OR LANDSCAPE CHANGES. DRAWINGS SHALL BE PROVIDED TO THE OWNER'S REPRESENTATIVE AT REGULAR INTERVALS, OR AS REQUESTED THROUGHOUT THE PROJECT FOR RECORD KEEPING.
8. IF NECESSARY FROM THE PROJECT DRAWINGS OR SPECIFICATIONS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DETAILS AND REASONS THEREOF SHALL BE SUBMITTED TO THE OWNER'S REPRESENTATIVE FOR REVIEW. RECORD DRAWINGS FROM THE CONTRACT DOCUMENTS SHALL BE MADE WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE OWNER'S REPRESENTATIVE.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RELOCATION OF ANY EXISTING UTILITY LINES REQUIRED TO COMPLETE ANY PORTION OF CONSTRUCTION. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE RELOCATION OF ANY EXISTING UTILITY LINES REQUIRED TO COMPLETE ANY PORTION OF CONSTRUCTION.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE PREMISES FREE FROM ACCUMULATIONS OF WASTE MATERIALS AND RUBBISH CAUSED BY THE CONTRACTOR. ALL DEBRIS SHALL BE REMOVED FROM THE PROJECT SITE ON A DAILY BASIS.
11. THE ENGINEER AND/OR OWNER DISCLAIM ANY ROLE IN THE CONSTRUCTION SUPPORT AND/OR METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.
12. ROADWAYS, TERRACEWAYS OR OTHERS MUST BE AVAILABLE FOR TRAFFIC DURING THE CONSTRUCTION PERIOD. DURING ALL PHASES OF CONSTRUCTION ONCE VERTICAL CONSTRUCTION HAS BEGUN.

EXISTING CONDITION NOTES:

1. THIS SURVEY MAPS INTENDED TO REPRESENT THE EXISTING CONDITIONS TOPOGRAPHY ON A PORTION OF THE PROPERTY AND ALL ENCUMBRANCES UPON THE PROPERTY MAY NOT BE SHOWN.
2. HORIZONTAL DATUM IS NAD 83(11) AND VERTICAL DATUM IS NAVD83.
3. THE DRAWING DOES NOT CONFORM TO THE LOCAL AND THEREFORE IS NOT FOR RECONSTRUCTION.
4. UTILITIES SHOWN HEREON ARE BASED ON ABOVE GROUND VISIBLE EVIDENCE AND UTILITY DEMOGRAPHY / MARKING SERVICES PERFORMED BY STEVEN INC. AND THE AVAILABLE RECORD INFORMATION. CONTRACTOR SHALL FIELD VERIFY LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION OF CONSTRUCTION.
5. SURVEY INFORMATION COLLECTED BY GALLOWAY VEGATION, PLLC.
6. TREES SHOWN HEREON MAY NOT REPRESENT ALL VEGETATION ON THE SUBJECT PROPERTY.
7. WETLANDS HAVE BEEN IDENTIFIED WITHIN THE PROJECT OR PARCEL SHOWN.

DEMOLITION NOTES:

1. THE CONTRACTOR SHALL REMOVE CONCRETE (WHERE REQUIRED) TO THE FIRST JOINT COLD JOINT OR SAW CUT TO OBTAIN A CLEAN EDGE.
2. THE CONTRACTOR SHALL SAWCUT EXISTING ASPHALT (WHERE REQUIRED) TO OBTAIN A CLEAN EDGE.
3. CLEANOUTS AND WATER VALVES LOCATED IN AREAS OF DEMOLITION OR SUBSEQUENT CONSTRUCTION SHALL BE PROTECTED FROM DAMAGE AND MARKED TO STAY IN PLACE WITH HIGH VISIBLE MARKS.
4. ANY UTILITY SERVICES SHOWN TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY PROVIDER. CONTRACTOR IS RESPONSIBLE FOR APPROPRIATE SEQUENCING OF UTILITY DEMOLITION WITH THE RESPECTIVE UTILITY AGENCIES.
5. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL UTILITIES PRIOR TO BEGINNING DEMOLITION OPERATIONS. NOTIFY "NORTH CAROLINA ONE CALL" TELEPHONE (800) 458-5858 AT LEAST 48 HOURS PRIOR TO START OF DEMOLITION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEM OWN LOCATION SERVICES INDEPENDENT OF "NORTH CAROLINA ONE CALL".
6. CLEAN SOIL SHALL BE UTILIZED FOR BACKFILL, CONSTRUCTION OF THESE SOILS SHALL BE PERFORMED IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS.
7. ALL ITEMS DESIGNATED TO BE REMOVED SHALL BE REMOVED COMPLETELY, INCLUDING ALL SUBGRADE MATERIALS DIRECTLY ASSOCIATED THEREIN TO BE REMOVED.
8. ALL ITEMS DESIGNATED TO BE REMOVED SHALL BE DEPOSED OF LEGALLY OFF-SITE UNLESS OTHERWISE NOTED ON THIS PLAN.
9. REFER TO LANDSCAPE AND EROSION CONTROL DRAWINGS FOR TREE PROTECTION PLAN AND REQUIREMENTS.
10. ALL DEMOLITION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL JURISDICTIONAL CODES OR REQUIREMENTS.
11. TREE PROTECTION FENCING SHALL BE IN PLACE PRIOR TO BEGINNING DEMOLITION.
12. EROSION CONTROL PERMIT SHALL BE OBTAINED AND ONSITE PRIOR TO BEGINNING DEMOLITION.
13. ITEMS DESIGNATED TO BE SALVAGED AND/OR REUSED SHALL BE REMOVED BY THE CONTRACTOR AND PROVIDED TO THE OWNER, COORDINATE STORAGE LOCATION WITH OWNER'S REPRESENTATIVE.
14. WHERE UTILITIES TO BE REMOVED IMPACT THE FOOTPRINT OF THE NEW BUILDING, THE CONTRACTOR SHALL EXCAVATE AND REMOVE AN ADDITIONAL 2 FEET OF SOIL TO THE BASE OF THE PIPE, AND 1 FOOT BELOW CLEAN SURFACE SOIL SHALL BE UTILIZED FOR BACKFILL, AND COMPACTED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
15. DEMOLITION AND SUBSEQUENT CONSTRUCTION OF STORM DRAINAGE PERMS SHALL BE PERFORMED IN SUCH A MANNER THAT THE OLD PIPE AND STRUCTURES REMOVED DO NOT IMPACT DRAINAGE OPERATION OF THE SYSTEM. PROVISIONS SHALL BE MADE TO MAINTAIN STORM WATER DRAINAGE PATTERNS DURING CONSTRUCTION.
16. DEMOLITION AND SUBSEQUENT CONSTRUCTION OF UTILITIES (WATER, SEWER, ETC) SHALL BE PERFORMED IN SUCH A MANNER THAT THE OLD PIPE AND STRUCTURES REMOVED DO NOT IMPACT DRAINAGE OPERATION OF THE SYSTEM. INTERRUPTING TO EXISTING FACILITIES TO REMAIN. PROVISIONS SHALL BE MADE TO MAINTAIN SEWER DRAINAGE PATTERNS DURING CONSTRUCTION.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMEDIATING ALL DAMAGES TO THE EXISTING DRIVEWAY, PARKING LOT, DRIVEWAY AND CURB AND OTHER AREAS OF THE CONSTRUCTION PROJECT. THE CONTRACTOR SHALL MAINTAIN A PAVING PATTERNS SECTION FOR SPECIFIC SUBMITTALS OF PRODUCT DATA, SAMPLES, SHOP DRAWINGS, QUALITY ASSURANCE REQUIREMENTS, EROSION REQUIREMENTS, AND FOR FURTHER PRODUCT INFORMATION NOT INCLUDED IN THE SCHEDULE.
18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING ALL NECESSARY PERMITS TO THE OWNER'S REPRESENTATIVE FOR APPROVAL BY LANDSCAPE ARCHITECT.
19. THE CONTRACTOR SHALL PROVIDE FREEDOM OF ACCESS TO ALL EXISTING BUILDINGS, PARKING LOTS, AND PATHS OF PEDESTRIAN TRAVEL THROUGHOUT THE CONSTRUCTION PERIOD.

