



# Administrative Approval Action

Case File / Name: SUB-0057-2019  
E. Hargett Street Townhomes

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2492  
currentplanning@raleighnc.gov  
www.raleighnc.gov

**LOCATION:** This 0.4 acre site, zoned R-10 is located on the south side of E. Hargett Street between Haywood and Camden Streets at 708 E. Hargett Street.

**REQUEST:** Subdivision of an Infill townhome development consisting of four dwelling unit townhome lots and one common association lot with associated infrastructure.

One hardship variance and one design adjustment for this project have been approved by the Board of Adjustment noted below.

BOA-0044-2019 - Relief from the minimum driveway width (8.3.5 C) in order to allow a shared driveway with two access points. Relief from the minimum driveway spacing and distance from the intersection (9.5)

A-165-19 - Relief from the cross access requirements (8.3.5 D), allowance of an alternative street cross section, and relief from the minimum planting area and location of street trees.

**DESIGN  
ADJUSTMENT(S)/  
ALTERNATES, ETC:** N/A

**FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated July 15, 2020 by Crumpler Consulting Services.

## **CONDITIONS OF APPROVAL and NEXT STEPS:**

*This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:*

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

***The following items are required prior to approval of Site Permitting Review plans:***

### **Stormwater**

1. These lots are exempt per UDO Section 9.2.2.A.2.b.i as a residential subdivision of one acre or less approved after May 1, 2001, but are subject to impervious limitations of subsection A.4 and subject to further review upon placement of impervious surface areas.

☒ **LEGAL DOCUMENTS** - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	City Code Covenant Required
<input checked="" type="checkbox"/>	Utility Placement Easement Required

<input checked="" type="checkbox"/>	Cross Access Agreements Required
-------------------------------------	----------------------------------



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☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

***The following items must be approved prior to recording the plat:***

## **General**

1. A demolition permit shall be issued and this building permit number shown on all maps for recording.
2. The City Code Covenant shall be approved by the City and recorded with the county register of deeds office where the property is located and a copy of the recorded document shall be provided to the City by the end of the next business day following the recordation of the final plat. Further recordings and building permits will be withheld if the recorded document is not provided to the City.

## **Engineering**

3. A fee-in-lieu for 1-ft width of sidewalk is paid to the City of Raleigh (UDO 8.1.10).
4. A shared access agreement among the lots shall be approved by the Development Services Department for recording in the Wake County Registry, and a copy of the recorded cross access easement shall be returned to the Development Services Department within one day of plat recordation. If a recorded copy of the document is not provided within this time, further recordings and building permit issuance will be withheld.
5. A 5' utility placement easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.
6. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.

## **Stormwater**

7. The maximum allocated impervious area for all applicable lots in the subdivision should be identified on all maps for recording.
8. Grading permit is required prior to demolition. (UDO 9.4.6)

## **Urban Forestry**

9. A public infrastructure surety for street trees shall be provided to the City of Raleigh Development Services – Development Engineering (UDO 8.1.3).



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10. A fee-in-lieu for 2 street trees shall be paid to the City of Raleigh (UDO 8.1.10) prior to recordation of lots.

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

*The following items must be approved prior to the issuance of building permits:*

## General

1. Final plans for building permits shall include verification of compliance with all Residential Infill Compatibility standards of UDO Section 2.2.7.

## Public Utilities

2. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

## Stormwater

3. Impervious restrictions for each lot must be recorded on a plat prior to building permit issuance.
4. Total land disturbance will be over 12,000 sq. ft. for multiple houses, a separate site plan submittal & approval is required prior to demolition. Site plans require an erosion control plan. (UDO 9.4.6.)

## Urban Forestry

5. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 4 street trees along E. Hargett St.

*The following are required prior to issuance of building occupancy permit:*

## General

1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.

## Stormwater

2. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).

**EXPIRATION DATES:** If significant construction has not taken place on a project after preliminary subdivision approval, that approval may "sunset" and be declared void, requiring re-approval before permits may be issued. To avoid allowing this preliminary approval to "sunset", the following must take place by the following dates:



# Administrative Approval Action

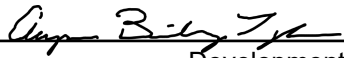
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**3-Year Sunset Date: August 27, 2023**  
**Record at least ½ of the land area approved.**

**5-Year Sunset Date: August 27, 2025**  
**Record entire subdivision.**

I hereby certify this administrative decision.

