



Administrative Approval Action

Case File / Name: SUB-0056-2023
DSLCL - Parc Vue

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

- LOCATION:** This 5.52 acre site zoned RX-4-PL CU (Z-41-19) is located on the northwest corner of the intersection of North Hills Drive and Millbrook Road at 714, 716, and 724 Millbrook and 5825 North Hills Drive.
- REQUEST:** This is a conventional 28 lot townhome subdivision consisting of 26 residential lots, one HOA lot and another open lot labeled for future development.
- DESIGN ADJUSTMENT(S)/ALTERNATES, ETC:** N/A
- FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated April 3, 2024 by Pinellas Corporation.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

SITE PERMITTING REVIEW - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

1. Correction of cover sheet (see C0.00) The section entitled Z-41-19 should be amended to read TCZ-33-22 (8/11/22)
2. On the SPR plans please add a note clarifying ownership of the proposed 0.64 acre Future Phase 2 lot on the south side of the development. The note shall state whether it will be owned and managed by the proposed homeowner's association or reserved by the property owner for future developme

Public Utilities

3. The New Sanitary Sewer Lines must be built, tested, and accepted before the existing sewer can be abandoned. A note of this should be added to the Utility sheets.

Stormwater

4. The State of North Carolina shall approve any proposed disturbance within the riparian buffer prior to the issuance of any grading or site permit (UDO 9.2.3.E).
5. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).



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6. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
7. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).

Urban Forestry

8. Submit a final tree conservation plan that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required (UDO 9.1.5).
9. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.

LEGAL DOCUMENTS - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Right of Way Deed of Easement Required
<input checked="" type="checkbox"/>	Public Access Deed of Easement Required

<input checked="" type="checkbox"/>	Transit Deed of Easement Required
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RECORDED MAP(S) - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

General

1. Demolition permits shall be issued and building permit numbers shown on all maps for recording.
2. Street names for this development shall be approved by the Raleigh GIS Division and by Wake County.
3. Provide documentation indicating a Property Owner's Association has been established for the subject development.

Engineering



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4. A public street right-of-way deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
5. A public infrastructure surety shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.
6. A public access deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

Stormwater

7. The riparian buffers, in accordance with the preliminary plan and the State of North Carolina regulations, shall be shown on plats for recording along with required buffer statement (Recorded Map Checklist).
8. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
9. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
10. If demolition causes a land disturbance of more than 12,000 sf, a mass grading permit will be required. (UDO 9.4.6)
11. The maximum allocated impervious area for all applicable lots in the subdivision should be identified on all maps for recording.
12. The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office (UDO 9.2.2.G).

Transportation



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13. A transit deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

Urban Forestry

14. A public infrastructure surety for 14 street trees along Shelley Retreat Lane, 22 street trees along Public Street B, and 15 street trees along North Hills Drive. shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.
15. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1). This development proposes .43 acres of tree conservation area.

BUILDING PERMITS - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

Engineering

1. A Traffic Control and Pedestrian (TCPED) Plan must be approved and a right-of-way occupancy permit must be obtained from Right-of-way Services for any construction activities within the right-of-way.

Urban Forestry

2. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1).
3. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 14 street trees along Shelley Retreat Lane, 22 street trees along Public Street B, and 15 street trees along North Hills Drive.

The following are required prior to issuance of building occupancy permit:

General

1. Final inspection of all tree conservation areas and right of way street trees by Urban Forestry Staff



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Stormwater

2. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).
3. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

EXPIRATION DATES: If significant construction has not taken place on a project after preliminary subdivision approval, that approval may "sunset" and be declared void, requiring re-approval before permits may be issued. To avoid allowing this preliminary approval to "sunset", the following must take place by the following dates:

3-Year Sunset Date: June 7, 2027
Record at least $\frac{1}{2}$ of the land area approved.

5-Year Sunset Date: June 7, 2029
Record entire subdivision.

I hereby certify this administrative decision.

Signed: _____  _____ Date: 06/07/2024
Development Services Dir/Designee
Staff Coordinator: Michael Walters

VERTICAL DATUM - NAVD83
HORIZONTAL DATUM - NAD83

RALEIGH, NC

PARC VUE PHASE 1

SUB-0056-2023

PRELIMINARY SUBDIVISION DRAWINGS FOR A TOWNHOUSE DEVELOPMENT



CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING OF ANY EXCAVATION. EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE AND ALL ARE NOT SHOWN.

NOTE: ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NC DOT STANDARDS AND SPECIFICATIONS.

SUB-0056-2023

PHASE 1 PROJECT STATISTICS

DEVELOPER NORTH HILLS INVESTMENT PARTNERS LLC
8311 BANDFORD WAY, SUITE 7
RALEIGH NC, 27615

PIN	OWNER	DEED BOOK	DEED PAGE	SURVEY ACRES	SURVEY ACRES	SITE ADDRESS	ZONING
1706-17-1294	NORTH HILLS INVESTMENT PARTNERS LLC	18079	742	26,572	0.61	724 W MILLBROOK RD	RS-4-PL-CU
1706-17-3240	NORTH HILLS INVESTMENT PARTNERS LLC	18079	739	26,134	0.60	716 W MILLBROOK RD	RS-4-PL-CU
1706-17-3253	NORTH HILLS INVESTMENT PARTNERS LLC	18079	738	26,136	0.60	714 W MILLBROOK RD	RS-4-PL-CU
1706-17-5188	NORTH HILLS INVESTMENT PARTNERS LLC	17869	1448	163,680	3.71	5825 NORTH HILLS DR	RS-4-PL-CU
TOTAL				246,481	6.52		

EXISTING USE SINGLE FAMILY RESIDENTIAL AND VACANT
 PROPOSED USE SINGLE FAMILY ATTACHED TOWNHOMES
 PROPOSED BUILDING TYPE TOWNHOMES
 TOTAL NUMBER OF UNITS PROPOSED 26
 RIVER BASIN NEUSE
 FEMA FLOOD PANEL THIS SITE CONTAINS FEMA DESIGNATED FLOOD ZONES 1706J

AREA CALCULATIONS

GROSS AREA OF SITE	246,493 SF	6,523 AC
AREA IN PUBLIC RIGHT-OF-WAY DEDICATION ALONG NORTH HILLS DRIVE	4,946 SF	0.114 AC
AREA IN SITE DEDICATED PUBLIC RIGHT-OF-WAY	30,526 SF	1,160 AC
AREA RESERVED IN HOA LOT FOR FUTURE DEVELOPMENT OF PHASE 2	27,874 SF	0,640 AC
NET SITE AREA	157,247 SF	3,610 AC
AREA IN TOWNHOUSE LOTS	59,962 SF	1,377 AC
AREA IN OPEN SPACE	82,938 SF	1,904 AC
AREA IN PRIVATE ALLEY EASEMENTS	16,761 SF	0,385 AC
MINIMUM LOT AREA IN THE R-X ZONING DISTRICT FOR AN APARTMENT TYPE BUILDING	3,300 SF	0,076 AC
OUTDOOR AMENITY AREA REQUIRED	15,725 SF	0,361 AC
OUTDOOR AMENITY AREA PROVIDED	16,186 SF	0,372 AC
TREE CONSERVATION AREA BASED ON GROSS AREA - RIGHT OF WAY DEDICATION	185,123 SF	4,259 AC
TREE CONSERVATION AREA REQUIRED	18,512 SF	0,425 AC
TREE CONSERVATION AREA PROVIDED	18,730 SF	0,430 AC

MAXIMUM BUILDING HEIGHT SEE Z-41-19 ZONING CONDITIONS #5

PARKING CALCULATIONS

MULTI-UNIT LIVING TOWNHOUSE BUILDING TYPE		
VEHICLE MAXIMUM		NO MAXIMUM
SHORT TERM BICYCLE MINIMUM		NO MINIMUM
LONG TERM BICYCLE MINIMUM		NO MINIMUM

BUILDING SETBACK AND BUILT-TO REQUIREMENTS

BUILDING SETBACKS	REQUIREMENTS	PROVIDED
FROM PRIMARY STREET (MIN.)	10 FT	20 FT
FROM SIDE STREET (MIN.)	10 FT	10 FT
FROM SIDE LOT LINE (MIN.)	10 FT	9 FT
FROM REAR LOT LINE (MIN.)	20 FT	3 FT
FROM ALLEY	4' OR 20'	4 FT

BUILT-TO SEE BUILT-TO REQUIREMENTS OF THE PARKING LIMITED FRONTAGE FOR THIS ZONING DISTRICT

PARKING LIMITED (PL) REQUIREMENTS

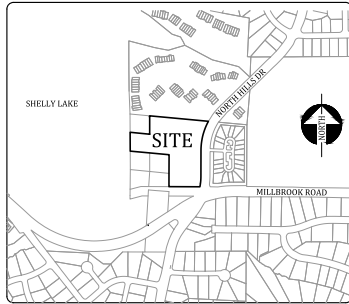
BUILD-TO	REQUIRED	PROVIDED
PRIMARY ST + NORTH HILLS DR. LENGTH OF FRONTAGE = 423 LF		
PRIMARY STREET BUILT-TO MIN (ALONG NORTH HILLS DRIVE)	100 FT	5 FT
PRIMARY STREET BUILT-TO MAX (ALONG NORTH HILLS DRIVE)	100 FT	100 FT
BUILDING WIDTH IN PRIMARY BUILT-TO MINIMUM	50% (212 LF)	63%
SIDE STREET BUILT-TO MINIMUM (N/A FOR THIS PROJECT)	0 FT	10 FT
SIDE STREET BUILT-TO MAXIMUM (N/A FOR THIS PROJECT)	100 FT	100 FT
BUILDING WIDTH IN SIDE BUILT-TO MINIMUM	25%	25%

PHASE 1 IMPERVIOUS CALCULATIONS

STREETS/PARKING	42,746 SF	0.98 AC
SIDEWALK	13,180 SF	0.30 AC
DRIVEWAYS	9,243 SF	0.21 AC
BUILDINGS	35,394 SF	0.81 AC
TOTAL	100,663 SF	2.31 AC

GENERAL NOTES:

- BOUNDARY INFORMATION TAKEN FROM A SURVEY BY THIS OFFICE.
- SITE TOPOGRAPHIC INFORMATION IS TAKEN FROM A SURVEY BY THIS OFFICE.
- PLANIMETRIC DATA IS TAKEN FROM A COMBINATION OF A SURVEY BY THIS OFFICE AND 2017 AERIAL PHOTOS FROM WAKE COUNTY.
- WETLAND AND STREAM BUFFERS NOT LOCATED ON THESE PROPERTIES.
- ALL MATERIALS AND CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE CITY OF RALEIGH, NC DOT, AND NC DOT STANDARDS AND SPECIFICATIONS.
- FEMA FLOOD ZONES ARE LOCATED ON THIS SITE.
- NO INFRASTRUCTURE TO BE CONSTRUCTED PRIOR TO CONSTRUCTION PLAN APPROVAL AND UTILITY PERMIT ISSUANCE BY THE TOWN OF WAKE COUNTY, THE CITY OF RALEIGH, PUBLIC UTILITIES, DEPARTMENT AND NC DOT. EXISTING UTILITIES SHOWN ARE APPROXIMATE. CONTRACTOR RESPONSIBLE FOR LOCATION OF ALL EXISTING ABOVE AND BELOW GROUND UTILITY FIELD LOCATION PRIOR TO ANY CONSTRUCTION.
- STRUCTURAL DESIGN OF ALL RETAINING WALLS TO BE PERFORMED BY OTHERS. RETAINING WALLS SHOWN ON THESE PLANS ARE FOR APPROXIMATE LOCATION PURPOSES ONLY.
- THE PRIMARY STREET FOR THIS PROJECT IS NORTH HILLS DRIVE.
- THE SITE WILL RECEIVE PRIVATE WASTE COLLECTION.



VICINITY MAP 1"=500'

SHEET #	SHEET TITLE
C0.00	COVER SHEET
C1.00	EXISTING CONDITIONS & DEMOLITION PLAN
G1.00	GENERAL NOTES AND LEGENDS
C2.00	PRELIMINARY SITE LAYOUT & TRANSPORTATION PLAN
C3.00	PRELIMINARY SITE UTILITY PLAN
C3.01	FIRE APPARATUS ACCESS PLAN
C4.00	PRELIMINARY GRADING & DRAINAGE PLAN
C4.01	PRELIMINARY RETAINING WALL PLAN
C4.20	OFFSITE CHANNEL LINING IMPROVEMENTS
C5.00	PRELIMINARY STORMWATER MANAGEMENT PLAN
C7.00	EXISTING STRIPING FOR NORTH HILLS DRIVE
C7.01	STRIPING AND WIDENING PLAN FOR NORTH HILLS DRIVE
LS1.00	PRELIMINARY CODE COMPLIANT LANDSCAPE PLAN
LS2.00	PRELIMINARY TREE CONSERVATION PLAN
LT1.00	PRELIMINARY SITE LIGHTING PLAN

OWNER / DEVELOPER:

NORTH HILLS INVESTMENT PARTNERS, LLC

C/O PINELLAS CORPORATION
8321 BANDFORD WAY SUITE 105, RALEIGH, NORTH CAROLINA 27615
(919) 971-9643 | J.LASSITER@PINELLASCORP.COM

PLANS PREPARED BY:

PRIEST, CRAVEN & ASSOCIATES, INC.

PLANNERS / LANDSCAPE DESIGNERS / SURVEYORS / ENGINEERS
3803 - B COMPUTER DRIVE, SUITE 104, RALEIGH, N.C. 27609
PHONE 919 / 781-0300 FAX 919 / 782-1288
EMAIL PCA@PRIESTCRAVEN.COM FIRM# C-0488

Preliminary Subdivision Application

Site Review

Bring to Development Customer Service Center - One Centenary Place, Suite 402 | Raleigh, NC 27601 | 919-986-2200

INSTRUCTIONS: This form is used when submitting a Preliminary Subdivision (UDO Section 10.2.5). Please check the appropriate review type and include the plan checklist document. Please email all documents and your preliminary subdivision plans to SubDiv@raleighnc.gov.