MATERIALS AND FURNISHINGS NOTES:

1. ABBREVIATIONS FOR PRODUCT, LANDSCAPE MATERIALS AND FURNISHINGS ARE LISTED IN THE LEGEND AND ARE USED THROUGHOUT THE DRAWING WITH HATCHES AND FURNISHING PLANS, PAVING PATTERNS, PLANS AND SITE DETAILS.
2. REFER TO RELATED SPECIFICATION SECTION FOR SPECIFIC SUBMITTALS OF PRODUCT DATA, SAMPLES, SHOP DRAWINGS, QUALITY ASSURANCE REQUIREMENTS, EROSION REQUIREMENTS, AND FOR FURTHER PRODUCT INFORMATION NOT INCLUDED IN THE SCHEDULE.
3. CONTRACTOR TO SUBMIT COLOR SAMPLES AND PROVIDE MOCUPAS FOR ALL CASE IN PLACE CONCRETE FOR APPROVAL BY LANDSCAPE ARCHITECT.

SITE NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF THE CONSTRUCTION LAYOUT AREA, PERMITS, ETC. AND ASSIGNED GATES. THE CONTRACTOR SHALL MAINTAIN THE LAYOUT AREA PERMITS, ETC. AND ASSIGNED GATES. THE CONTRACTOR SHALL MAINTAIN THE LAYOUT AREA PERMITS, ETC. AND ASSIGNED GATES.
2. THE CONTRACTOR SHALL REFERENCE THE DESIGN PLAN FOR DIMENSIONS, JOINT LOCATIONS, AND INLAY SPECIFICATIONS NEAR BUILDINGS AND IN COURTYARDS. CONTRACTOR SHALL PROVIDE JOINTS IN WALKWAYS AND HARDSCAPE PER DETAILS OR AS INDICATED ON LANDSCAPE/HARDSCAPE PLAN SHEETS.
3. ALL CONSTRUCTION TRAFFIC SHALL ENTER FROM ROCK CREEK ROAD UNLESS OTHERWISE APPROVED BY WRITING FROM THE OWNER'S REPRESENTATIVE FOR AN ALTERNATE POINT OF ACCESS.
4. REFER TO ARCHITECTURAL PLANS FOR BUILDING INFORMATION.
5. ALL DIMENSIONS ARE IN DECIMAL FEET TO OUTSIDE FACE OF BUILDINGS, TO CENTERLINES AND/OR FACE OF CURB UNLESS OTHERWISE NOTED.
6. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND COORDINATES AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE PRIOR TO ANY CONSTRUCTION.
7. ALL WRITTEN DIMENSIONS SHALL PREVAIL, DO NOT SCALE FROM DRAWINGS.
8. ALL UTILITIES ARE SHOWN AS LOCATED WITHIN THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. REFER TO LAYOUT DRAWINGS AND ALL ANGLES ARE 90 DEGREES UNLESS OTHERWISE NOTED.
9. ALIGN ALL JOINTS, CORNERS, AND EDGES AS SHOWN.
10. CONTRACTOR SHALL REFER TO AND COORDINATE WITH ARCHITECTURAL, STRUCTURAL, AND MEP DRAWINGS AT ALL TIMES PRIOR TO AND DURING CONSTRUCTION.
11. ALL CURB TAPERS ARE 8X (8) FEET UNLESS OTHERWISE SHOWN ON PLAN.
12. WHERE NEW SIDEWALK ADJACENT EXISTING WALK, PROVIDE EXPANSION JOINT BY DRILLING INTO THE FACE OF THE EXISTING WALK FOR A DEPTH OF 2 INCHES. THE NEW SIDEWALK IS TO BE ADJACENT TO EXISTING PAVEMENT JOINT. MATCH WIDTH OF EXISTING WALKWAY.
13. WHERE NEW SIDEWALK ADJACENT EXISTING WALK, PROVIDE EXPANSION JOINT BY DRILLING INTO THE FACE OF THE EXISTING WALK FOR A DEPTH OF 2 INCHES. THE NEW SIDEWALK IS TO BE ADJACENT TO EXISTING PAVEMENT JOINT. MATCH WIDTH OF EXISTING WALKWAY.
14. WHERE SIDEWALK OR PAVEMENT ARE ADJACENT TO PARKING SPACES THE WALKWAY SHALL BE A MINIMUM 4' WIDE AS MEASURED FROM THE FACE OF CURB.
15. MAXIMUM RUNNING SLOPE FOR WALKING SURFACES CANNOT BE GREATER THAN 1:20 AND CROSS SLOPE SHALL BE GREATER THAN 1:40. HATCH SPACES SURFACE SLOPES SHALL NOT EXCEED 1:40 IN ALL DIRECTIONS.
16. RIGHT TRIANGLES - NOTHING OVER 10' HIGH SHALL BE ALLOWED WITHIN THE RIGHT DISTANCE TRIANGLES. THE SITE SHALL BE FULLY STABILIZED PER COVERED PRIOR TO BEGINNING OF A BUILDING CONSTRUCTION IMMEDIATELY ADJACENT. NOTE: IF THE ADJACENT IS RESPONSIBLE TO THE PROJECT, THE WATER SERVICES FOR EACH CONSTRUCTION TO PROVIDE ADEQUATE FLOW TO PRESSURE.
17. HATCHES SHALL BE FULLY STABILIZED PER COVERED PRIOR TO BEGINNING OF A BUILDING CONSTRUCTION IMMEDIATELY ADJACENT. NOTE: IF THE ADJACENT IS RESPONSIBLE TO THE PROJECT, THE WATER SERVICES FOR EACH CONSTRUCTION TO PROVIDE ADEQUATE FLOW TO PRESSURE.
18. THE TESTING AGENCY SHALL BE RESPONSIBLE FOR PROVIDING THE ASPHALT AND CONTRACTOR CONTRACTOR MEANS TO VERIFY FOR ALL ADEQUATE IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY.

GRADING AND STORM DRAINAGE NOTES:

1. CONTRACTOR SHALL VERIFY ALL GRADE DISCREPANCIES TO THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING CONSTRUCTION OPERATIONS.
2. THE MINIMUM ALLOWABLE SLOPE FOR ACCESSIBLE PATHWAY SHALL NOT EXCEED 1:20, AND SHALL NOT EXCEED 1:20 CROSS SLOPE. HANDICAP COMPLIANT SLOPES ON PLANS SHALL BE A MINIMUM OF 1:20. THE MINIMUM ALLOWABLE SLOPE FOR ACCESSIBLE PATHWAY SHALL NOT EXCEED 1:20, AND SHALL NOT EXCEED 1:20 CROSS SLOPE. HANDICAP COMPLIANT SLOPES ON PLANS SHALL BE A MINIMUM OF 1:20. THE MINIMUM ALLOWABLE SLOPE FOR ACCESSIBLE PATHWAY SHALL NOT EXCEED 1:20, AND SHALL NOT EXCEED 1:20 CROSS SLOPE. HANDICAP COMPLIANT SLOPES ON PLANS SHALL BE A MINIMUM OF 1:20.
3. ALL PROPOSED ELEVATIONS SHOWN ARE ELEVATION OF PAVEMENT ELEVATIONS UNLESS OTHERWISE SPECIFIED.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL NEWLY CONSTRUCTED STORM DRAINAGE IMPROVEMENTS AND REPAIRS MEET THE MINIMUM REQUIREMENTS FOR STORM DRAINAGE IMPROVEMENTS AND REPAIRS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL NEWLY CONSTRUCTED STORM DRAINAGE IMPROVEMENTS AND REPAIRS MEET THE MINIMUM REQUIREMENTS FOR STORM DRAINAGE IMPROVEMENTS AND REPAIRS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL NEWLY CONSTRUCTED STORM DRAINAGE IMPROVEMENTS AND REPAIRS MEET THE MINIMUM REQUIREMENTS FOR STORM DRAINAGE IMPROVEMENTS AND REPAIRS.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL NEWLY CONSTRUCTED STORM DRAINAGE IMPROVEMENTS AND REPAIRS MEET THE MINIMUM REQUIREMENTS FOR STORM DRAINAGE IMPROVEMENTS AND REPAIRS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL NEWLY CONSTRUCTED STORM DRAINAGE IMPROVEMENTS AND REPAIRS MEET THE MINIMUM REQUIREMENTS FOR STORM DRAINAGE IMPROVEMENTS AND REPAIRS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL NEWLY CONSTRUCTED STORM DRAINAGE IMPROVEMENTS AND REPAIRS MEET THE MINIMUM REQUIREMENTS FOR STORM DRAINAGE IMPROVEMENTS AND REPAIRS.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL NEWLY CONSTRUCTED STORM DRAINAGE IMPROVEMENTS AND REPAIRS MEET THE MINIMUM REQUIREMENTS FOR STORM DRAINAGE IMPROVEMENTS AND REPAIRS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL NEWLY CONSTRUCTED STORM DRAINAGE IMPROVEMENTS AND REPAIRS MEET THE MINIMUM REQUIREMENTS FOR STORM DRAINAGE IMPROVEMENTS AND REPAIRS. THE CONTRACTOR SHALL