Signed:  Date: 08/27/2020  
Development Services Dir/Designee  
Staff Coordinator: Michael Walters

# PRELIMINARY SUBDIVISION PLANS FOR HARGETT STREET TOWNHOMES 708 E. HARGETT STREET RALEIGH, NORTH CAROLINA

CITY OF RALEIGH CASE FILE: SUB-0057-2019

PREPARED FOR:  
ANDREW GHASSEMIAN  
708 E. HARGETT ST  
RALEIGH, NORTH CAROLINA 27601

PREPARED BY:  
**CRUMPLER**  
Consulting Services, PLLC

2308 Ridge Road  
Raleigh, North Carolina 27612  
Ph. 919-413-1704  
P-1533

## BOARD OF ADJUSTMENT-APPROVED VARIANCE DECISIONS

(BOA-2044-2019 - 1/31/20)

DECISION: APPROVED AS REQUESTED.

WHEREAS ANDREW GHASSEMIAN, PROPERTY OWNER, REQUESTS A 2' VARIANCE TO THE MINIMUM DRIVEWAY WIDTH REQUIREMENT SET FORTH IN SECTION 8.3.3.C. OF THE UNIFIED DEVELOPMENT ORDINANCE TO PERMIT A SHARED DRIVEWAY (TWO ACCESS POINTS) WITH A WIDTH OF 10'; AN 11' VARIANCE, A 65' VARIANCE AND A 90' VARIANCE FROM THE MINIMUM 100' SPACING REQUIREMENT SET FORTH IN SECTION 5.2.3.A. OF THE RALEIGH STREET DESIGN MANUAL, TO PERMIT TWO DRIVEWAYS TO BE LOCATED ON THE PROPERTY THAT ARE APPROXIMATELY 89' FROM EACH OTHER AND 35' AND 40' FROM ADJACENT DRIVEWAYS WHEN MEASURED CENTERLINE TO CENTERLINE; A 120' VARIANCE AND A 35' VARIANCE FROM THE REQUIREMENT SET FORTH IN ARTICLE 8.5 OF THE RALEIGH STREET DESIGN MANUAL THAT DRIVEWAYS BE LOCATED 200 FEET OR MORE FROM THE INTERSECTION OF EAST HARGETT STREET AND SOUTH SWANN STREET TO PERMIT TWO DRIVEWAYS TO BE LOCATED APPROXIMATELY 75 FEET AND 185 FEET FROM THE INTERSECTION IN ORDER TO SUBDIVIDE ONE LOT INTO FIVE LOTS (FOUR RESIDENTIAL LOTS AND ONE COMMON AREA LOT) ON A .4-ACRE PROPERTY ZONED R-10 AND LOCATED AT 708 E HARGETT ST.

(A-165-19 - 1/31/20)

DECISION: APPROVED AS REQUESTED.

WHEREAS ANDREW GHASSEMIAN, PROPERTY OWNER, REQUESTS A DESIGN ADJUSTMENT FOR COMPLETE RELIEF FROM THE CROSS-ACCESS REQUIREMENTS SET FORTH IN SECTION 8.3.5.D. OF THE UNIFIED DEVELOPMENT ORDINANCE; RELIEF FROM THE FOLLOWING ROADWAY AND STREETScape REQUIREMENTS FOR E HARGETT ST, AN AVENUE A-LANE UNIMPROVED STREET, SET FORTH IN UDO SECTION 8.3.5.A; (I) A 4.25' DESIGN ADJUSTMENT TO THE MINIMUM PLANTING AREA WIDTH OF 6' AND (II) A DESIGN ADJUSTMENT TO THE PLANTING AREA LOCATION REQUIREMENT TO PERMIT STREET TREES TO BE PLANTED ON THE SOUTH SIDE OF THE SIDEWALK TOWARDS THE INTERIOR OF THE PROPERTY IN ORDER TO SUBDIVIDE ONE LOT INTO FIVE LOTS (FOUR RESIDENTIAL LOTS AND ONE COMMON AREA LOT) ON A .4-ACRE PROPERTY ZONED R-10 LOCATED AT 708 E HARGETT ST.

## SITE EXEMPTION NOTES:

-THIS SITE IS LESS THAN 2 ACRES AND EXEMPT OF CITY OF RALEIGH UNIMPROVED DEVELOPMENT ORDINANCE SECTION 8.3.5.A TREE CONSERVATION APPLICABILITY.

-THE SITE WILL BE CONFORMING TO THE EXEMPTION OF STORMWATER CONTROL REQUIREMENTS THROUGH THE CITY OF RALEIGH UNIMPROVED DEVELOPMENT CODE SECTION 8.3.5.A-1.8.8 AS AMENDED BY TC-4-18.

SHEET	DESCRIPTION
C-1	COVER
C-2	EXISTING CONDITIONS
C-3	SITE PLAN
C-4	UTILITY PLAN
C-5	GRADING AND STORMDRAINAGE PLAN
C-6	LANDSCAPING PLAN
D-1	DETAILS

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.