DEVELOPMENT OPTIONS (UDO Chapter 2)	
<input checked="" type="checkbox"/> Conventional Subdivision	<input type="checkbox"/> Compact Development
<input type="checkbox"/> Cottage Lot	<input type="checkbox"/> Flag lot
<input type="checkbox"/> Subdivisions may require City Council approval if located in a Historic Overlay District	<input type="checkbox"/> Frequent Transit Development Option

GENERAL INFORMATION	
Scoping/attach plan case number(s):	SCOPE:0101-2023
Development name (subject to approval):	Phase 1 Vuo
Property Address(es):	724 W MILLBROOK RD, 716 W MILLBROOK RD, 714 W MILLBROOK RD, 5825 NORTH HILLS DR
Recorded Deed PIN(s):	1706-17-1294, 1706-17-3349, 1706-17-3253, 1706-17-5188
Building type(s):	<input type="checkbox"/> Detached House <input type="checkbox"/> Attached House <input checked="" type="checkbox"/> Townhouse <input type="checkbox"/> Apartment
<input type="checkbox"/> General Building <input type="checkbox"/> Mixed Use Building <input type="checkbox"/> Civic Building <input type="checkbox"/> Open Lot <input type="checkbox"/> Toy House	

CURRENT PROPERTY OWNER/APPLICANT/DEVELOPER INFORMATION

Current Property Owner(s) Name: Joseph Lassiter (Owner and Developer)
 Company: NORTH HILLS INVESTMENT PARTNERS LLC Title: Development Manager
 Address: 8321 Bandford Way, Suite 105, Raleigh, NC 27615
 Phone #: 919-971-9643 Email: jlassiter@pinellascorp.com
 Applicant Name (if different from owner. See "who can apply" in instructions):
 Relationship to owner: Lessee or contract purchaser Owner's authorized agent Easement holder
 Company: Same as Owner Address: Same as Owner
 Phone #: Same as Owner Email: Same as Owner
 NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.
 Developer Contact Name(s): Ben Williams
 Company: Priest, Craven & Associates, Inc Title: Project Manager
 Address: 3803B Computer Drive, Suite 104, Raleigh, NC 27609
 Phone #: 919-781-0300 Email: benwilliams@priestcraven.com

Z-41-19 ZONING CONDITIONS:

- THE MAXIMUM NUMBER OF DWELLING UNITS PERMITTED ON THE PROPERTY SUBJECT TO THIS REZONING ORDINANCE SHALL BE 07 DWELLING UNITS.
- COMPLIANCE STATEMENT - THIS SUBDIVISION PLAN PROPOSES 26 UNITS.
- THE FOLLOWING PRINCIPAL USES AS DEFINED IN UDO SECTION 6.1, 4 ALLOWED PRINCIPAL USE TABLE SHALL BE PROHIBITED: DORMITORY, FRATERNITY, SORORITY, SCHOOL, PUBLIC OR PRIVATE (K-12), DAY CARE, OFFICE, MEDICAL, OUTDOOR RECREATION, BED AND BREAKFAST, HOSPITALITY HOUSE, REMOTE PARKING LOT, PERSONAL SERVICE, EATING ESTABLISHMENT, RETAIL SALES.
- COMPLIANCE STATEMENT - THIS SUBDIVISION PLAN PROPOSES ONLY RESIDENTIAL USES.
- THE PORTION OF THE PROPERTY LOCATED ON THE SOUTH SIDE OF W MILLBROOK ROAD SHALL BE SUBJECT TO ACTIVE TREE PRESERVATION, EXCEPT FOR THOSE AREAS ENCLOSED BY EXISTING DEVELOPED OR DEVELOPING AREAS.
- COMPLIANCE STATEMENT - THIS CONDITION WAS REMOVED PER TCZ-33-22.
- NO BUILDING DEVELOPED ON THE PROPERTY SHALL CONTAIN MORE THAN THREE STORIES OF HABITABLE SPACE.
- COMPLIANCE STATEMENT - THE TOWNHOUSE BUILDINGS ON THIS SUBDIVISION PLAN PROPOSE ONLY 3 STORIES OR LESS OF HABITABLE SPACE.
- A BUILDING MAY HAVE FOUR STORIES ONLY IF (I) AT LEAST ONE STORY IS USED EXCLUSIVELY FOR NON-HABITABLE SPACE, INCLUDING BUT NOT LIMITED TO PARKING, STORAGE, MECHANICAL EQUIPMENT, OR WASTE COLLECTION, AND (II) THE GROUND FLOOR ELEVATION OF THE LOWEST STORY IS BELOW THE AVERAGE GRADE AS MEASURED ALONG NORTH HILLS DRIVE.
- COMPLIANCE STATEMENT - THE TOWNHOUSE BUILDINGS WILL BE THREE STORIES OR LESS AND LESS THAN 30' TALL. THIS CONDITION APPLIES TO THAT PORTION OF THE PROPERTY MEASURING AT LEAST 20 FEET IN WIDTH AS MEASURED ALONG THE PROPERTY'S COMMON BOUNDARY LINE WITH THAT PARCEL IDENTIFIED AS "COMMON AREA" ON THE PLAN RECORDED IN BOOK OF MAPS 1974, PAGE 474 (PIN 1706-17-6717) (THE "NORTHERN TRANSITION AREA"). FOR THOSE PORTIONS OF THE NORTHERN TRANSITION AREA WHERE LAND DISTURBING ACTIVITY OCCURS, SUCH AREAS SHALL BE REPLANTED AT THE FOLLOWING RATE: FIVE (5) SHADE TREES, FOUR (4) UNDERSTORY TREES AND TWENTY (20) SHRUBS PER 100 LINEAR FEET.
- COMPLIANCE STATEMENT - THE NORTHERN PROPERTY LINE PROPOSES PRESERVED TREE CONSERVATION AREA AND WHERE TREE CONSERVATION AREA IS NOT PROPOSED, WE ARE PROVIDING THE 20' BUFFER AREA WITH THE LISTED PLANTINGS AS SHOWN ON THE LANDSCAPE PLAN.
- ONE OF THE FOLLOWING PLANTING SCHEDULES SHALL APPLY TO THE PROPERTY'S FRONTAGE ALONG THE NORTH HILLS DRIVE RIGHT-OF-WAY:
 - IN THE EVENT THE POWER LINE IS LOCATED BELOW GROUND: 4 SHADE TREES, 2 UNDERSTORY TREES AND 15 SHRUBS PER 100 LINEAR FEET, WITHIN AN AREA MEASURING AN AVERAGE OF 15 FEET FROM THE RIGHT-OF-WAY OF NORTH HILLS DRIVE (BUT IN NO EVENT LESS THAN 10 FEET WIDE), ANY STREET TREES REQUIRED ALONG NORTH HILLS DRIVE, EVEN IF PLANTED WITHIN THE RIGHT-OF-WAY, SHALL CONTINUE TOWARD THE REQUIRED NUMBER OF SHADE TREES.
 - IN THE EVENT THE POWER LINE IS LOCATED ABOVE GROUND: 6 UNDERSTORY TREES AND 15 SHRUBS PER 100 LINEAR FEET, WITHIN AN AREA MEASURING AN AVERAGE OF 15 FEET FROM THE RIGHT-OF-WAY OF NORTH HILLS DRIVE (BUT IN NO EVENT LESS THAN 10 FEET WIDE), ANY STREET TREES REQUIRED ALONG NORTH HILLS DRIVE, EVEN IF PLANTED WITHIN THE RIGHT-OF-WAY, SHALL CONTINUE TOWARD THE REQUIRED NUMBER OF UNDERSTORY TREES.
- COMPLIANCE STATEMENT - THE CURRENT PLAN IS TO COMPLY WITH 7A. BECAUSE DUNE VEGETATION WILL BE LOCATING THE POWER UNDERGROUND ALONG THE FRONTAGE.
- FOR THOSE PROPERTIES IDENTIFIED AS LOT 38, LOT 37 AND LOT 36, THERE SHALL BE NO PRINCIPAL BUILDING LOCATED WITHIN 215 FEET OF THE SHELLY LAKE PROPERTY (PIN 1706-08-7302).
- COMPLIANCE STATEMENT - NO TOWNHOMES ARE LOCATED CLOSER THAN 250' AWAY FROM THE PROPERTY LINE REFERENCED IN CONDITION #8.
- AS PART OF THE FIRST DEVELOPMENT PLAN FOR THE PROPERTY, THE DEVELOPER SHALL PROPOSE TO PROVIDE LEFT TURN Lanes ON NORTH HILLS DRIVE TO SERVE MILL GREENS COURT AND THE SITE ACCESS FOR THE DEVELOPMENT ON THE SUBJECT PROPERTY, SUBJECT TO APPROVAL BY THE CITY OF RALEIGH. THE DEVELOPER SHALL PROVIDE THESE LEFT TURN LANES PRIOR TO THE ISSUANCE OF THE FIRST CERTIFICATE OF OCCUPANCY.
- COMPLIANCE STATEMENT - THE STRIPING PLAN HAS BEEN SUBMITTED TO TRANSPORTATION WITH THIS SUBDIVISION PLAN SUBMITTAL.

PHASE 2 NOTE:
 PHASE 2 OF THIS PROJECT WILL INCLUDE THE DEVELOPMENT OF THE 0.78 AC AREA LISTED ON THIS SUBDIVISION PLAN AS "FUTURE DEVELOPMENT LOT", PIN 1706-165727, AND PIN 1706-167371. IT WILL ALSO INCLUDE THE AREA DESCRIBED AS "EXISTING RIGHT-OF-WAY RM 1945 PG 21-57" ON SHEET C-06. ONCE THE RIGHT-OF-WAY HAS BEEN ABANDONED, PHASE 2 WILL INCLUDE APPROXIMATELY 15 ADDITIONAL TOWNHOMES, OPEN SPACE, TREE SAVI AREA AND A SCM. PHASE 2 WILL BE SUBMITTED UNDER THE RIGHT-OF-WAY ABANDONMENT PROCESS HAS COMPLETED AND THE RELOCATION OF THE EXISTING CROSS ACCESS CURRENTLY SHOWN WITHIN PHASE 2 HAS BEEN ADDRESS.

REVISIONS:	SUBMITTAL DATE:	SEPTEMBER 29, 2023
REVISION #1	CITY STAFF REVIEW	12/01/2023
REVISION #2	CITY STAFF REVIEW	02/27/2024
REVISION #3	CITY STAFF REVIEW	04/03/2024

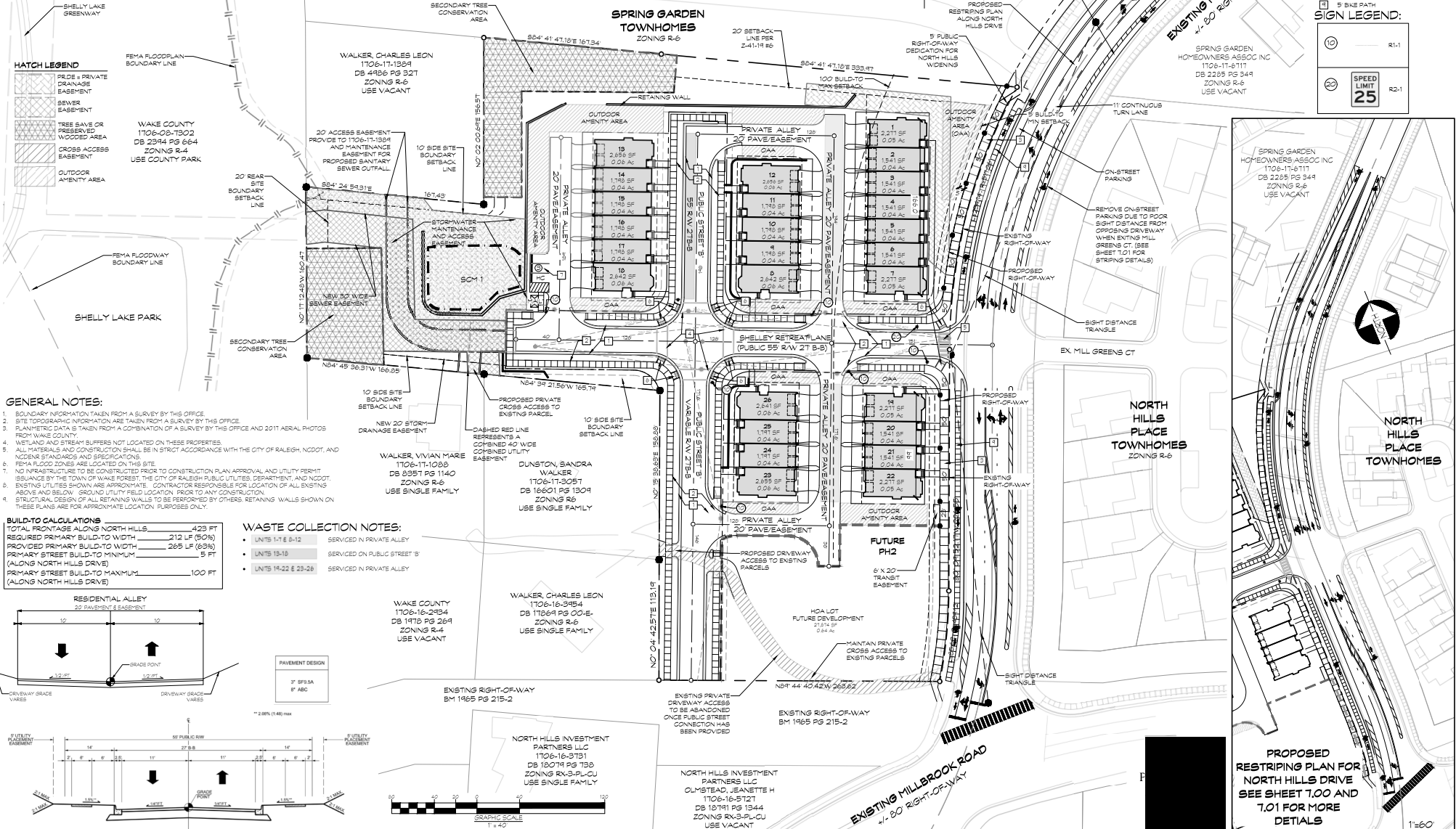
RELEASED FOR CONSTRUCTION DATE:

SHEET #

C0.00

TABLE OF LAND OWNERS						TABLE C1.1
FIN	OWNER	DEED BOOK	DEED PAGE	SURVEY SF	SURVEY ACRES	SITE ADDRESS ZONING
1706-11-1294	NORTH HILLS INVESTMENT PARTNERS	18071	742	26,972	0.61	124 W MILLBROOK RD R4-PL-CU
1706-17-5949	NORTH HILLS INVESTMENT PARTNERS	18071	738	26,136	0.60	716 W MILLBROOK RD R4-PL-CU
1706-17-3253	NORTH HILLS INVESTMENT PARTNERS	18071	736	26,136	0.60	910 W MILLBROOK RD R4-PL-CU
1706-15-5168	NORTH HILLS INVESTMENT PARTNERS LLC	17661	1448	161,608	3.71	5025 NORTH HILLS DR R4-PL-CU
TOTALS			240,481	5,520		

- SITE LABELING LEGEND:**
- 1 30" STANDARD CURB & GUTTER
 - 2 6" CONCRETE SIDEWALK
 - 3 8" CONCRETE SIDEWALK
 - 4 10" WIDE CROSSWALK
 - 5 10" WIDE HIGH VISIBILITY CROSSWALK
 - 6 CITY OF RALEIGH STANDARD CURB RAMP
 - 7 8.5' WIDE STANDARD PARKING SPACE
 - 8 SHORT TERM BI-CYCLE RACK
 - 9 5' BIKE PATH
- SIGN LEGEND:**
- R-1
 - R-2.1



- HATCH LEGEND**
- 1 PDE - PRIVATE DRAINAGE EASEMENT
 - 2 SEWER EASEMENT
 - 3 TREES SALES OR PRESERVED WOODED AREA
 - 4 CROSS ACCESS EASEMENT
 - 5 OUTDOOR AMENITY AREA

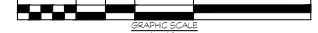
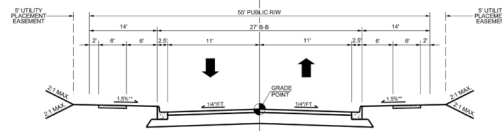
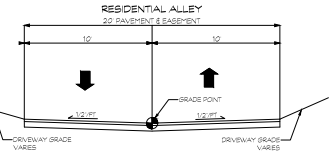
WAKE COUNTY
1706-09-1302
DB 2394 PG 664
ZONING R-4
USE COUNTY PARK

- GENERAL NOTES:**
- BOUNDARY INFORMATION TAKEN FROM A SURVEY BY THIS OFFICE.
 - SITE TOPOGRAPHIC INFORMATION ARE TAKEN FROM A SURVEY BY THIS OFFICE.
 - PLANIMETRIC DATA IS TAKEN FROM A COMBINATION OF A SURVEY BY THIS OFFICE AND 2011 AERIAL PHOTOS FROM WAKE COUNTY.
 - WETLAND AND STREAM BUFFERS NOT LOCATED ON THESE PROPERTIES.
 - ALL MATERIALS AND CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE CITY OF RALEIGH, NCGDOT, AND AGENCIES STANDARDS AND SPECIFICATIONS.
 - FEMA FLOOD ZONES ARE LOCATED ON THIS SITE.
 - NO INFRASTRUCTURE TO BE CONSTRUCTED PRIOR TO CONSTRUCTION PLAN APPROVAL AND UTILITY PERMIT SECUREANCE BY THE TOWN OF WAKE FOREST, THE CITY OF RALEIGH PUBLIC UTILITIES, DEPARTMENT, AND NCGDOT.
 - EXISTING UTILITIES SHOWN ARE APPROXIMATE. CONTRACTOR RESPONSIBLE FOR LOCATION OF ALL EXISTING ABOVE AND BELOW GROUND UTILITY FIELD LOCATION PRIOR TO ANY CONSTRUCTION.
 - STRUCTURAL DESIGN OF ALL RETAINING WALLS TO BE PERFORMED BY OTHERS. RETAINING WALLS SHOWN ON THESE PLANS ARE FOR APPROXIMATE LOCATION PURPOSES ONLY.

BUILD-TO CALCULATIONS

TOTAL FRONTAGE ALONG NORTH HILLS: 429 FT
 REQUIRED PRIMARY BUILD-TO WIDTH: 212 LF (50%)
 PROVIDED PRIMARY BUILD-TO WIDTH: 265 LF (63%)
 PRIMARY STREET BUILD-TO MINIMUM: 5 FT
 (ALONG NORTH HILLS DRIVE)
 PRIMARY STREET BUILD-TO MAXIMUM: 100 FT
 (ALONG NORTH HILLS DRIVE)

- WASTE COLLECTION NOTES:**
- UNITS 1-1 & 8-12 SERVICED IN PRIVATE ALLEY
 - UNITS 13-18 SERVICED ON PUBLIC STREET 'B'
 - UNITS 19-22 & 23-28 SERVICED IN PRIVATE ALLEY



PARC VUE PHASE 1
TOWNHOME COMMUNITY
WAKE COUNTY NORTH CAROLINA

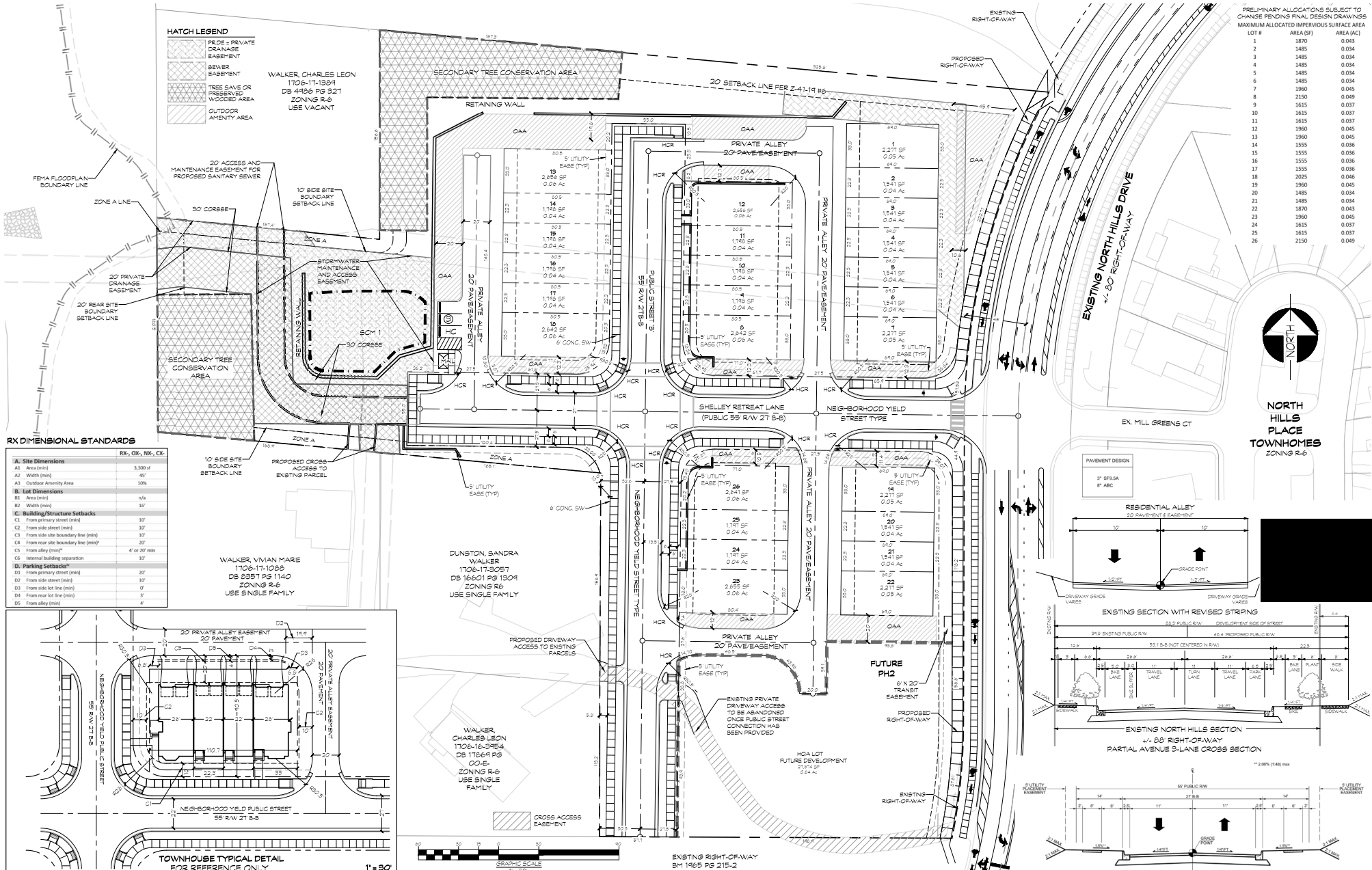
SCALE
DATE: SEPTEMBER 29, 2023
PROJECT NUMBER: 2018-018-001
CLIENT: NORTH HILLS INVESTMENT PARTNERS, LLC
PLAN TYPE: SUBDIVISION PLAN

PRELIMINARY SITE LAYOUT & TRANSPORTATION PLAN

REVISION #1 CITY STAFF REVIEW 12-01-2023
 REVISION #2 CITY STAFF REVIEW 02-27-2024
 REVISION #3 CITY STAFF REVIEW 04-09-2024
 PREPARED FOR CONSTRUCTION DATE: SEE COVER

PRIEST, CRAVEN & ASSOCIATES, INC.
LAND USE CONSULTANTS, PLANNERS / LANDSCAPE DESIGNERS / SURVEYORS / ENGINEERS
3803 - B Computer Drive, Suite 104 Raleigh, NC 27609, Phone 919 / 781-6300, Fax 919 / 781-2288, Email PCAD@PriestCraven.com / Firm # C-04488

SHEET #
C2.00



PRELIMINARY ALLOCATIONS SUBJECT TO CHANGE PENDING FINAL DESIGN DRAWINGS
MAXIMUM ALLOCATED IMPERVIOUS SURFACE AREA

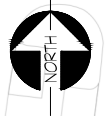
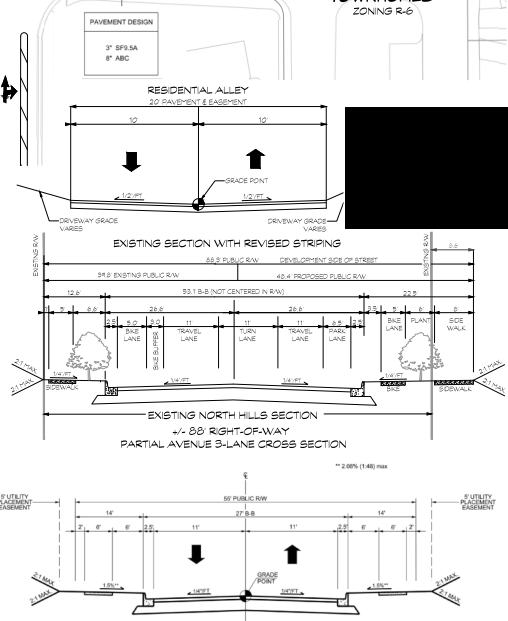
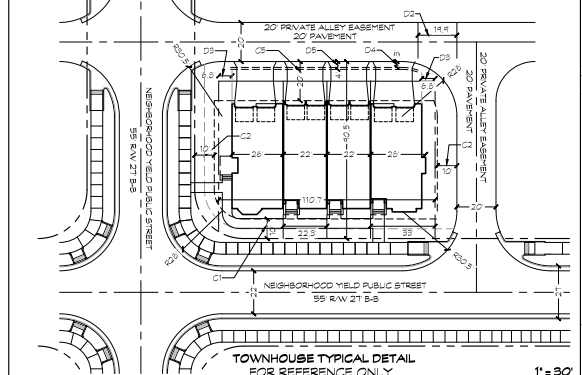
LOT #	AREA (SF)	AREA (AC)
1	1870	0.043
2	1485	0.034
3	1485	0.034
4	1485	0.034
5	1485	0.034
6	1485	0.034
7	1960	0.045
8	2150	0.049
9	1615	0.037
10	1615	0.037
11	1615	0.037
12	1960	0.045
13	1960	0.045
14	1555	0.036
15	1555	0.036
16	1555	0.036
17	1555	0.036
18	2025	0.046
19	1960	0.045
20	1485	0.034
21	1485	0.034
22	1870	0.043
23	1960	0.045
24	1615	0.037
25	1615	0.037
26	2150	0.049

HATCH LEGEND

[Hatch Pattern]	PRIDE - PRIVATE DRAINAGE EASEMENT
[Hatch Pattern]	SEWER EASEMENT
[Hatch Pattern]	TREE SAVE OR RESERVED WOODS AREA
[Hatch Pattern]	OUTDOOR AMENITY AREA

RX DIMENSIONAL STANDARDS

	RX, OK, NR, CX
A. Site Dimensions	
A1. Area (min)	3,300 sf
A2. Width (min)	40'
A3. Outdoor Amenity Area	150%
B. Lot Dimensions	
B1. Area (min)	10%
B2. Width (min)	10'
C. Building/Structure Setbacks	
C1. From primary street (min)	10'
C2. From side street (min)	10'
C3. From side site boundary line (min)	10'
C4. From rear site boundary line (min)*	10'
C5. From alley (min)**	4' or 20' min
C6. Internal building separation	10'
D. Parking Setbacks	
D1. From primary street (min)	10'
D2. From side street (min)	10'
D3. From side lot line (min)	0'
D4. From rear lot line (min)	3'
D5. From alley (min)	4'



NORTH HILLS PLACE TOWNHOMES
ZONING R-6

PARC VUE PHASE 1
TOWNHOME COMMUNITY

SCALE: 1" = 30'

DATE	1/30
PROJECT NUMBER	2018-218-001
CLIENT	NORTH HILLS INVESTMENT PARTNERS, LLC
PLAN TYPE	SUBDIVISION PLAN

PRELIMINARY SUBDIVISION PLAN

REVISION #1	CITY STAFF REVIEW	12/01/2023
REVISION #2	CITY STAFF REVIEW	02/27/2024
REVISION #3	CITY STAFF REVIEW	04/09/2024

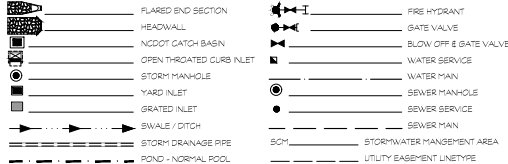
PREPARED FOR CONSTRUCTION DATE: 1/30/2023