WAKE COUNTY, NORTH CAROLINA
PROJECT # 20200915

Description	No.	Date
1. BASE OF BEARINGS	1	4/29/2021
2. ALL DISTANCES SHOWN HEREON ARE HORIZONTAL	2	4/29/2021
3. THE SUBJECT PARCEL SHOWN HEREON LIES IN FLOOD ZONE X	3	4/29/2021
4. THE SUBJECT PARCEL SHOWN HEREON LIES IN FLOOD ZONE X	4	4/29/2021
5. THE SUBJECT PARCEL SHOWN HEREON LIES IN FLOOD ZONE X	5	4/29/2021
6. THE SUBJECT PARCEL SHOWN HEREON LIES IN FLOOD ZONE X	6	4/29/2021
7. THE SUBJECT PARCEL SHOWN HEREON LIES IN FLOOD ZONE X	7	4/29/2021
8. THE SUBJECT PARCEL SHOWN HEREON LIES IN FLOOD ZONE X	8	4/29/2021
9. THE SUBJECT PARCEL SHOWN HEREON LIES IN FLOOD ZONE X	9	4/29/2021

VICINITY

SCALE

ARROW

DATE: 10/02/2020
DRAWN BY: LPT
CHECKED BY: LPT
PROJECT # 20200915

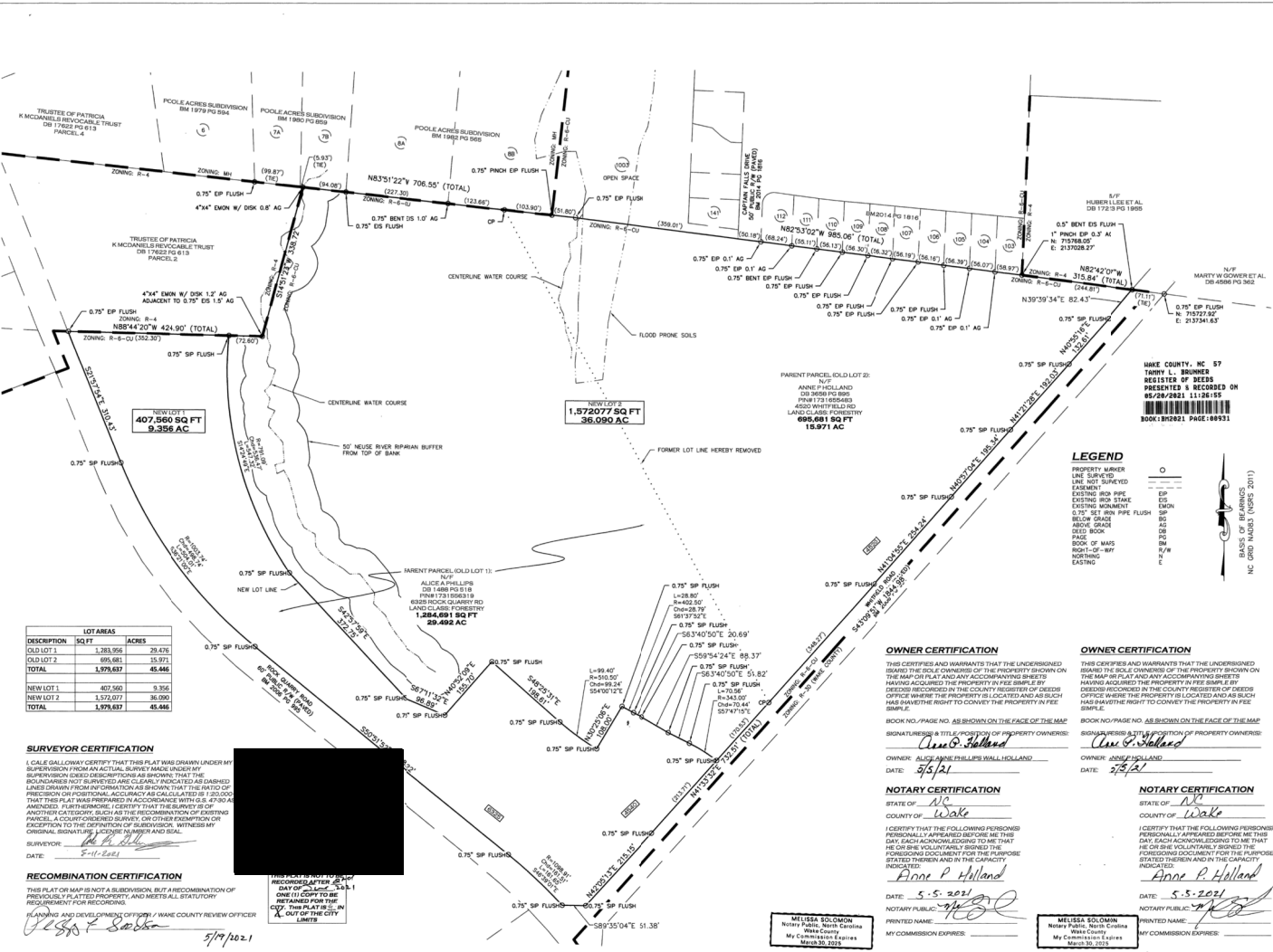
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SHEET NO.



DESCRIPTION	SQ. FT.	ACRES
OLD LOT 1	1,283,956	29.476
OLD LOT 2	895,081	20.571
TOTAL	1,979,037	45.446
NEW LOT 1	407,560	9.356
NEW LOT 2	1,572,077	36.090
TOTAL	1,979,637	45.446

SURVEYOR CERTIFICATION

I, GALE GALLOWAY, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE IN ACCORDANCE WITH THE SURVEYOR'S DEED DESCRIPTIONS AS SHOWN THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS DASHED LINES OR BY OTHER MEANS OF CONVEYANCE. I CERTIFY THAT THE RATIO OF PRECISION OR POSITIONAL ACCURACY AS CALCULATED IS 1:250,000 THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-100 AS AMENDED. FURTHERMORE, I CERTIFY THAT THE SURVEY IS OF ANOTHER CATEGORY, SUCH AS THE RECOMBINATION OF EXISTING PARCELS, A COURT-ORDERED SURVEY, OR OTHER EXEMPTION OR EXCEPTION TO THE DEFINITION OF SUBDIVISION, WITHIN MY PROFESSIONAL LICENSE. I CERTIFY THAT THE SURVEY IS OF ANOTHER CATEGORY, SUCH AS THE RECOMBINATION OF EXISTING PARCELS, A COURT-ORDERED SURVEY, OR OTHER EXEMPTION OR EXCEPTION TO THE DEFINITION OF SUBDIVISION, WITHIN MY PROFESSIONAL LICENSE.