CALL 48 HOURS  
BEFORE YOU DIG



NORTH CAROLINA  
ONE-CALL CENTER  
1-800-632-4949

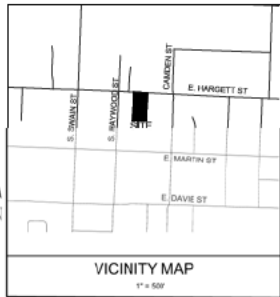
**CRUMPLER**  
Consulting Services, PLLC  
2308 Ridge Road  
Raleigh, North Carolina 27612  
Ph. 919-413-1704  
P-1533

PRELIMINARY PLANS  
NOT FOR CONSTRUCTION

DATE	DESCRIPTION
03/25/20	CITY OF RALEIGH COMMENTS
07/15/20	CITY OF RALEIGH COMMENTS

COVER SHEET  
W. HARGETT TOWNHOMES  
708 E. HARGETT STREET  
RALEIGH, NORTH CAROLINA

PROJECT NO.: 18006
DRAWN BY: JAC
CHECKED BY: JAC
DATE: 08/28/18
SCALE: 1" = 20'
C-1
1 of 7



## DEVELOPMENT SERVICES

### Preliminary Subdivision Plan Application

This form is used when submitting a Preliminary Subdivision (SD) Section 8.3.3.2. Please check the appropriate review type and include the plan checked document.

Please email your completed application to [CRUMPLER@raleighnc.gov](mailto:CRUMPLER@raleighnc.gov)

Office Use Only: Case # \_\_\_\_\_ Planner (print) \_\_\_\_\_  
Preapplication Conference Date: \_\_\_\_\_ Planner (signature) \_\_\_\_\_

DEVELOPMENT TYPE: UDO Section 2.1.2

☐ Conventional Subdivision ☐ Compact Development ☐ Conservation Development ☐ Cottage Court

NOTE: Subdivisions may require City Council approval if a Major Plan, Overlay or Historic District District

## GENERAL INFORMATION

Scoping/related plan case number(s): \_\_\_\_\_

Development name (subject to approval): E. Hargett Street Townhomes

Property Address(es): 708 E. Hargett Street

Recorded Deed/PIN: 1333-99-756171-08-4194

What is your project type? ☐ Single family ☒ Townhouse ☐ Attached houses

☐ Apartment ☐ Non-residential ☐ Other \_\_\_\_\_

## CURRENT PROPERTY OWNER/DEVELOPER INFORMATION

NOTE: Please check and provide signature when submitting this form.

Company: Owner/Developer Name and Title: Andrew Ghassseman

Address: 708 E. Hargett Street, Raleigh, NC 27601

Phone # 252-256-1458 Email: [andrewghassseman@gmail.com](mailto:andrewghassseman@gmail.com)

Company: Crumpler Consulting Services, PLLC Contact Name and Title: Josh Crumpler, PE

Address: 2308 Ridge Road, Raleigh, NC 27612

Phone # 919-118-1791 Email: [josh@crumplerconsulting.com](mailto:josh@crumplerconsulting.com)

Continue to the next page

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[raleighnc.gov](http://raleighnc.gov)

## DEVELOPMENT TYPE + SITE DATA TABLE

(Applicable to all developments)

### PROJECT INFORMATION

Gross site acreage: 0.46/17.276

Zoning district (if more than one, provide acreage of each): R-10

Overlay district: Inside City limits? ☐ Yes ☒ No

Conditional Use District (CUD) Case # Z: \_\_\_\_\_ Board of Adjustment (BOA) Case # A: \_\_\_\_\_

### STORMWATER INFORMATION

Existing Impervious Surface: \_\_\_\_\_ Proposed Impervious Surface: \_\_\_\_\_

Acres: \_\_\_\_\_ Acres: \_\_\_\_\_

Neuse River Buffer: ☐ Yes ☒ No Wetlands: ☐ Yes ☒ No

Is this a flood hazard area? ☐ Yes ☒ No

If yes, please provide the following:

Flood study: \_\_\_\_\_

FEMA Map Panel #: 131171602

### NUMBER OF LOTS AND DENSITY

Total # of townhouse lots: 4 Detached: 0 Attached: \_\_\_\_\_

Total # of single-family lots: 0

Proposed density for each zoning district (UDO 1.3.2.2.F): 10

Total # of open space and/or common-area lots: 1

Total # of requested lots: 0

### SIGNATURE BLOCK

In filing this plan as the property owner(s), I/we do hereby agree and certify that I/we are the owner(s), and I/we agree to accept all conditions, administration, successors, and assigns jointly and severally to construct all improvements and make all dedications as shown on the proposed development plan as approved by the City of Raleigh.