PRIEST, CRAVEN & ASSOCIATES, INC.
LAND USE CONSULTANTS / PLANNERS / LANDSCAPE DESIGNERS / SURVEYORS / ENGINEERS

3893 - E Computer Drive, Suite 104 Raleigh, NC 27609. Phone 919 / 795-4300. Fax 919 / 795-1288. Email: PCRAV@PriestCraven.com / Firm #: C6488

SHEET #
C2.01

UTILITY SYMBOL LEGEND

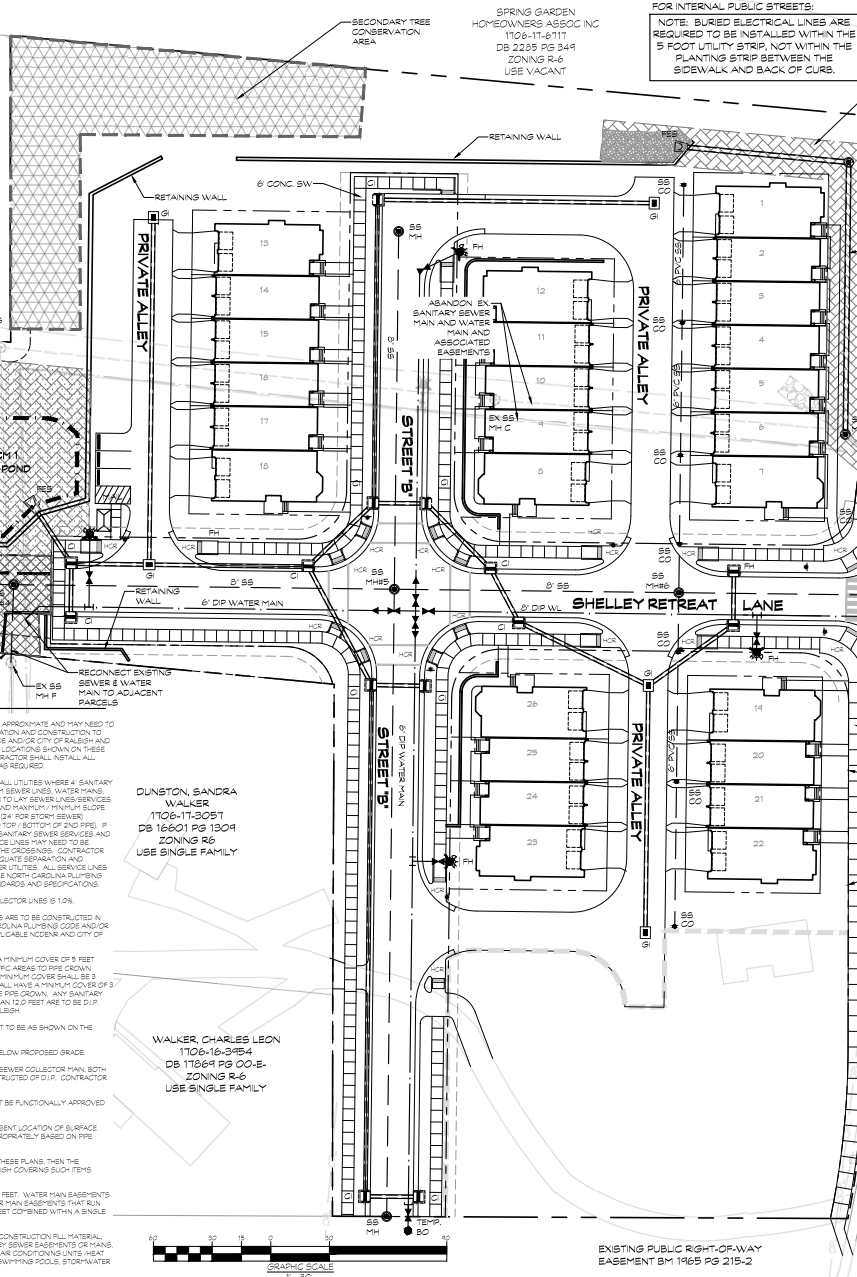


HATCH LEGEND



GENERAL UTILITY NOTES:

1. THE LOCATION AND SIZE OF EXISTING UTILITIES AS SHOWN IS APPROXIMATE. THE CONTRACTOR IS RESPONSIBLE FOR HORIZONTAL AND VERTICAL LOCATING AND PROTECTING ALL PUBLIC OR PRIVATE UTILITIES SHOWN OR NOT SHOWN WHICHEVER IS OR ADJACENT TO THE CONSTRUCTION SITE AT LEAST 48 HOURS PRIOR TO ANY DESTRUCTION, GRADING, OR CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL NOTIFY THE NORTH CAROLINA ONE-CALL UTILITIES LOCATION SERVICE (1-800-452-4844) FOR PROPER IDENTIFICATION OF EXISTING UTILITIES WITHIN THE SITE.
2. CONTRACTOR TO WORK CLOSELY WITH ALL UTILITY COMPANIES TO ENSURE THAT ONCE FINAL GRADES HAVE BEEN ESTABLISHED, PROPOSED DEPTH AND COVER IS MAINTAINED ON ALL EXISTING UTILITY LINES. CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ANY NECESSARY RELOCATIONS OF EXISTING UTILITIES.
3. THE 8" UTILITY COVER SHALL PROVIDE ALL MATERIALS AND APPURTENANCES NECESSARY FOR COMPLETE INSTALLATION OF UTILITIES. ALL PUBLIC UTILITY STRUCTURES AND FITTINGS SHALL BE INSPECTED BY THE LOCAL INSPECTOR PRIOR TO BEING COVERED. THE INSPECTOR SHALL ALSO BE PRESENT DURING TAPPING, ZONING IDENTIFICATION, AND PRESSURE TESTING OF ALL LINES. THE CONTRACTOR'S BID PRICE SHALL INCLUDE ALL INSPECTION FEES.
4. NO INFRASTRUCTURE TO BE CONSTRUCTED PRIOR TO CONSTRUCTION PLAN APPROVAL AND UTILITY PERMIT. ALL CONSTRUCTION AND MATERIALS TO BE IN STRICT ACCORDANCE WITH CURRENT CITY OF RALEIGH, DIVISION 2000000 AND NCCDT STANDARDS AND SPECIFICATIONS AS APPLICABLE.
5. HORIZONTAL RELATION OF WATER MAINS TO SEWERS, LATERAL SEPARATION OF SEWERS AND WATER MAINS, WATER MAINS SHALL BE LEAST 12" FEET LATERALLY FROM EXISTING OR PROPOSED SEWERS, UNLESS LOCAL CONDITIONS OR BARRELS PREVENT A 12" FOOT LATERAL SEPARATION... IN WHICH CASE:
6. THE TOP OF THE SEWER IS AT LEAST 18" INCHES BELOW THE BOTTOM OF THE WATER MAIN AND THERE IS A MINIMUM 18" FEET OF HORIZONTAL SEPARATION FROM THE CLOSEST EDGES OF THE PIPES.
7. VERTICAL RELATION OF WATER MAINS TO SEWERS CROSSING A WATER MAIN OVER A SEWER, WHENEVER IT IS NECESSARY FOR A WATER MAIN TO CROSS OVER A SEWER, THE WATER MAIN SHALL BE LEAST AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 18" INCHES ABOVE THE TOP OF THE SEWER. UNLESS LOCAL CONDITIONS OR BARRELS PREVENT AN 18" INCH VERTICAL SEPARATION... IN WHICH CASE THE WATER MAIN SHALL BE LEAST 18" INCHES ABOVE THE TOP OF THE SEWER. MATERIALS AND WITH JOINTS THAT ARE EQUIVALENT TO WATER MAIN STANDARDS.
8. CROSSING A WATER MAIN UNDER A SEWER, WHENEVER IT IS NECESSARY FOR A WATER MAIN TO CROSS UNDER A SEWER, BOTH THE WATER MAIN AND THE SEWER SHALL BE CONSTRUCTED OF FIBERGLASS REINFORCED POLYESTER WITH JOINTS EQUIVALENT TO WATER MAIN STANDARDS. A SECTION OF WATER MAIN PIPE SHALL BE CONSTRUCTED AT THE POINT OF CROSSING.
9. VERTICAL RELATION OF SANITARY SEWER MAINS TO STORM SEWER WHEN A SANITARY SEWER IS CROSSING OVER OR UNDER A STORM SEWER, A VERTICAL SEPARATION OF 24" INCHES SHALL BE MAINTAINED UNLESS BOTH LINES ARE OF A FIBERGLASS REINFORCED POLYESTER IN CONCRETE OR VOID SPACE FILLED WITH CONCRETE. PER CITY OF RALEIGH STANDARDS.
10. GENERAL VERTICAL CLEARANCE WHEN OTHER UNDERGROUND UTILITIES ARE ENCOUNTERED, 18" INCHES OF SEPARATION SHALL BE MAINTAINED.
11. ALL MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF RALEIGH STANDARDS. MANHOLE COVERS SHALL VARY DEPENDING ON USE, DRAINAGE AND DEPTH. SEE PROFILES AND CITY OF RALEIGH STANDARDS AND SPECIFICATIONS FOR MANHOLE SIZES.
12. REPAIR, REINFORCE, SEWER SERVICES FOR SINGLE FAMILY AND TOWNHOME DEVELOPMENTS. TYPICAL SEWER SERVICE TO EACH LOT IS TO BE 4" PVC BAGWATER VALVES TO BE INSTALLED AS REQUIRED. ALL SERVICES TO BE THE APPLICABLE PLUMBING CODE.
13. SEWER CLEANOUTS ARE TO BE INSTALLED ON ALL 4" SANITARY SERVICE LINES IN ACCORDANCE WITH NORTH CAROLINA PLUMBING CODE.
14. SANITARY SERVICE CLEANOUT LOCATIONS SHOWN ARE APPROXIMATE AND MAY NEED TO BE ADJUSTED DURING CONSTRUCTION. CLEANOUT LOCATION AND CONSTRUCTION TO BE THE APPLICABLE NORTH CAROLINA PLUMBING CODE AND/OR CITY OF RALEIGH AND NCCDT STANDARDS AND SPECIFICATIONS. CLEANOUT LOCATIONS SHOWN ON THESE PLANS REPRESENT THE SURFACE ACCESS POINT. CONTRACTOR SHALL INSTALL ALL WATER, WASTE, VENTS, AND OTHER APPURTENANCES AS REQUIRED.
15. CONTRACTOR TO VERIFY INVERTS AND ELEVATIONS OF ALL UTILITIES WHERE 4" SANITARY SEWER SERVICE COLLECTOR LINES MUST CROSS STORM SEWER LINES, WATER MAINS, AND/OR OTHER UNDERGROUND UTILITIES. CONTRACTOR TO VERIFY SEWER LINES SERVICES IN THESE LOCATIONS AT A MINIMUM 1" MINIMUM DEPTH AND MINIMUM 1" MINIMUM SLOPE PER FOOT TO MAINTAIN A MINIMUM CLEARANCE OF 12" FOR STORM SEWER BETWEEN UTILITIES FROM TOP OF BOTTOM OF 1" FEET TO TOP OF BOTTOM OF 2" FEET. IF 12" OR 24" FOR STORM SEWER SEPARATION BETWEEN SANITARY SEWER SERVICE AND OTHER UTILITIES CANNOT BE MAINTAINED, SEWER SERVICE LINES MAY NEED TO BE SPLIT TO 2" PIPE AND/OR PLACED IN CONCRETE AT POINT OF CROSSING. CONTRACTOR TO WORK WITH CITY INSPECTORS TO ENSURE THAT ADEQUATE SEPARATION AND PROTECTION IS PROVIDED FOR SERVICE LINES AND OTHER UTILITIES. ALL SERVICE LINES TO BE INSTALLED IN ACCORDANCE WITH THE APPLICABLE NORTH CAROLINA PLUMBING CODE AND/OR THE CITY OF RALEIGH AND NCCDT STANDARDS AND SPECIFICATIONS.
16. THE MINIMUM SLOPE ON 4" SANITARY SERVICE AND COLLECTOR LINES IS 1/24".
17. ALL SANITARY SEWER MAINS, LATERALS, AND SERVICES ARE TO BE CONSTRUCTED IN STRICT ACCORDANCE WITH THE APPLICABLE NORTH CAROLINA PLUMBING CODE AND/OR MUST BE CONSTRUCTED IN ACCORDANCE WITH ALL APPLICABLE NCCDT AND CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
18. ALL SANITARY SEWER COLLECTOR LINES SHALL HAVE A MINIMUM COVER OF 5 FEET (MEASURED FROM THE TOP OF FINISHED GRADE IN TRAFFIC AREAS) TO FIRE CADDIS. UNLESS D.P. IS PROVIDED IN CLASH SITUATIONS WHERE MINIMUM COVER SHALL BE 8 FEET. MAINS AND SERVICES IN NON-TRAFFIC AREAS SHALL HAVE A MINIMUM COVER OF 3 FEET. MAINS AND SERVICES WITH A DEPTH GREATER THAN 12.0 FEET ARE TO BE D.P. UNLESS D.P. HAS BEEN AUTHORIZED BY THE CITY OF RALEIGH.
19. WATER SERVICE: TYPICAL WATER SERVICE TO EACH LOT TO BE AS SHOWN ON THE PLANS.
20. WATER MAINS SHALL HAVE A MINIMUM COVER OF 36" BELOW PROPOSED GRADE.
21. ANYTIME A WATER MAIN CROSSES UNDER A SANITARY SEWER COLLECTOR MAIN, BOTH THE WATER MAIN AND THE SEWER LINE MUST BE CONSTRUCTED OF D.P. CONTRACTOR TO NOTIFY INTERNAL, ACCORDINGLY.
22. ALL UNDERGROUND UTILITIES AND FIRE HYDRANTS MUST BE FUNCTIONALLY APPROVED PRIOR TO STRUCTURAL CONSTRUCTION.
23. CLEAN OUT SYMBOLS SHOWN ON THESE PLANS REPRESENT LOCATION OF SURFACE ACCESS POINT. CONTRACTOR SHALL LOCATE VENTS APPROPRIATELY BASED ON PIPE DEPTH.
24. IN THE EVENT THAT A UTILITY ITEM IS NOT COVERED BY THESE PLANS, THEN THE STANDARDS AND SPECIFICATIONS OF THE CITY OF RALEIGH GOVERNS SUCH ITEM SHALL APPLY.
25. SANITARY SEWER EASEMENTS TO BE A MINIMUM OF 30 FEET. WATER MAIN EASEMENTS TO BE A MINIMUM OF 30 FEET. WATER MAINS AND SEWER MAINS CAPSHEETS THAT RUN PARALLEL WITH EACH OTHER TO BE A MINIMUM OF 40 FEET COVERED WITH A SINGLE EASEMENT.
26. NO FIREWORKS SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALL MATERIALS PERMANENTLY INSTALLED OR PLACED ON SANITARY SEWER EASEMENTS OR MAINS. PROHIBITED STRUCTURES INCLUDE BUILDINGS, HOUSES, AIR CONDITIONING UNITS, HANGING SIGNS, GRASSES, TREES, OR STORAGE BINS, DRIVING POOLS, STORMWATER CONTROL DEVICES, WALLS, AND FENCES.