SURVEYOR: *Gale Galloway*
DATE: 5-11-2021

RECOMBINATION CERTIFICATION

THIS PLAT OR MAP IS NOT A SUBDIVISION, BUT A RECOMBINATION OF PREVIOUSLY PLATTED PROPERTY, AND MEETS ALL STATUTORY REQUIREMENTS FOR RECORDING. I, THE PLATTEE, HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY AND THAT I AM NOT PROVIDING THIS PLAT FOR THE PURPOSES OF SUBDIVISION. I, THE PLATTEE, HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY AND THAT I AM NOT PROVIDING THIS PLAT FOR THE PURPOSES OF SUBDIVISION.

OWNER CERTIFICATION

THIS CERTIFICATE AND WARRANTS THAT THE UNDERSIGNED BEARS THE SOLE OWNERSHIP OF THE PROPERTY SHOWN ON THE MAP OR PLAT AND ANY ACCOMPANYING SHEETS HAVING ACQUIRED THE PROPERTY IN FEE SIMPLE BY DEEDS RECORDED IN THE COUNTY REGISTER OF DEEDS OFFICE WHERE THE PROPERTY IS LOCATED AND AS SUCH HAS THE RIGHT TO CONVEY THE PROPERTY IN FEE SIMPLE.

BOOK NO./PAGE NO. AS SHOWN ON THE FACE OF THE MAP: 159/207

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GENERAL NOTES:

1. BASE OF BEARINGS FOR THIS PROJECT WERE ESTABLISHED BY THE VIRTUAL REFERENCE STATION (VRS) IN JANUARY 2021. THE INITIAL VIRTUAL REFERENCE STATION WERE SCALD FROM AN EXISTING PROPERTY MONUMENT HAVING GRID COORDINATES OF N 71°57'27.82" E 21°37'41.87" AND HAVING A COMBINED GRID TO GROUND SCALE FACTOR OF 1.0001054.
2. NO DEDUCTIVE MONUMENT WAS FOUND WITHIN 2000' OF THE PROJECT SITE.
3. ALL DISTANCES SHOWN HEREON ARE HORIZONTAL GROUND MEASUREMENTS IN US SURVEY FEET, UNLESS OTHERWISE NOTED. AREAS ARE BY COORDINATE COMPUTATION.
4. REFERENCES ON THE FACE OF THE MAP WERE ACQUIRED FROM THE WAKE COUNTY REGISTER OF DEEDS.
5. THE SUBJECT PARCEL SHOWN HEREON LIES IN FLOOD ZONE X MINIMAL FLOOD RISK PER FEMA FIRM PANEL 3720173101, EFFECTIVE DATE 08/05/2006.
6. THE SUBJECT PARCEL SHOWN HEREON LIES IN FLOOD ZONE X MINIMAL FLOOD RISK PER WAKE COUNTY GIS.
7. THIS MAP WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO ANY MATTERS THAT A FULL TITLE SEARCH DISCLOSES.
8. AREAS IDENTIFIED AS NEUSE RIVER RIPARIAN BUFFER SHALL BE MAINTAINED IN PERPETUITY IN THEIR NATURAL OR UNIMPAIRED CONDITION. NO PERSON OR ENTITY SHALL FILL, GRADE, EXCAVATE, OR PERFORM ANY OTHER LAND-USE ACTIVITY, INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION OF ANY STRUCTURE, OR ANY OTHER ACTIVITY, THAT WOULD IMPAIR OR HARM ANY VEGETATION, NON-CONSTRUCT ANY STRUCTURES, OR ADD ANY ADDITIONAL IMPROVEMENTS, SURFACE, OR ALLOWANCE, GRADING, OR WATERING, OR ANY OTHER AGRICULTURAL USE ON SUCH PROTECTED AREAS WITHOUT WRITTEN AUTHORIZATION OF THE DIVISION OF WATER RESOURCES OWNER OR COMPLIANCE WITH THE RIPARIAN BUFFER PROTECTION RULES 118A NCAC 2B.0333 OR, CORRE. THIS COVENANT TO RUN WITH THE LAND, AND SHALL BE BINDING ON THE OWNER, AND ALL PARTIES CLAIMING UNDER IT.
9. FLOOD-TONE SOILS REFERENCED FROM WAKE COUNTY GIS.

VICINITY

SCALE

ARROW

DATE: 10/02/2020
DRAWN BY: LPT
CHECKED BY: LPT
PROJECT # 20200915

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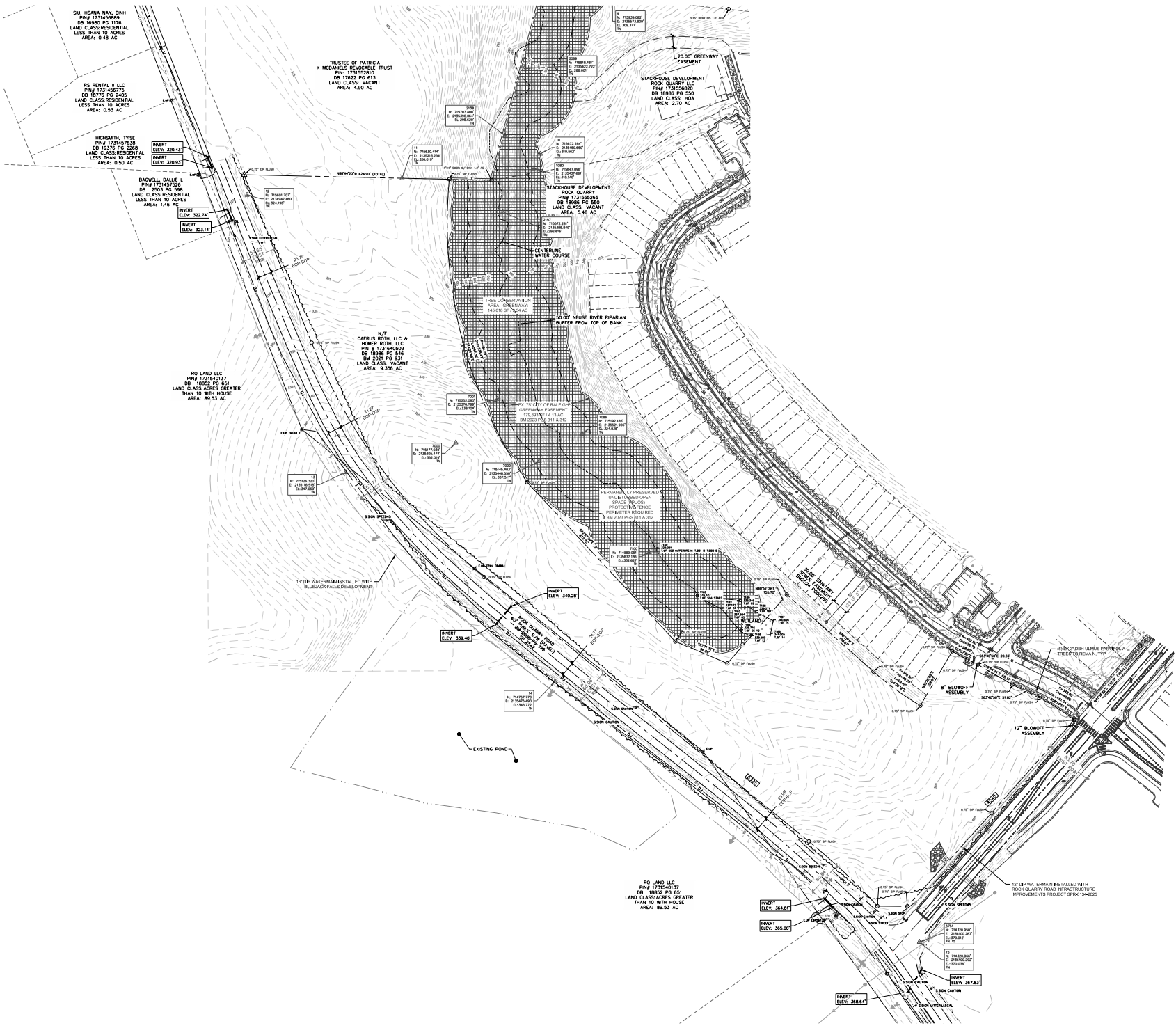
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SHEET NO.



SURVEY LEGEND:

- SURVEY CONTROL POINT
- EXISTING IRON PIPE
- EXISTING CONCRETE MONUMENT
- COMPUTED POINT
- STORM DRAIN MANHOLE
- STORM DRAIN CURB INLET
- SANITARY SEWER MANHOLE
- SANITARY SEWER CLEANOUT
- SANITARY FORCE MAIN VALVE
- HYDRANT
- WATER VALVE
- WATER METER
- WATER MANHOLE
- WATER VAULT
- GAS VALVE
- GAS METER
- TELEPHONE MANHOLE
- TELEPHONE PRESEAL
- TV MANHOLE
- TV PRESEAL
- FIBER OPTIC WITNESS POST
- FIBER OPTIC BOX
- ELECTRIC MANHOLE
- ELECTRIC METER
- ELECTRIC BOX
- UTILITY POLE
- GUY POLE
- GUY WIRE
- LIGHT POLE
- MANHOLE
- TRAFFIC SIGNAL BOX
- TRAFFIC SIGNAL POST
- MONITORING WELL
- BORING LOCATION
- BOLLARD
- SIGN
- FINISHED FLOOR ELEVATION
- DECIDUOUS TREE
- EVERGREEN TREE
- BUSH
- WIRE FENCE
- CHAIN LINK FENCE
- UNDERGROUND TELEPHONE LINE
- UNDERGROUND FIBER OPTIC LINE
- UNDERGROUND GAS LINE
- UNDERGROUND ELECTRIC LINE
- UNDERGROUND WATER LINE
- SANITARY SEWER LINE
- STORM DRAIN LINE
- OVERHEAD WIRE
- UNDERGUTTER LINE
- UNKNOWN DESTINATION
- CONCRETE SURFACE
- DUCTILE IRON PIPE
- PVC
- HDPE
- RCP
- CORRUGATED METAL PIPE
- CATCH BASIN

TREE LEGEND:

- A AMERICAN HONEYLOC
- E EASTERN RED CEDAR
- C CREPE MYRTLE
- S SOUTHERN MAGNOLIA
- B BAY LAGOON
- L Loblolly Pine
- R Red Oak
- EXAMPLE: 100' x 10" RED OAK

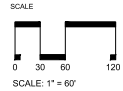
NOTES:

- 1. SEE SHEET C1.0 FOR GENERAL AND EXISTING CONDITIONS NOTES.



No.	Date	Description
1	12/22/2023	DATE: 12/22/2023
2	12/22/2023	DRAWN BY: LPT
3	12/22/2023	CHECKED BY: LPT
4	12/22/2023	APPROVED BY: LPT

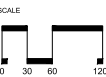
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No.	Date	Comments
1	05.10.2025	COR 1ST REVIEW COMMENTS
2	09.02.2025	COR 2ND REVIEW COMMENTS
3	12.02.2025	COR 3RD REVIEW COMMENTS

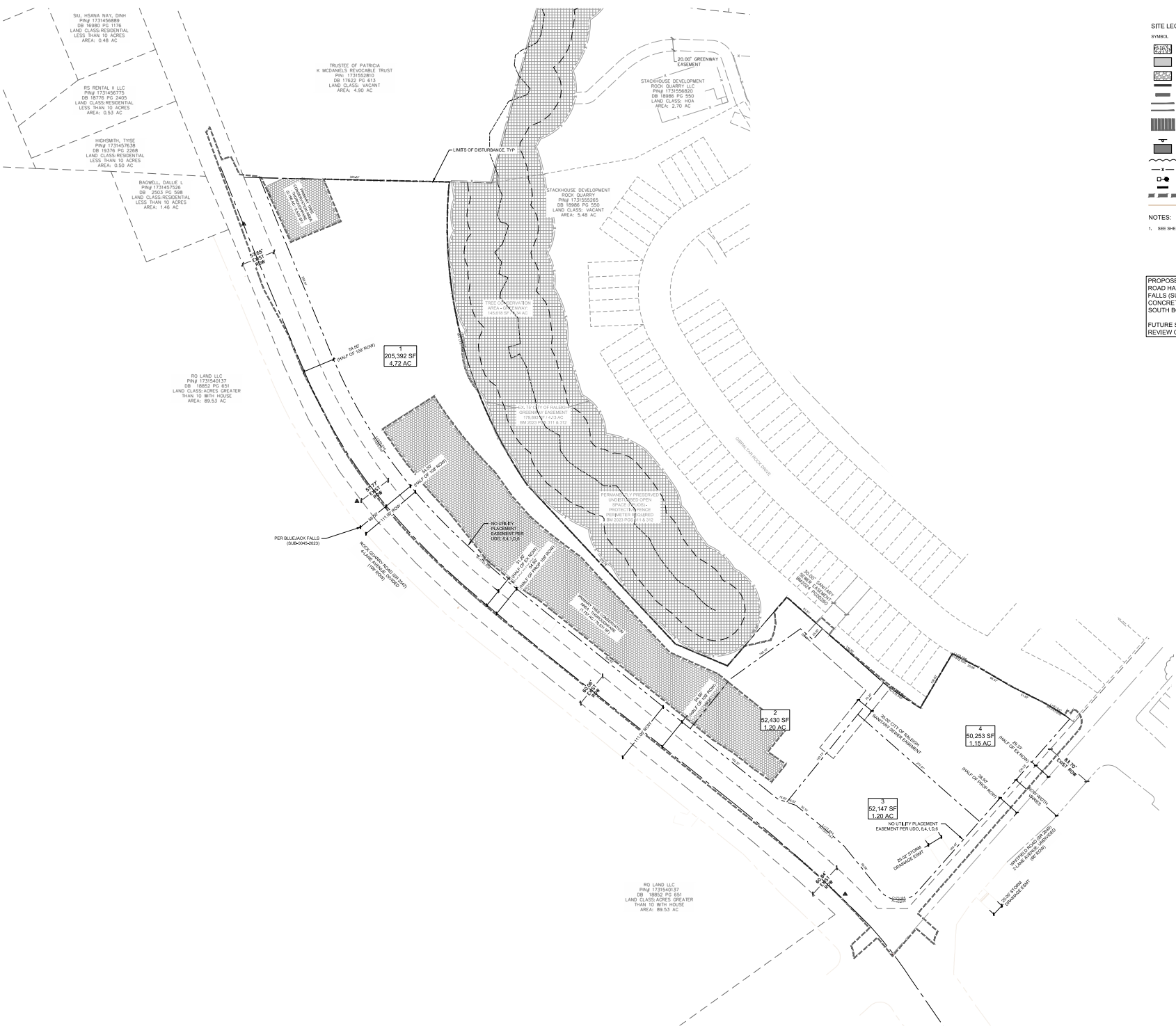
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QUARRY ROAD • COMMERCIAL SUBMISSION

DATE: 12.02.2025
CHECKED BY: LFP
DRAWN BY: LFP
PROJECT: ROCK

C2.00



- SITE LEGEND:**
- | SYMBOL | DESCRIPTION |
|-----------|---|
| [Pattern] | PROPOSED CONCRETE SIDEWALK |
| [Pattern] | PROPOSED HEAVY DUTY PAVEMENT |
| [Pattern] | PROPOSED GRAVEL |
| [Pattern] | PROPOSED CURB & GUTTER |
| [Pattern] | PROPOSED STOP BAR |
| [Pattern] | PROPOSED 8' WIDE STANDARD CROSSWALK |
| [Pattern] | PROPOSED 10' WIDE HIGH VISIBILITY CROSSWALK |
| [Pattern] | PROPOSED SIGN |
| [Pattern] | PROPOSED ASPHALT TRAIL |
| [Pattern] | PROPOSED TREELINE |
| [Pattern] | PROPOSED FENCE |
| [Pattern] | PROPOSED LIGHT |
| [Pattern] | PROPOSED BIKE RACK |
| [Pattern] | LIMITS OF DISTURBANCE |
| [Pattern] | DESIGN BY OTHER |

NOTES:

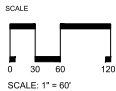
1. SEE SHEET C3.10 FOR GENERAL AND SITE NOTES.