FOR INTERNAL PUBLIC STREETS:
NOTE: BURIED ELECTRICAL LINES ARE REQUIRED TO BE INSTALLED WITHIN THE 5 FOOT UTILITY STRIP, NOT WITHIN THE PLANTING STRIP BETWEEN THE SIDEWALK AND BACK OF CURB.

ALONG NORTH HILLS
NOTE: BURIED ELECTRICAL LINES ARE REQUIRED TO BE INSTALLED WITHIN THE 3.5 FOOT UTILITY STRIP BETWEEN THE BACK OF CURB AND THE BIKE PATH.

NORTH HILLS PLACE TOWNHOMES
ZONING R-6

CITY OF RALEIGH STANDARD UTILITY NOTES:

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CONCORD HANDBOOK, CURRENT EDITION).
- UTILITY SEPARATION REQUIREMENTS:
1. A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE (SUCH AS AN HYDROSPHERE RESERVOIR, USED AS A SOURCE OF DRINKING WATER, IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED. FIBERGLASS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS, UNLESS THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 2. WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 12" IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 3. WHERE IT IS POSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATER MAIN, D.P. MATERIALS OR STEEL EMBLEMMENT EXTENDED TO EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 4. 5.0" MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER MAINS.
 5. MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATER MAIN & 2" FOR STORM DRAIN CROSSINGS. MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & 2" FOR STORM DRAIN CROSSINGS, WHERE ADEQUATE SEPARATION CANNOT BE ACHIEVED. SPECIFY D.P. MATERIALS & A CONCRETE GRADE HAVING 8" MIN. CLEARANCE PER FOOT OF COVER (WHATEVER IS GREATER).
 6. ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
 7. ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
 8. DEVELOPER SHALL PROVIDE 30 DAYS ADVANCE WRITTEN NOTICE TO OWNER FOR ANY WORK REQUIRED WITHIN AN EXISTING CITY OF RALEIGH UTILITY EASEMENT TRANSFERRING PRIVATE PROPERTY.
 9. CONTRACTOR SHALL MAINTAIN CONTIGUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
 10. 2.0" MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 4.0" MINIMUM COVER IS REQUIRED ON ALL SEWER MAINS.
 11. IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CITY OF RALEIGH HANDBOOK PROCEDURE.
 12. INSTALL 2" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2' WIDE WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
 13. INSTALL 4" PVC SEWER SERVICES @ 1/24" MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 15' LINEAR FEET MINIMUM.
 14. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI BACKGROUND WATER PRESSURE ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT EXISTING CITY OF RALEIGH UTILITY EASEMENT.
 15. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCCDT, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
 16. NCCDT /RAI/ROAD ENDORSEMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK, INCLUDING MAINS, EXTENSIONS & SERVICE TAPS, WITHIN STATE OR FEDERAL ROAD ROW PRIOR TO CONSTRUCTION.
 17. OVERSEE INTERCEPTOR /COL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE SW R/O PROGRAM COORDINATOR PRIOR TO SUBMITTAL OF A UG /BUDGET PERMIT. CONTACT (919) 449-4518 OR (919) 449-4518 FOR MORE INFORMATION.
 18. CROSS-CONNECTION CONTROL PREVENTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERS (ASSE) STANDARDS RECORDED IN THE UNIVERSITY OF CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED BOTH INITIAL AND PERIODIC TESTS (REPEATERS) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. CROSS-CONNECTION CONTROL PROGRAM (WHICHEVER IS MORE STRINGENT), A CERTIFICATE OF COMPLIANCE SHALL ALSO BE OBTAINED FROM THE SW CROSS-CONNECTION COORDINATOR FOR EACH DEVICE PRIOR TO SUBMITTAL OF A UG /BUDGET PERMIT. CONTACT (919) 449-4518 OR (919) 449-4518 FOR CROSS-CONNECTION/COCC/SEWING SEWER FORCE MAIN INFORMATION.

PARC VUE PHASE 1
TOWNHOME COMMUNITY
CITY OF RALEIGH

SCALE	1:30
DATE	SEPTEMBER 29, 2023
PROJECT NUMBER	2018-018-001
CLIENT	NORTH HILLS INVESTMENT PARTNERS, LLC
PLAN TYPE	SUBDIVISION PLAN

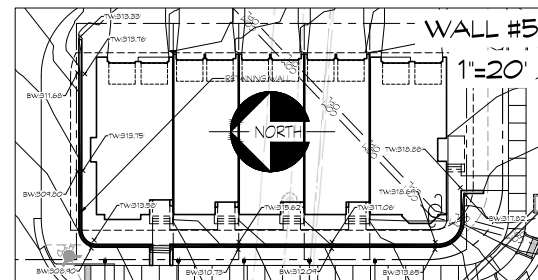
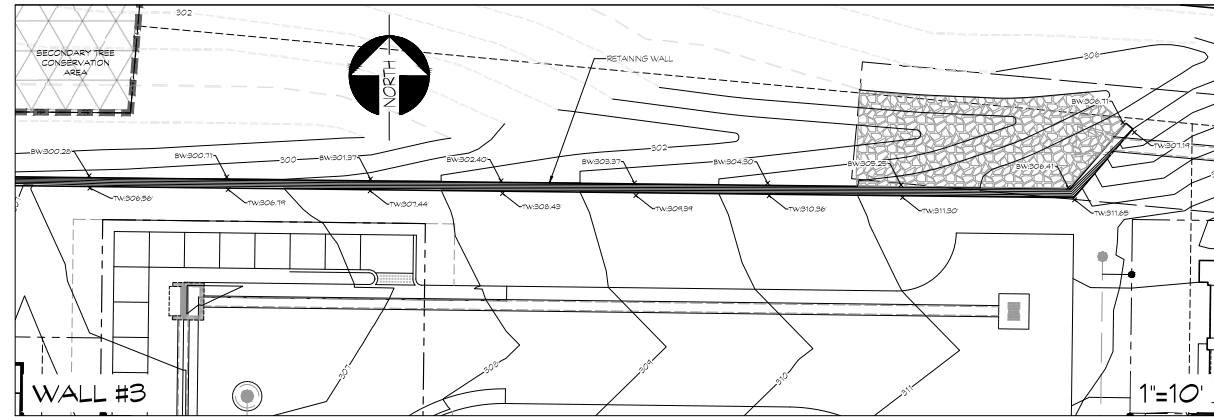
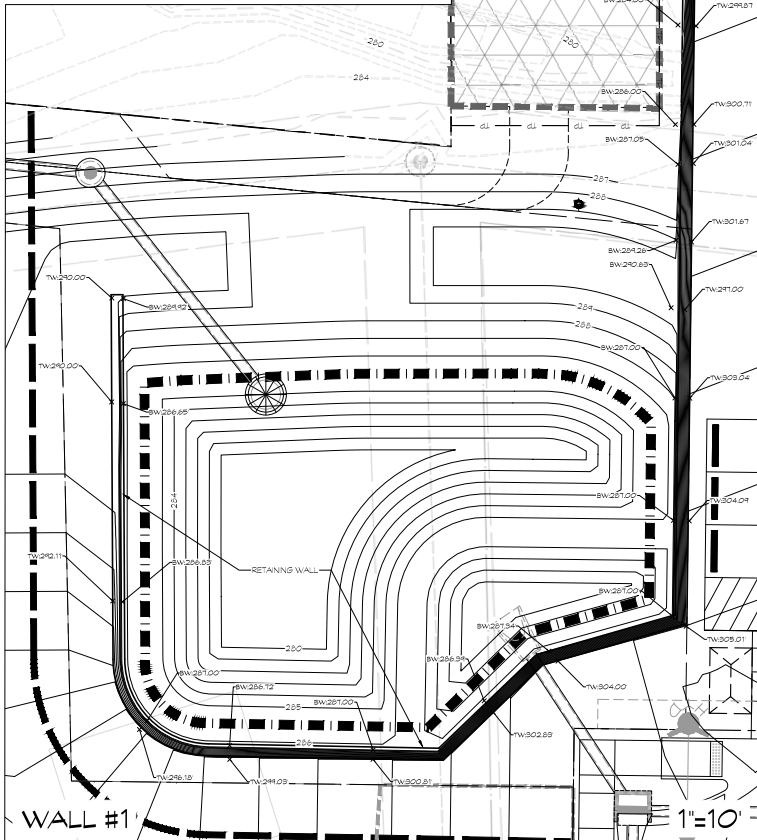
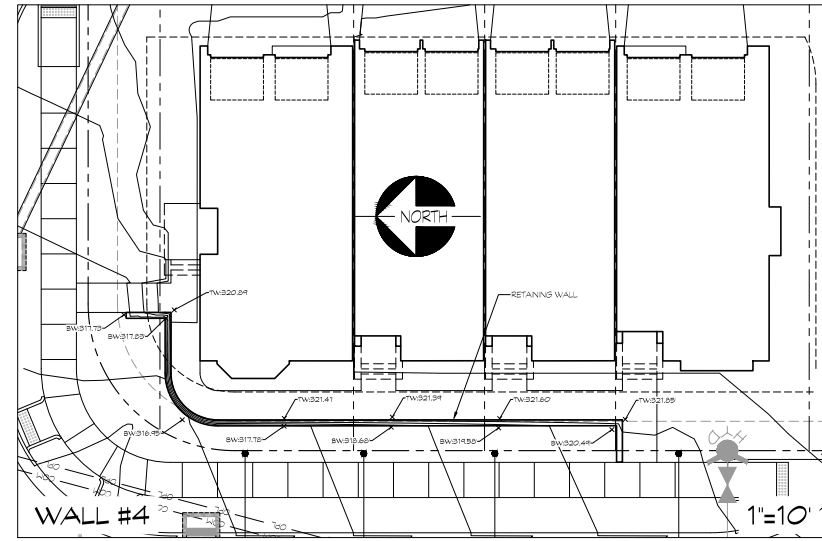
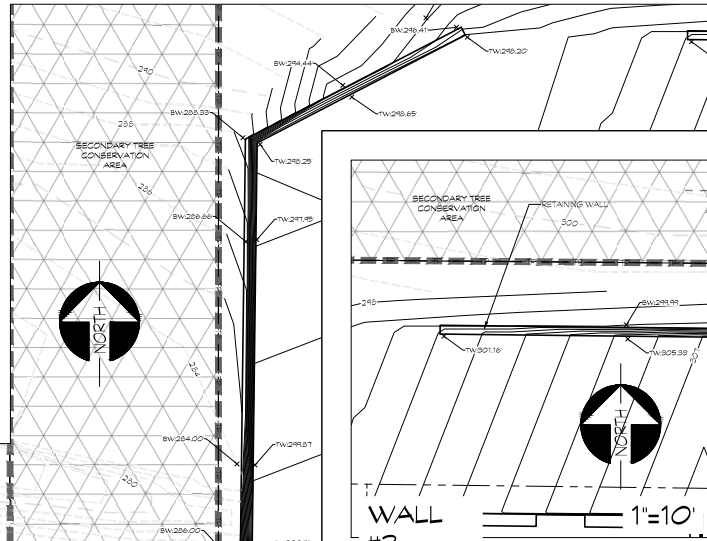
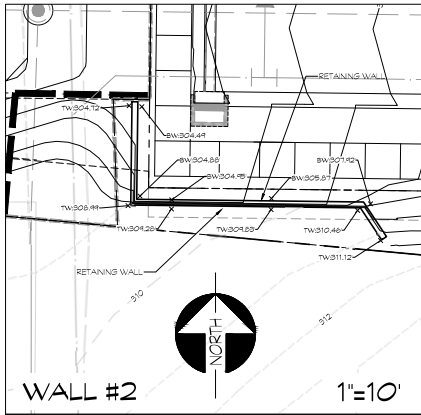
PRELIMINARY SITE UTILITY PLAN

REVISION #1	CITY STAFF REVIEW	12-01-2023
REVISION #2	CITY STAFF REVIEW	02-27-2024
REVISION #3	CITY STAFF REVIEW	04-09-2024

PREPARED FOR CONSTRUCTION DATE, SEE COVER

PRIEST, CRAVEN & ASSOCIATES, INC.
LAND USE CONSULTANTS / PLANNERS / LANDSCAPE DESIGNERS / SURVEYORS / ENGINEERS
3803 - Computer Drive, Suite 104 Raleigh, NC 27609, Phone 919 / 781-4930, Fax 919 / 782-2888, Email PCRA@PriestCraven.com / Firm # C-64488

SHEET # **C3.00**



RETAINING WALL AND HEADWALL NOTES:

1. HEADWALLS AND FLARED END SECTIONS TO BE PER NCDOT AND CITY OF RALEIGH STANDARDS AND SPECIFICATIONS. SEE NCDOT 839.50 AND OTHER DETAILS.
2. ALL RETAINING WALLS WITHIN THE SITE TO BE DESIGNED BY OTHERS (INCLUDING MATERIAL, HEIGHT, WIDTH, ALIGNMENT, ELEVATIONS, FOOTINGS, ETC.). SPOT ELEVATIONS SHOWN ARE APPROXIMATE AND FOR REFERENCE ONLY.
3. CONTRACTOR TO INSTALL GRAVITY WALLS AS REQUIRED IN AREAS WHERE GEO-GRID CANNOT BE USED AND/OR WHERE RETAINING WALLS ADJUT PUBLIC EASEMENTS AND/OR UNDISTURBED PROTECTIVE BUFFERS.
4. A HANDRAIL OR FENCE SHALL BE INSTALLED ALONG THE TOP OF ALL RETAINING WALLS, HEADWALLS AND DOWN THE TOPS OF ALL WINGWALLS WHERE THE DROP FROM THE TOP OF THE RETAINING WALL OR HEADWALL TO THE BASE OF THE WALL OR INVERT OF THE PIPE IS GREATER THAN OR EQUAL TO 36". HAND RAILING SHALL INCLUDE NO MORE THAN TWO HORIZONTAL MEMBERS (E.G., ONE NEAR THE BOTTOM, AND ONE AT THE TOP) AND SHALL INCLUDE VERTICAL PICKETING SPACED AT SIX INCHES ON CENTER.
5. GUARDRAILS TO BE INSTALLED IN AREAS INDICATED ON THE PLANS.
6. ALL RETAINING WALLS ON SITE TO BE HOA MAINTAINED.