PROPOSED IMPROVEMENTS TO ROCK QUARRY ROAD HAVE BEEN COORDINATED WITH BLUEJACK FALLS (SUB-0045-2023). CONSTRUCTION OF CONCRETE MEDIAN WILL BE REQUIRED ONCE SOUTH BOUND LANES HAVE BEEN COMPLETED.

FUTURE SITE PLAN TO BE SUBMITTED UPON REVIEW OF INITIAL SUBDIVISION SUBMITTAL.

No.	Date	Description
1	12/22/2023	DESIGNED
2	12/22/2023	FOR REVIEW
3	12/22/2023	FOR REVIEW
4	12/22/2023	FOR REVIEW
5	12/22/2023	FOR REVIEW
6	12/22/2023	FOR REVIEW
7	12/22/2023	FOR REVIEW
8	12/22/2023	FOR REVIEW
9	12/22/2023	FOR REVIEW
10	12/22/2023	FOR REVIEW

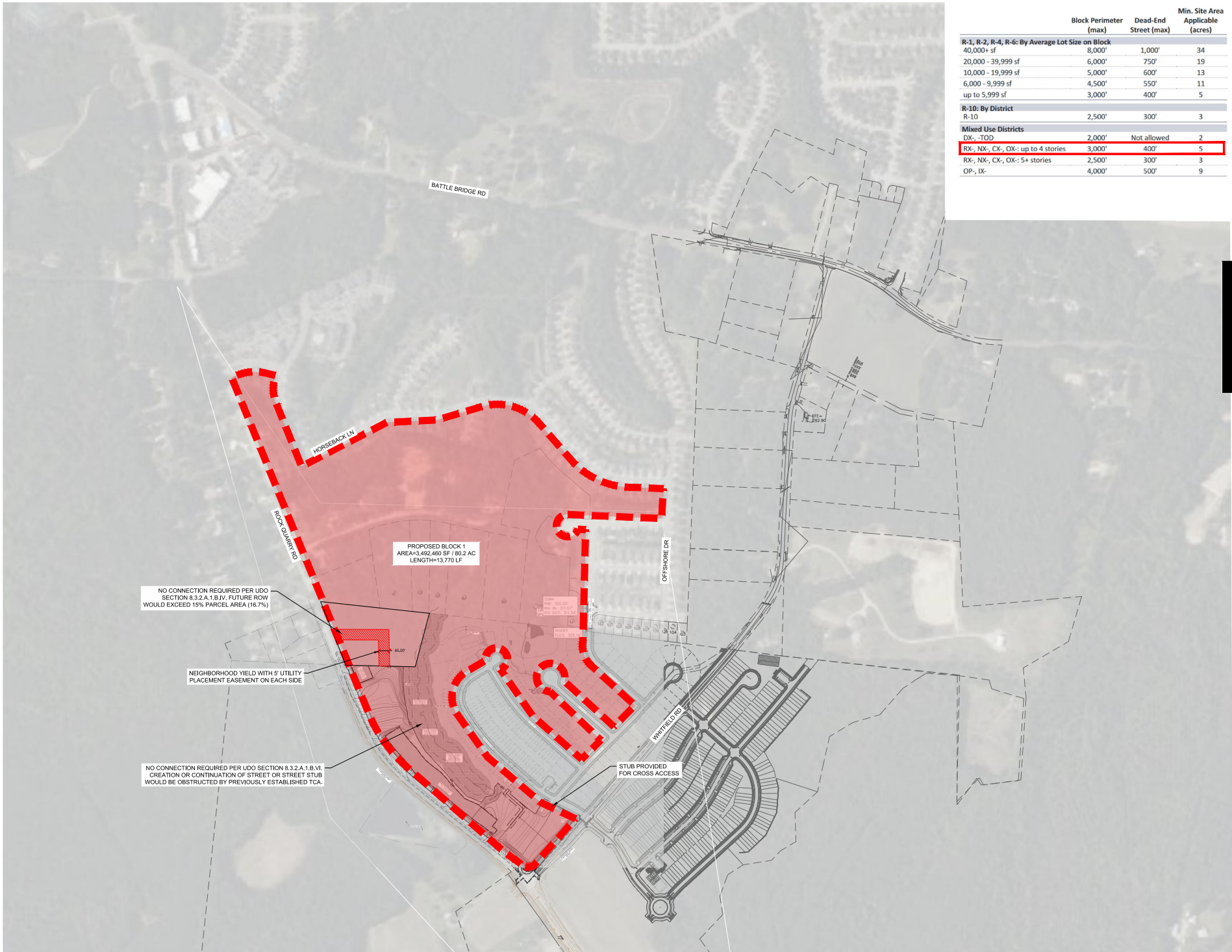
VIENITY



DATE: 12/22/2023
DRAWN BY: LFP
CHECKED BY: LFP
PROJECT # C32023

SWIFT PARTNERS

PROJECT TITLE
C3.10

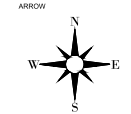
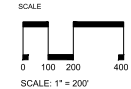


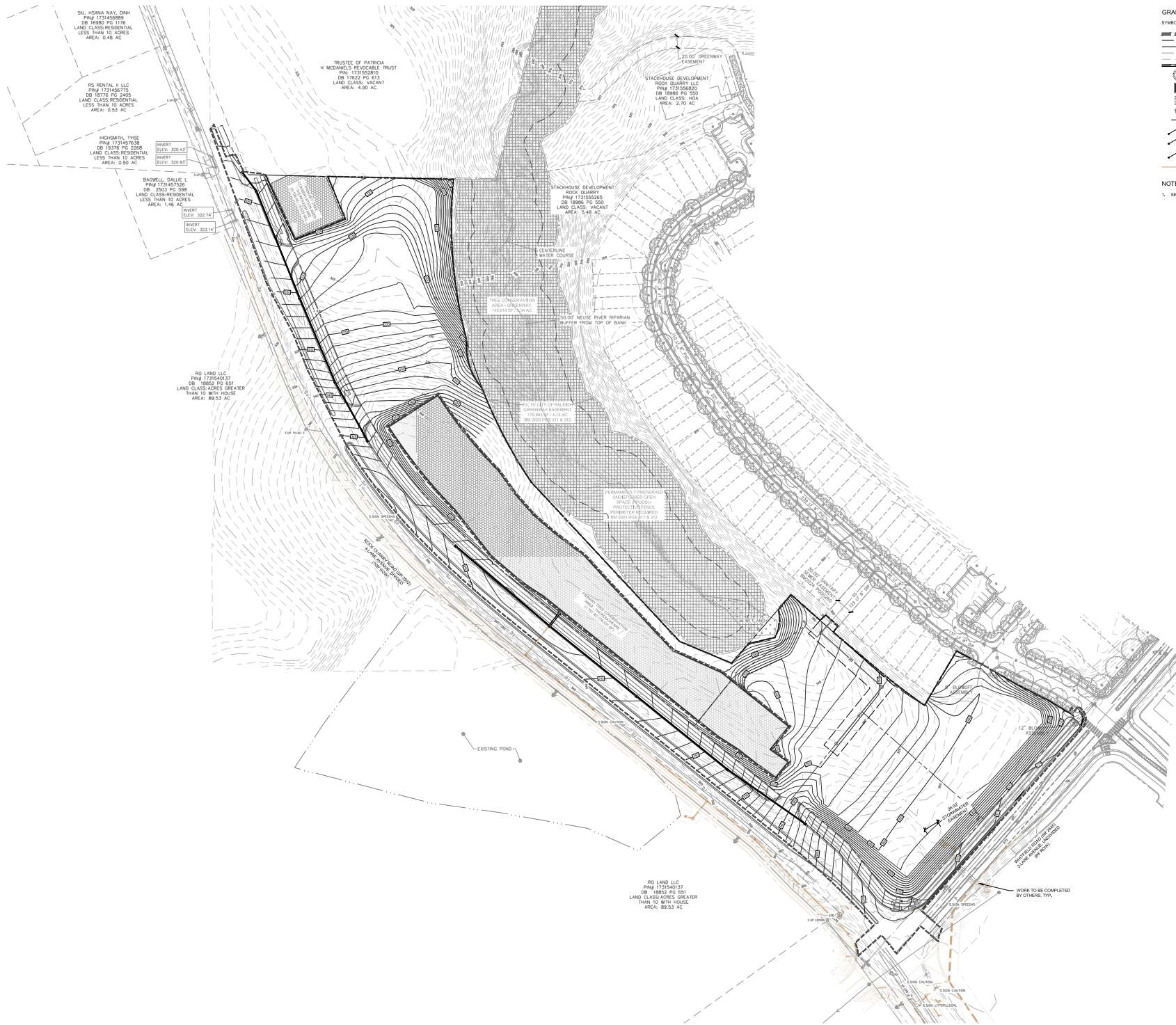
	Block Perimeter (max)	Dead-End Street (max)	Min. Site Area Applicable (acres)
R-1, R-2, R-4, R-6: By Average Lot Size on Block			
40,000+ sf	8,000'	1,000'	34
20,000 - 39,999 sf	6,000'	750'	19
10,000 - 19,999 sf	5,000'	600'	13
6,000 - 9,999 sf	4,500'	550'	11
up to 5,999 sf	3,000'	400'	5
R-10: By District			
R-10	2,500'	300'	3
Mixed Use Districts			
DX, -TOD	2,000'	Not allowed	2
RX, NX, CX, OX: up to 4 stories	3,000'	400'	5
RX, NX, CX, OX: 5+ stories	2,500'	300'	3
OP, IX	4,000'	500'	9



No.	Date	Description
1	10/10/2020	PRELIMINARY
2	10/10/2020	REVISION
3	10/10/2020	REVISION
4	10/10/2020	REVISION
5	10/10/2020	REVISION
6	10/10/2020	REVISION
7	10/10/2020	REVISION
8	10/10/2020	REVISION
9	10/10/2020	REVISION
10	10/10/2020	REVISION

VIENITY



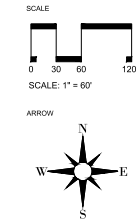


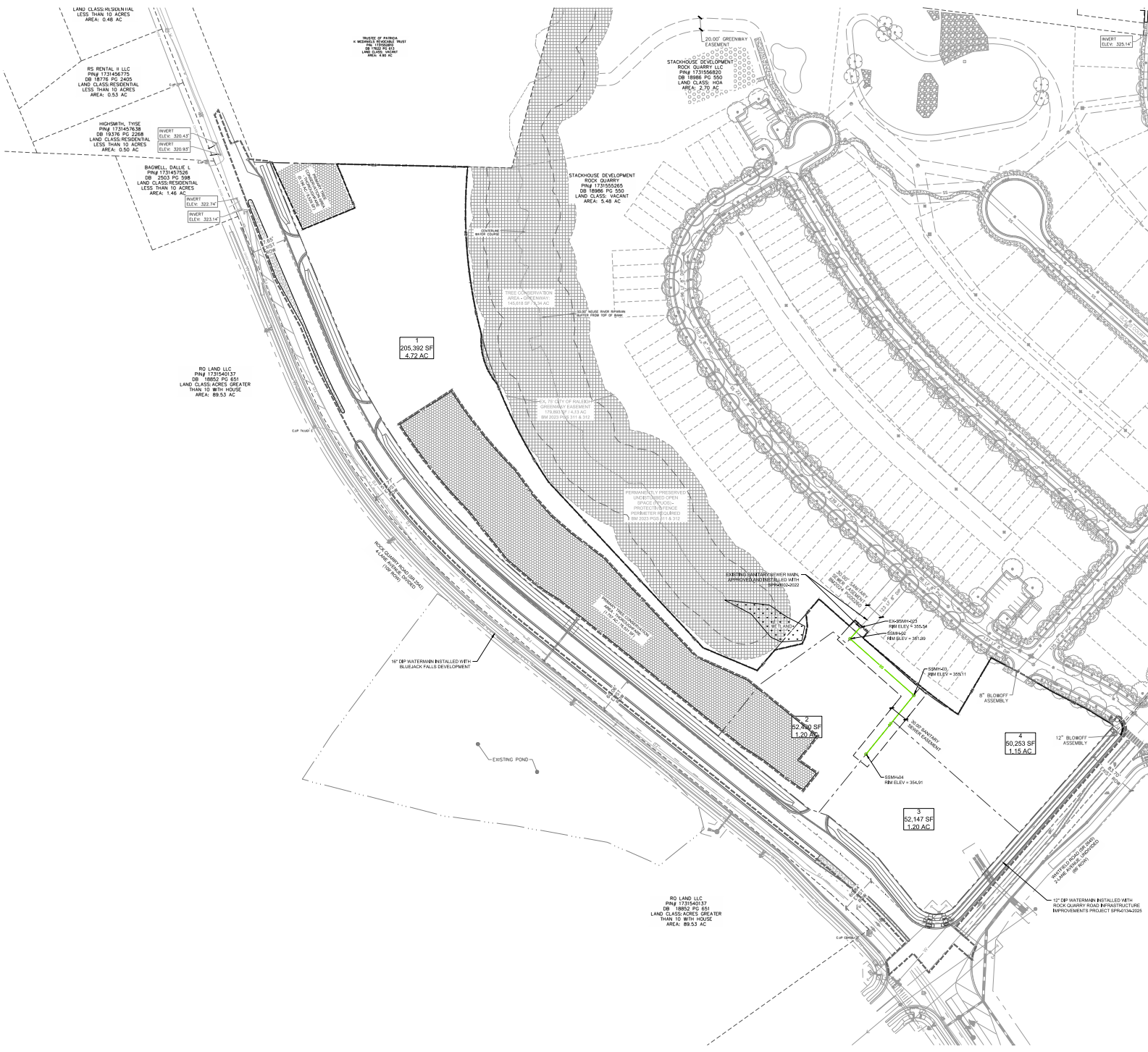
- GRADING LEGEND:**
- | SYMBOL | DESCRIPTION |
|----------|-------------------------|
| [Symbol] | LIMIT OF DISTURBANCE |
| [Symbol] | PROPOSED MAJOR CONTOUR |
| [Symbol] | PROPOSED MINOR CONTOUR |
| [Symbol] | EXISTING MAJOR CONTOUR |
| [Symbol] | EXISTING MINOR CONTOUR |
| [Symbol] | PROPOSED STORM DRAINAGE |
| [Symbol] | PROPOSED JUNCTION BOX |
| [Symbol] | PROPOSED CATCH BASIN |
| [Symbol] | PROPOSED AREA DRAIN |
| [Symbol] | REPAIR DRAINAGE |
| [Symbol] | FLOW DIRECTION |
| [Symbol] | PROPOSED ELEVATION |
| [Symbol] | TOP OF CURB |
| [Symbol] | TOR BOTTOM OF CURB |
| [Symbol] | TOR BOTTOM OF WALL |
| [Symbol] | DESIGN BY OTHER |
- NOTES:**
- SEE SHEET C5.10 FOR GENERAL AND GRADING NOTES.