PARC VUE PHASE 1
TOWNHOME COMMUNITY

CITY OF RALEIGH WAKE COUNTY NORTH CAROLINA

SCALE: VARIOUS
DATE: SEPTEMBER 08, 2023
PROJECT NUMBER: 2018-018-001
CLIENT: NORTH HILLS INVESTMENT PARTNERS, LLC
PLAN TYPE: SUBDIVISION PLAN

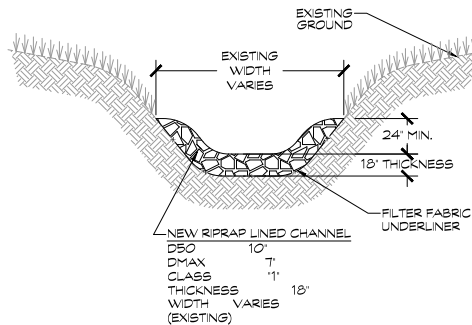
PRELIMINARY
RETAINING WALL PLAN

REVISION #1: CITY STAFF REVIEW 12-01-2023
REVISION #2: CITY STAFF REVIEW 02-27-2024
REVISION #3: CITY STAFF REVIEW 04-02-2024
RELEASED FOR CONSTRUCTION DATE: SEE COVER

PRIEST, CRAVEN & ASSOCIATES, INC.
LAND USE CONSULTANTS / PLANNERS / LANDSCAPE DESIGNERS / SURVEYORS / ENGINEERS

3803-B Computer Drive, Suite 104 Raleigh, NC 27609, Phone 919 / 781-4300, Fax 919 / 782-1288, Email PCAB@PriestCraven.com / Firm #: C4488

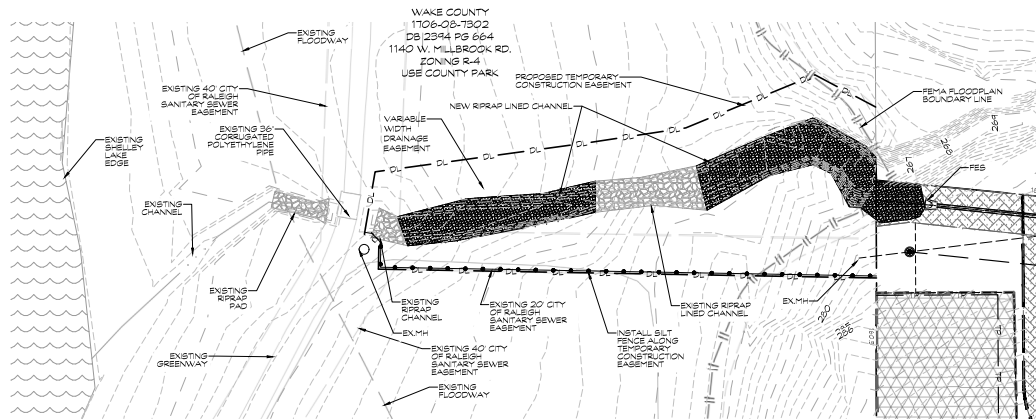
SHEET #
C4.01



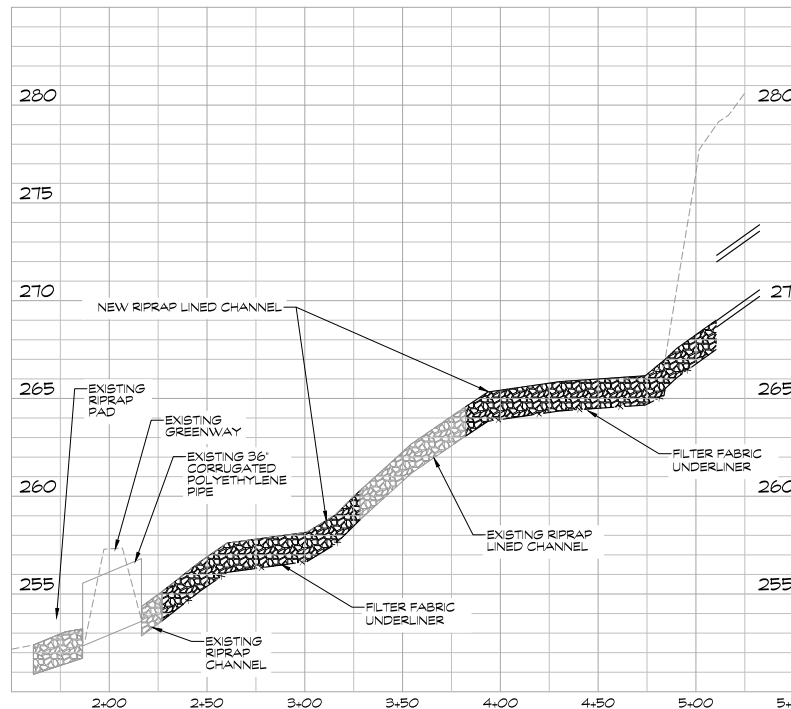
RIPRAP LINED CHANNEL NOTES:

1. NEW RIPRAP CHANNEL LINING IS TO BE INSTALLED AS INDICATED IN TWO SECTIONS OF THE EXISTING CHANNEL.
2. FILTER FABRIC UNDERLINER IS TO BE INSTALLED OVER THE EXISTING CHANNEL BOTTOM AND THE RIPRAP SHALL BE PLACED OVER THE FILTER FABRIC UNDERLINER.
3. EXISTING VEGETATION IN THE CHANNEL IS TO REMAIN AND RIPRAP AND LINER TO BE PLACED AROUND IT. LOOSE DEBRIS, LOGS AND TRASH ARE TO BE REMOVED PRIOR TO INSTALLING THE LINER.
4. EXISTING CITY OF RALEIGH PUBLIC SEWER EASEMENT ALONGSIDE THE EXISTING CHANNEL IS TO BE USED FOR CONSTRUCTION ACCESS.
5. ONLY MINIMAL TREE REMOVAL TO ALLOW FOR ACCESS TO THE CHANNEL IS TO OCCUR OUTSIDE OF THE EXISTING CITY OF RALEIGH PUBLIC SEWER EASEMENT.
6. NO CONSTRUCTION ACTIVITY SHALL OCCUR WITHIN TEN FEET OF THE EXISTING GREENWAY TRAIL.
7. CONTRACTOR IS TO ACCESS THE CHANNEL FROM THE SITE. NO ACCESS WILL BE ALLOWED FROM THE PARK.
8. NO CONSTRUCTION TRAFFIC SHALL BE ALLOWED UPON THE EXISTING GREENWAY PATH.
9. ALL DISTURBED AREAS NOT SUBJECT TO THE RIPRAP LINING SHALL BE STABILIZED BY SEEDING AND MULCHING PER THE SEEDING AND MULCHING INFORMATION ON THE EROSION CONTROL PLANS.

**NEW RIPRAP LINED CHANNEL
TYPICAL CROSS-SECTION**



EXISTING DRAINAGE DITCH		Design of Diversion Swales based on procedures outlined in the NCDEQ Erosion & Sediment Control Planning and Design Manual, section 8.05.			
Project Name:	Parc Vue				
Project Number:	2010-010.001				
Erosion Control Measure:	Armor Existing Swale				
Swale #:	DP1.0				
Channel Analysis					
Channel		Basin Details from Another Source		Known Q	
Start Elev:	266.00 ft	Description	c	Basin Cc	
End Elev:	253.53 ft	Total Drainage Area		Tc	
Length:	275.00 ft	Impervious		Event	10 year
Slope:	4.53%	Lawn / Open		Intensity	
Side Slopes:	2.0 : 1	Wooded		Runoff	50.38 cfs
Bottom Width:	7.00 ft	Normal Depth Procedure (Zreq = Zav) trial and error			
Channel Depth:	2.00 ft	Zreq = Qn / (1.49 * S ^{0.5})			
Width of Flow:	10.36 ft	Bottom Width	Normal Depth	Area of Flow	Wetted Perimeter
Channel Width:	15.00 ft	7.0	0.84	7.28	10.75
Soil Type:	Clay Mdr	Velocity	8.16 fps Velocity is too high.		
Channel Slope Range:	0-5%	Provide liner	Shear Stress = 2.37 lbs/sf		
Vegetation / Liner:	Tall fescue	Liner Analysis			
Retardance Class:	C	Normal Depth Procedure (Zreq = Zav) trial and error			
Mannings Coeff (n):	0.030	Zreq = Qn / (1.49 * S ^{0.5})			
Permissible Velocity:	5.5 fps	Bottom Width	Normal Depth	Area of Flow	Wetted Perimeter
		7.0	1.25	11.87	12.59
		Velocity	5.00 fps Shear 3.54 lbs/sf		
		Liner is acceptable.			



PARC VUE PHASE 1
TOWNHOME COMMUNITY

CITY OF RALEIGH | WAKE COUNTY NORTH CAROLINA

SCALE: 1" = 30'
DATE: SEPTEMBER 08, 2023
PROJECT NUMBER: 2018-018.001
CLIENT: NORTH HILLS INVESTMENT PARTNERS, LLC
PLAN TYPE: DIVERSION PLAN

**OFFSITE CHANNEL
LINING IMPROVEMENTS**

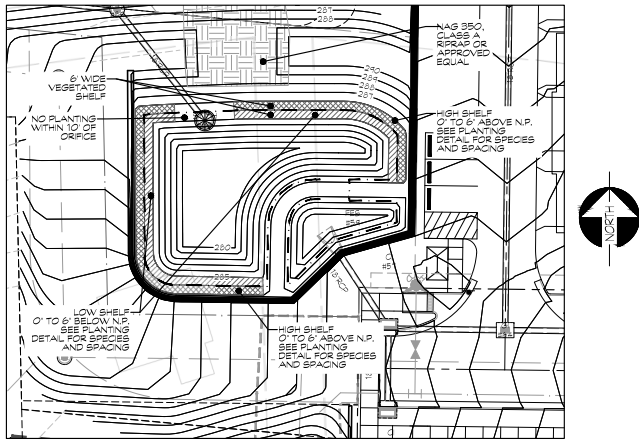
REVISION #1	CITY STAFF REVIEW	12-01-2023
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REVISION #3	CITY STAFF REVIEW	04-02-2024

PREPARED FOR CONSTRUCTION DATE: SEE CONDO. [] [] []

PRIEST, CRAVEN & ASSOCIATES, INC.
LAND USE CONSULTANTS / PLANNERS / LANDSCAPE DESIGNERS / SURVEYORS / ENGINEERS

3803 - B Computer Drive, Suite 104 Raleigh, NC 27609, Phone 919 / 781-4300 - Fax 919 / 782-1288 - Email: PCRA@PriestCraven.com / Firm #: C4488

SHEET #
C4.20



1"=20' WET POND #6 PLANTING PLAN

WET POND #6 LANDSCAPE CALCULATIONS & PLANT LIST					
DAM/BERM		VEGETATION REQUIRED: NON-CLUMPING TURF GRASS			
VEGETATED SHELF	SHALLOW LAND	50 PLANTS PER 200 SF:	AREA= 540 SF	QTY. (2' PLUGS)	136
KEY	BOTANICAL NAME	COMMON NAME	TYPE	SPACING	
AA	ACORUS AMERICANUS	SWEETFLAG	PERENNIAL	24" OC (MAX)	34
AI	ASCLEPIAS INCARNATA	SWAMP MILKWEED	PERENNIAL	24" OC (MAX)	34
JE	JUNCUS EFFRUSUS	SOFT RUSH	PERENNIAL	24" OC (MAX)	34
ED	EUPATORIUM OBLISUS	DWARF JOE PYE WEED	PERENNIAL	24" OC (MAX)	34
TOTAL PROVIDED:					136
VEGETATED SHELF	SHALLOW WATER	50 PLANTS PER 200 SF:	AREA= 494 SF	QTY. (2' PLUGS)	125
KEY	BOTANICAL NAME	COMMON NAME	TYPE	SPACING	
CS	CHELONE GLABRA	WHITE TURTLE-HEAD	PERENNIAL	24" OC (MAX)	32
HC	HIBISCUS COCCINEUS	SCARLET ROSE MALLOW	PERENNIAL	24" OC (MAX)	31
LC	LOBELIA CARDINALIS	CARDINAL FLOWER	PERENNIAL	24" OC (MAX)	31
SB	SACCHARUM PALMIFOLIUM	NARROW PLUME GRASS	PERENNIAL	24" OC (MAX)	31
TOTAL PROVIDED:					125

NOTE: VARIATIONS OF APPROVED WETLAND PLANTINGS ARE LOCATED IN THE APPROVED NCGS RCW MANUAL PART C-3

SCM SOIL AND PLANTING NOTES:

1. IN-SITU TOPSOIL TO BE STOCKPILED ON-SITE FOR USE IN THE VEGETATED SHELF PLANTING AREAS.
2. TOPSOIL SHOULD BE SPREAD TO A MINIMUM DEPTH OF 4" THROUGHOUT THE VEGETATED SHELF, INCLUDING THE DAM PRIOR TO SEEDING PLANTING VEGETATION. TOPSOIL SHOULD BE HAND-TAMPED AND LIGHTLY COMPACTED WHILE MAINTAINING THE MINIMUM 4" OF TOPSOIL DEPTH FOR PLANT GROWTH. CONTRACTOR TO ACCORD FOR SETTLING OF LOOSELY COMPACTED SOILS FOR THE WETLAND PLANTING SUCH THAT ONCE SETTLING OCCURS THE FINAL GRASSES AS SHOWN ON THESE PLANS ARE MAINTAINED.
3. SEE NOTES RELATED TO VEGETATED SHELF SOIL ANALYSIS AND TREATMENT ON THIS PAGE.
4. ACCEPTABLE FERTILIZERS CAN BE MINERAL, ORGANIC (MANURE), COMPOST OR GREEN ORGANS.
5. CONTRACTOR TO WORK WITH SOIL SCIENTIST TO ENSURE SOILS ARE ADEQUATE TO SUPPORT ESTABLISHMENT AND GROWTH OF THE PLANTINGS. CONTRACTOR TO AMEND SOILS AND INSTALL SOILS IN PLANT AREAS PER DETAILS, SOIL SPECIFICATIONS, NCGS RCW SPECIFICATION, AND SOIL SCIENTIST RECOMMENDATIONS.
6. THE OPTIMAL PERIOD FOR PLANTING HERBACEOUS VEGETATION EXTENDS FROM LATE MARCH TO EARLY JUNE. THE BEST TIME TO PLANT SHRUBS IN A WET POND IS FROM NOVEMBER TO MID MARCH. CONTRACTOR SHOULD SCHEDULE PLANT INSTALLATION ACCORDINGLY.
7. ONCE THE PLANTINGS HAVE BEEN DELIVERED TO THE SITE FROM THE NURSERY THEY SHOULD BE FREQUENTLY WATERED, FERTILIZED AND SHADED UNTIL THEY ARE INSTALLED.
8. ALL DISTURBED AREAS AROUND THE OUTSIDE OF THE WET POND SHALL BE SEEDING WITH A LAWN AREA SEED MIX (PER SEEDING SPECIFICATIONS) NATIVE GRASSES, LEGUMES, CLOVERS AND WILDFLOWERS.
9. PLANTING AREAS SHOWN IN THE VEGETATED SHELF SHALL BE PLANTED IN A "NATURALIZED" MANNER WITH PLANTS GROUPED WITHIN THE VEGETATED SHELF AND SPACED AS OUTLINED IN THE CHART.
10. IF THE WET POND WAS USED DURING CONSTRUCTION AS FOR EROSION CONTROL, THE BASIN MUST BE CLEANED OUT, GRADED, APPROPRIATE AREAS COVERED WITH 4" OF TOPSOIL AS SPECIFIED IN NOTE #2 ABOVE, AND VEGETATED WITHIN 14 DAYS OF CONSTRUCTION COMPLETION. THE CONVERSION OF THE DEVICE TO A PERMANENT DEVICE SHOULD NOT OCCUR UNTIL ALL CONSTRUCTION IS COMPLETE AND THE DRAINAGE AREA TO THE SOIL IS COMPLETELY STABILIZED WITH PAVEMENT, STRUCTURES, AND VEGETATION, OR BASED ON THE DETERMINATION BY THE REGULATORY AGENCY. PLANTINGS ON THE VEGETATED SHELF SHOULD BE INSTALLED PER NOTES ABOVE.
11. THE SCM DRAIN SHOULD BE FULLY OPENED FOR NO MORE THAN 3 DAYS PRIOR TO THE PLANTING DATE TO PRESERVE SOIL MOISTURE AND WORKABILITY.
12. ALL NEW PLANTINGS ON THE VEGETATED SHELF ARE TO BE WATERED AS REQUIRED DURING INITIAL GROWING SEASON TO KEEP PLANTS HEALTHY AND PROMOTE GROWTH.
13. A MINIMUM TWO-YEAR WARRANTY PERIOD SHALL BE PROVIDED BY THE CONTRACTOR FOR PLANT SURVIVAL/REASON TO LIVE.
14. AT THE END OF THE FIRST YEAR AND AGAIN AT THE END OF THE TWO-YEAR WARRANTY PERIOD, ALL PLANTS THAT DO NOT SURVIVE MUST BE REPLACED. ESTABLISHMENT PROCEDURES, SUCH AS CONTROL OF INVASIVE WEEDS, ANIMAL AND VANDAL DAMAGE, MULCHING, RE-STAKING, WATERING, AND WESH OR TUBE PROTECTION REPLACEMENT, SHALL BE SUBMITTED TO THE EXTENT NEEDED TO ENSURE PLANT SURVIVAL. STAKES MUST BE REMOVED AFTER ESTABLISHMENT (APPROXIMATELY 12 MONTHS), TO PREVENT GIRDLING (STANGULING) OF ALL WOODY PLANTS.

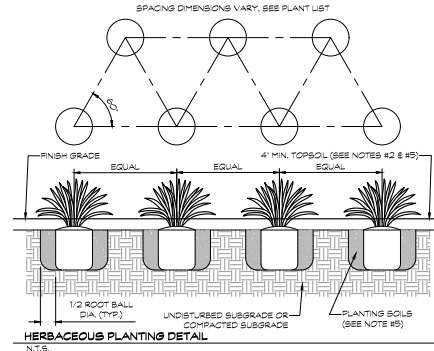
VEGETATED SHELF SOILS ANALYSIS AND TREATMENT:

1. CONTRACTOR TO WORK WITH GEOTECHNICAL ENGINEER OR SOIL SCIENTIST TO PERFORM A SOIL ANALYSIS WITHIN THE STORM-WATER FACILITY AREA TO DETERMINE VIABILITY OF SOILS TO ASSURE HEALTHY VEGETATION GROWTH IN THE VEGETATED SHELF AND TO PROVIDE ADEQUATE FILTRATION RATES THROUGH THE TOPSOIL LAYER. IMPORTED OR IN-SITU SOILS SHOULD BE AMENDED WITH ORGANIC MATERIAL PER THE GEOTECHNICAL ENGINEER/SOIL SCIENTIST RECOMMENDATIONS BASED ON THE RESULTS OF THE SOIL ANALYSIS.
2. THE SOIL ANALYSIS SHALL AT A MINIMUM INCLUDE THE FOLLOWING: SOIL PH (WHETHER ACID, NEUTRAL, OR ALKALINE), SOIL TEXTURE, SOIL TEST NDC4 & C5 (NUTRIENT CONTENT), CONTENT (PERCENT CLAY, ORGANIC MATERIAL, ETC.), HYDRAULIC CONDUCTIVITY, AND INFILTRATION RATE.
3. SOILS USED WITHIN THE VEGETATED SHELF SHOULD BE UNIFORM AND FREE OF STONES, STUMPS, ROOTS, OR OTHER SIMILAR MATERIAL, GREATER THAN 2 INCHES.
4. THE PH SHOULD BE BETWEEN 4.5 AND 7.0. IF THE PH FALLS OUTSIDE OF THIS RANGE, IT MAY BE MODIFIED WITH LIME TO INCREASE THE PH OR IRON SULFATE AND SULFUR TO LOWER THE PH. THE LIME OR IRON SULFATE MUST BE APPLIED UNIFORMLY INTO SOIL PRIOR TO USE.
5. IN-SITU EXCAVATED SOIL MAY BE USED FOR THE VEGETATED SHELF IF THE SOIL ANALYSIS BY THE GEOTECHNICAL ENGINEER/SOIL SCIENTIST DETERMINES THE IN-SITU SOILS ARE ADEQUATE TO SUSTAIN HEALTHY VEGETATION GROWTH WHILE PROVIDING ADEQUATE INFILTRATION RATES THROUGH THE TOPSOIL. IN-SITU SOILS SHOULD BE AMENDED AS REQUIRED TO PROVIDE FOR AN ADEQUATE GROWING ENVIRONMENT FOR THE PLANTINGS ON THE VEGETATED SHELF.
6. CONTRACTOR TO WORK WITH QUALIFIED INDIVIDUALS, SUCH AS A GEOTECHNICAL ENGINEER, SOIL SCIENTIST, OR THE LOCAL COOPERATIVE EXTENSION OR NCGS OFFICE, TO DETERMINE IN WRITING THE RECOMMENDED SOIL AMENDMENTS, APPLICATION RATES, AND TECHNIQUES FOR INCORPORATING ANY REQUIRED AMENDMENTS TO THE IN-SITU SOILS BASED ON THE SOIL ANALYSIS. CONTRACTOR TO AMEND IN-SITU SOILS IN ACCORDANCE WITH RECOMMENDATIONS OF SOIL SCIENTIST OR OTHER QUALIFIED PROFESSIONAL.
7. AVOID SHEARING/SMOOTHING OF SOILS WHEN EXCAVATING VEGETATED SHELF. INSTALL TOPSOIL LOOSELY COMPACTED IN THE VEGETATED SHELF AREA.
8. CONTRACTOR TO ACCORD FOR SETTLING OF LOOSELY COMPACTED SOILS FOR THE PLANTINGS SUCH THAT ONCE SETTLING OCCURS THE FINAL GRASSES AS SHOWN ON THESE PLANS ARE MAINTAINED.
9. CONTRACTOR TO OBTAIN AND FAMILIARIZE THEMSELVES WITH THE MOST RECENT EDITION OF THE NCGS RCW MANUAL AND THE TOWN OF WAKE FOREST STANDARDS AND SPECIFICATIONS. CONTRACTOR TO REFER TO THESE RESOURCES FOR ADDITIONAL DETAIL, DESIGN, CONSTRUCTION, INFORMATION, AND REQUIREMENTS FOR THE STORM-WATER BMP FACILITIES.

GEESSE/ANIMAL PEST CONTROL NOTE:

CONTRACTOR SHOULD NOTE THAT GEESSE ARE PRESENT IN AND AROUND THIS SITE. GEESSE ARE VERY DAMAGING TO WETLAND PLANTINGS, PARTICULARLY AFTER THEY ARE FIRST PLANTED BEFORE THE ROOT SYSTEM BECOMES ESTABLISHED AND THE PLANTINGS HAVE AT LEAST ONE GROWING SEASON TO MATURE. CONTRACTOR TO INCLUDE WITHIN BID PRICE PROVISIONS FOR GEESSE/ANIMAL CONTROL TO PREVENT GEESSE/BIRDS/ANIMALS FROM EATING, DAMAGING, OR DESTROYING NEWLY PLANTED WETLAND VEGETATION. MEASURES SHOULD BE INSTALLED TO PROTECT PLANTS UNTIL THE WETLAND PLANTINGS ARE WELL ESTABLISHED. POSSIBLE PROVISIONS INCLUDE: MESH-NETTING TO PROTECT PLANTS, HRINS OUTSIDE PARTIES WITH PEST CONTROL, EXPERIENCE, NON-TOXIC SPRAYS APPLIED TO PLANTINGS, ARTIFICIAL FLOATING PROTECTORS, ETC. CONTRACTOR TO WORK WITH QUALIFIED PARTY EXPERIENCED IN GEESSE/PEST CONTROL, AS NECESSARY TO PROTECT NEW WETLANDS.

CONTRACTOR SHOULD CONTACT LOCAL NURSERIES FOR PLANT SELECTION			
OLL OR NATIVE PLANT NURSERY	1201 ST. ANNE'S LANE, RALEIGH, NC 27603	(919) 883-8566	
NICHE GARDENS	1111 DAWSON ROAD, CHARLE HILL, NC 27516	(919) 763-0076	
PLANT DELIGHTS NURSERY	4241 SAULS ROAD, RALEIGH, NC 27603	(919) 712-4744	
TARHEEL NATIVE TREES	4334 FREELIE ROAD, CLAYTON, NC 27920	(919) 293-5921	
TAYLORS NURSERY, INC.	3708 NEW BERN AVE., RALEIGH, NC 27610	(919) 231-6161	
YELLOW PEARL FARM	1312 WOODY STORE ROAD, BLER CITY, NC 27544	(919) 743-1200	