No.	Date	Description
1	10/10/2020	10/10/2020
2	10/10/2020	10/10/2020
3	10/10/2020	10/10/2020
4	10/10/2020	10/10/2020
5	10/10/2020	10/10/2020
6	10/10/2020	10/10/2020
7	10/10/2020	10/10/2020
8	10/10/2020	10/10/2020
9	10/10/2020	10/10/2020
10	10/10/2020	10/10/2020

VIENITY





UTILITY LEGEND:

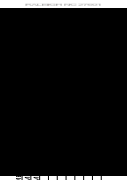
- EXISTING WATER LINE
- PROPOSED WATER LINE
- EXISTING SANITARY SEWER LINE
- PROPOSED SANITARY SEWER LINE
- PROPOSED FIRE HYDRANT
- PROPOSED WATER VALVE
- EXISTING SANITARY SEWER MANHOLE
- PROPOSED SANITARY SEWER MANHOLE
- PROPOSED CLEANOUT
- PROPOSED FOC
- PROPOSED BACKFLOW METER
- PROPOSED POST INDICATOR VALVE (PIV)
- GREASE INTERCEPTOR
- 300' HYDRANT COVERAGE CIRCLE
- LIMITS OF DISTURBANCE

NOTES:

- SEE SHEET C6.1 FOR GENERAL AND UTILITY NOTES.

CITY OF RALEIGH STANDARD UTILITY NOTES:

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS REFERENCE: CORPUS HANDBOOK, CURRENT EDITION.
- UTILITY SEPARATION REQUIREMENTS:
 - A. A DISTANCE OF 10' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN BURIED OR EXPOSED WATER MAIN OR FIRE MAIN. IF NECESSARY LATERAL SEPARATION CANNOT BE ACHIEVED, PERIODIC SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO MAINTAIN THE SEPARATION. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 20' FROM A PRIVATE WELL OR 30' FROM A PUBLIC WELL.
 - B. WHEN INSTALLING WATER FOR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 12" IF THE SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS. THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELLEVATION OF THE WATER MAIN AT LEAST 12" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DEPARTMENT. ALL SEPARATIONS ARE TO BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT.
 - C. WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION OR ANYTIME A WATER MAIN OR SEWER MAIN IS INSTALLED IN A WATER MAIN OR STEEL ENCASUREMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATER MAIN SPECIFICATIONS.
 - D. 12" MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS OTHERWISE SPECIFIED FOR SANITARY SEWER.
 - E. MINIMUM 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM SEWER CROSSINGS. MINIMUM 18" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM SEWER CROSSINGS. WHERE ADEQUATE SEPARATION CANNOT BE MAINTAINED, SPECIAL DETAILS SHALL BE CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUS DETAILS W-41 & W-42).
 - F. ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN AND PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- DEVELOPER SHALL PROVIDE 30 DAYS ADVANCE WRITTEN NOTICE TO OWNER FOR ANY WORK REQUIRED WITHIN AN EXISTING CITY OF RALEIGH UTILITY EASEMENT TRAVELING PRIVATE PROPERTY.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A SUFFICIENT ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- SEWER BYPASS PUMPING - A BYPASS PLAN SEALED BY AN NC PROFESSIONAL ENGINEER SHALL BE PROVIDED TO RALEIGH PRIOR TO PUMPING OPERATIONS FOR APPROVAL. THE OPERATIONS AND EQUIPMENT SHALL COMPLY WITH THE PUBLIC UTILITIES HANDBOOK.
- 3/2" MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 4" MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- IF THE CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES DEPARTMENT DETERMINES THAT A SEWER SERVICE NOT BEING USED IN REDEVELOPMENT OF A SITE CAUSES OPERATIONS OF THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT - THE INCLUDES ABANDONING TAP AT RISK & REMOVAL OF SERVICE FROM RISK ON DRAINAGE PER CORPUS HANDBOOK PROCEDURES.
- INSTALL WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE IT IS THE APPLICANT'S RESPONSIBILITY TO PROTECT, & MAINTAIN THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
- INSPECTIONS OF 4" AND UNDER WATER MAINS OF THE PRIVATE DISTRIBUTION SYSTEM WILL BE RESPECTED AS PART OF THE INFRASTRUCTURE PERMIT.
- PRIVATE SEWER MAINS AS PART OF A COLLECTION SYSTEM ARE PERMITTED AND INSPECTED UNDER THE PRIVATE INFRASTRUCTURE PERMIT FOR SEWER.
- ANY WATER OR SEWER SERVICES ON PRIVATE PROPERTY THAT WILL BE INSTALLED UNDER CONSTRUCTION DRAWINGS MAY REQUIRE A PLUMBING UTILITY PERMIT BY THE CITY OF RALEIGH. CONSULT WITH THE ENGINEERING INSPECTION COORDINATOR DURING THE PRE-CONSTRUCTION MEETING ON THE NECESSARY PERMITS.
- INSTALL SEWER SERVICES WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & PRICED PER THE CURRENT NC PLUMBING CODE.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKFLOW VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 12" ABOVE THE NEXT UPSTREAM MANHOLE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NC DNR. USACE & RFP PERMITS FOR ANY REPAIRS BUFFER, VIOLATION & RCP FLOODING IMPACTS RESPECTIVELY PRIOR TO CONSTRUCTION.
- NC DOT / ROADWAY ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK INCLUDING MAY EXTENDING & SERVICE TAP(S) WITHIN STATE OR PARKING ROW PRIOR TO CONSTRUCTION.
- GREASE INTERCEPTOR / OIL WATER SEPARATOR BEING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE SWP PROGRAM COORDINATOR PRIOR TO INSTALLATION OF A LUG AND/OR BUILDING PERMIT. CONTACT THE SWP PROGRAM COORDINATOR FOR MORE INFORMATION.
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON THE DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX B OF THE RULES COVERING PUBLIC WATER SYSTEMS IN NORTH CAROLINA.
- THE DEVICES SHALL MEET THE AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS AND BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST.
- THE DEVICE AND INSTALLATION SHALL MEET THE GUIDELINES OF APPENDIX A - GUIDELINES AND REQUIREMENTS FOR THE CROSS CONNECTION PROGRAM IN RALEIGH'S SERVICE AREA.
- THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS ON THE LOCAL CROSS CONNECTION CONTROL PROGRAM. HANDBOOK & NC DOT SPECIFICATIONS. CONTACT THE SWP PROGRAM COORDINATOR FOR MORE INFORMATION.
- NOTES FOR PROJECTS THAT INVOLVE AN OVERSIZED MAIN OR URBAN MAIN REPLACEMENT, ANY CITY REQUIREMENT GREATER THAN \$250,000.00 MUST UNDERGO THE PUBLIC WORKS PROCESS.
- PRIVATE SUBMETERING - NO RESALE OF WATER SHALL OCCUR WITHOUT APPROVAL OF THE NORTH CAROLINA UTILITY COMMISSION. SUBMETERING SHALL BE IN ACCORDANCE WITH SECTION 1405 OF THE STATE CREDITING WATER ACT.



No.	Date	Description
1	12/22/2023	DATE: 12/22/2023
2	12/22/2023	DRAWN BY: L.P.P.
3	12/22/2023	PROJECT: C6.00
4	12/22/2023	PROJECT: C6.00
5	12/22/2023	PROJECT: C6.00
6	12/22/2023	PROJECT: C6.00
7	12/22/2023	PROJECT: C6.00
8	12/22/2023	PROJECT: C6.00
9	12/22/2023	PROJECT: C6.00
10	12/22/2023	PROJECT: C6.00
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21	12/22/2023	PROJECT: C6.00
22	12/22/2023	PROJECT: C6.00
23	12/22/2023	PROJECT: C6.00
24	12/22/2023	PROJECT: C6.00
25	12/22/2023	PROJECT: C6.00