HATCH LEGEND	
	SHALLOW LAND PLANTING AREA
	SHALLOW WATER PLANTING AREA

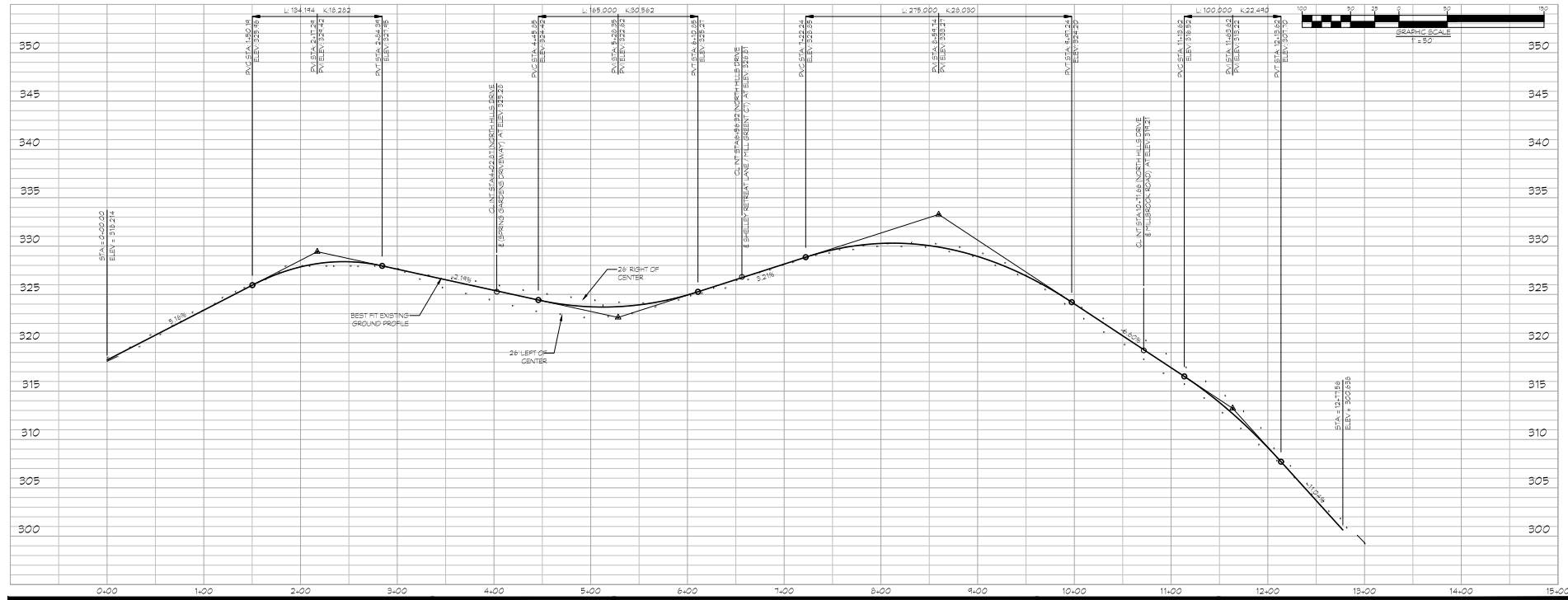
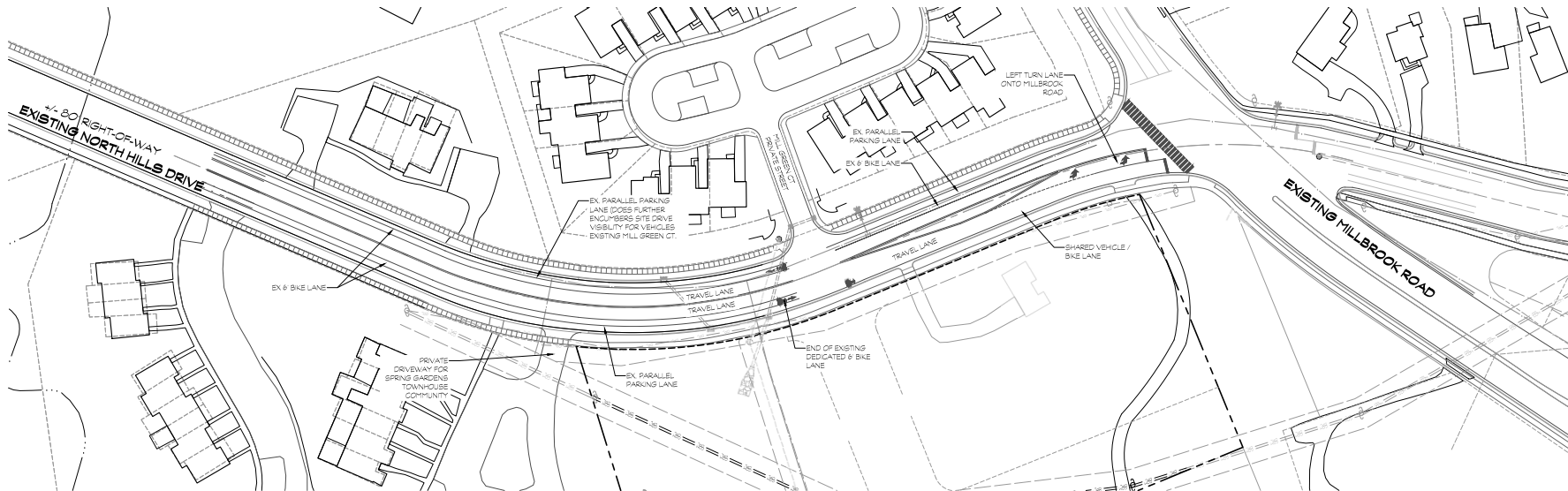
PARC VUE PHASE 1
TOWNHOME COMMUNITY
CITY OF RALEIGH

SCALE	1"=20'
DATE	SEPTEMBER 29, 2023
PROJECT NUMBER	2018-018-001
CLIENT	NORTH HILLS INVESTMENT PARTNERS, LLC
PLAN TYPE	SUBSION PLAN

WET POND PLANTING PLAN

REVISION #1	CITY STAFF REVIEW	10/01/2023
REVISION #2	CITY STAFF REVIEW	02/27/2024
REVISION #3	CITY STAFF REVIEW	04/03/2024
PREPARED FOR CONSTRUCTION DATE: SEE COVER		

PRIEST, CRAVEN & ASSOCIATES, INC.
LAND USE CONSULTANTS / PLANNERS / LANDSCAPE DESIGNERS / SURVEYORS / ENGINEERS
3893-B Computer Drive, Suite 104 Raleigh, NC 27609 • Phone 919.795.4300 • Fax 919.795.1288 • Email PCAB@PriestCraven.com / Firm #: C6488



PARC VUE PHASE 1 TOWNHOME COMMUNITY WAKE COUNTY NORTH CAROLINA <small>CITY OF RALEIGH</small>	SCALE: HORIZ 1/8"=1'-0" VERT 1/8"=1'-0" DATE: SEPTEMBER 08, 2023 PROJECT NUMBER: 2018-018-001 CLIENT: NORTH HILLS INVESTMENT PARTNERS, LLC PLAN TYPE: SUBDIVISION PLAN	EXISTING STRIPING FOR NORTH HILLS DRIVE	REVISION #1: CITY STAFF REVIEW 12-01-2023 REVISION #2: CITY STAFF REVIEW 02-27-2024 REVISION #3: CITY STAFF REVIEW 04-02-2024 <small>RELEASED FOR CONSTRUCTION DATE: SEE COLOR</small>	PRIEST, CRAVEN & ASSOCIATES, INC. LAND USE CONSULTANTS / PLANNERS / LANDSCAPE DESIGNERS / SURVEYORS / ENGINEERS <small>3803 - B Computer Drive, Suite 104 Raleigh, NC 27609, Phone 919 / 781-4300, Fax 919 / 782-1288, Email PCAB@PriestCraven.com / Firm #: C0488</small>	SHEET # CT.00
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Revised September 27, 2023
 S&EC Job # 1426-112
 Reference: City of Raleigh Tree Conservation Area Report
 Parc Vue Townhomes
 Raleigh, Wake County, NC

Site Acres: 4.523 (see Green Row Deduction (1.199 ac.) 4.324 Net ac. (Post ROW Deduction))
 Total Tree Conservation Area: 0.433 acres (10.0%) (including all TCA on-site shown on attached info)
 Secondary TCA - 0.433 acres

This report has been prepared to document existing tree cover of the proposed Tree Conservation Area on the North Hills Dr Corridor Site in Raleigh, NC. The project area is 4.324 acres in size. In order to fulfill the requirements of the Tree Conservation Area Ordinance (which requires preservation of 10% of the site, or 0.433 acres is required).

Secondary Tree Conservation:
 S&EC evaluated the proposed Secondary Tree Conservation Area as proposed by the site engineer. Tree cover in Secondary Areas was based on Section 9.1.4.3.1 (for Secondary areas). These areas were documented in increments of 50' if possible, with photographic panels and basal area calculated for each. These areas meet the 30 square feet of basal area requirement for this section of the UDPO and are noted on the attached map.

In summary, the Secondary Tree Conservation Areas make up 10.00% of the site (0.433 acres). This makes up the total proposed tree conservation area onsite.

Forest stands onsite that were included in proposed Secondary Tree Conservation are in good health, with the exception of a few individual trees that were not included in basal area calculations; there were no large downed or damaged stands. As shown in the attached documentation, the cumulative proposed Tree Conservation Area on-site meet the minimum basal area requirements. There was an area of timberland around "A1". The area contains only one tree with healthy. Please refer to the attached maps, tree inventory table, data sheet and plot photos for additional clarification.

NOTE: Some large trees were not included in the TCA, as greater than 50% of the CEZ would be located outside the proposed conservation areas. Trees that were included in the secondary area calculations are marked in the field with pink paint.

Please advise if you have any questions about the documentation provided.

Sincerely,
 SOIL & ENVIRONMENTAL CONSULTANTS, PA

- Attachments: 1) Tree Inventory Tables
 2) Tree Conservation Plot Photos
 3) Site Map (with Aerial Photographs)
 4) Plan Data sheet

Tree ID	Species	DBH (in)	Height (ft)	Health	Basal Area (sq ft)	Notes
1
2
3
4
5
6
7
8

Tree Conservation Plan Data Sheet
 UDPO Article 9.1 Tree Conservation
 (include applicable information on this plan sheet)

Project Name: Parc Vue Townhomes	Gross Site Acres:	5.523	ac
	Right-of-way to be dedicated with this project:	1.273	ac
	Net Site Acres:	4.250	ac

	Number of Acres	Percent of Total
--	-----------------	------------------

UDPO 9.1.4.A. Primary Tree Conservation Areas

1. Primary Tree Conservation Area - SHOD 1	0	0
1. Primary Tree Conservation Area - SHOD 2	0	0
2. Primary Tree Conservation Area - Parkway Frontage	0	0
3. Primary Tree Conservation Area - Cliff	0	0
4. Primary Tree Conservation Area - MPOD	0	0
5. Primary Tree Conservation Area - Champion Tree XX" dbh species	0	0
6. Primary Tree Conservation Area - Neuse Buffer Zone 2	0	0
7. Primary Tree Conservation Area - 40% 30'pines	0	0
8. Primary Tree Conservation Area - Thoroughfare	0	0
Subtotal of Primary Tree Conservation Areas:	0	0

UDPO 9.1.4.B.2 Tree Conservation Area - Greenway

	0	0
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UDPO 9.1.4.B.1.a. & b. Secondary Tree Conservation Areas
 (include perimeter buffers and their alternate compliance areas)

	0.430	10.0
--	-------	------

UDPO 9.1.4.C. & d. Individual Tree Secondary Tree Conservation Areas
 (include individual trees and their alternate compliance areas)

	0.430	10.0
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UDPO 9.1.4. Subtotal of Secondary Tree Conservation Areas:

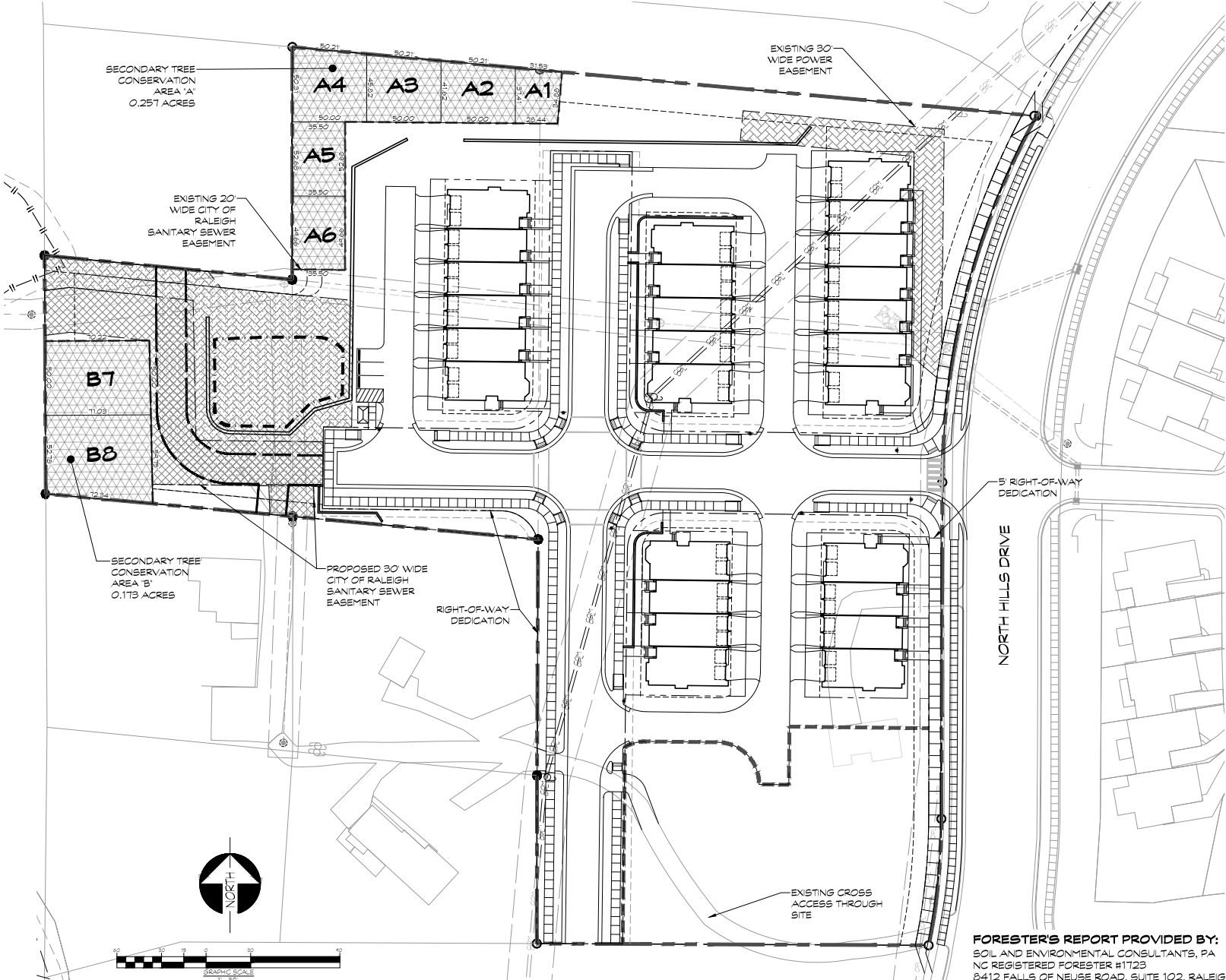
	0.430	10.0
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TOTAL ALL TREE CONSERVATION AREA PROVIDED:

	0.430	10.0
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UDPO 9.1.4. Wetland Protection Ordinance

UDPOD - Wooded Area (preserved)	0	0
UDPOD - Wooded Area (planted)	0	0
FWPOD - Wooded Area (preserved)	0	0
FWPOD - Wooded Area (planted)	0	0
SWPOD - Wooded Area (preserved)	0	0
SWPOD - Wooded Area (planted)	0	0



FORESTER'S REPORT PROVIDED BY:
 SOIL AND ENVIRONMENTAL CONSULTANTS, PA
 NC REGISTERED FORESTER #1123
 8412 FALLS OF NEUSE ROAD, SUITE 102, RALEIGH

PARC VUE PHASE 1
 TOWNHOME COMMUNITY
 WAKE COUNTY NORTH CAROLINA

SCALE: 1"=30'
 DATE: SEPTEMBER 2023
 PROJECT NUMBER: 2018-018-001
 CLIENT: NORTH HILLS INVESTMENT PARTNERS, LLC
 PLAN TYPE: SUBDIVISION PLAN

PRELIMINARY TREE CONSERVATION PLAN

REVISION #1	CITY STAFF REVIEW	12-01-2023
REVISION #2	CITY STAFF REVIEW	02-27-2024
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RELEASED FOR CONSTRUCTION DATE: SEE COLOR

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SHEET #
 LS2.00