I hereby designate [josh@crumpler.com](mailto:josh@crumpler.com) to represent me in any public meeting regarding this application.

In signing this plan as the property owner(s), I/we do hereby agree and certify that I/we are the owner(s), and I/we agree to accept all conditions, administration, successors, and assigns jointly and severally to construct all improvements and make all dedications as shown on the proposed development plan as approved by the City of Raleigh.

Use these lines to acknowledge and affirm that this project is conforming to all applicable requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing of a final subdivision and subdivision plan, which states applications will expire after 180 days of receipt.

Signature: [andrewghassseman@gmail.com](mailto:andrewghassseman@gmail.com) Date: 10/1/2019

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

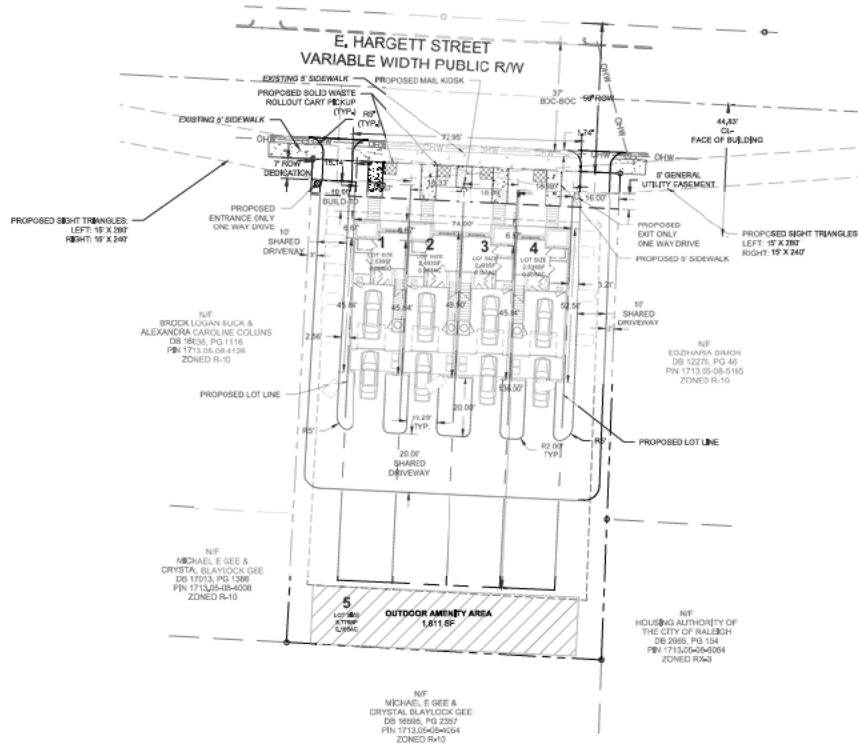
Printed Name: \_\_\_\_\_

Please email your completed application to [CRUMPLER@raleighnc.gov](mailto:CRUMPLER@raleighnc.gov)

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[www.raleighnc.gov](http://www.raleighnc.gov)

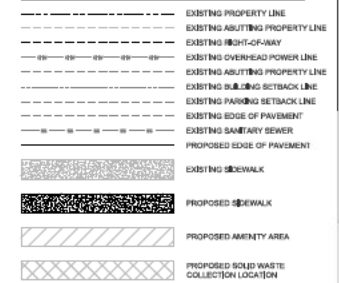
[raleighnc.gov](http://raleighnc.gov)



## ADA NOTES

1. PROPOSED ADA PARKING AND STALL STRIPPING SHALL HAVE SLOPES NO STEEPER THAN 1:48 (2%).
2. PROPOSED ACCESSIBLE ROUTE TO RIGHT-OF-WAY AND PROPOSED SIDEWALKS SHALL HAVE A MAXIMUM SLOPE NO STEEPER THAN 1:20 (5%) AND CROSS SLOPES NO STEEPER THAN 1:48 (2%).
3. RAMPS SHALL COMPLY WITH THE REQUIREMENTS OF 2012 NCSCB SECTION 1010.
4. HANDRAILS SHALL COMPLY WITH THE REQUIREMENTS OF 2012 NCSCB SECTION 1012.

### LEGEND



## SUMMARY INFORMATION

DEVELOPMENT NAME: 1, HARGETT TOWNHOMES  
 SITE ADDRESS: 708 E. HARGETT STREET  
 RALEIGH, NORTH CAROLINA  
 PHN NUMBER: 1773-954-194  
 TOTAL GROSS ACREAGE: 0.40 ACRE (17,579 SF)  
 TOTAL ROW DEDICATION: 0.017 ACRE (758 SF)  
 TOTAL NET ACREAGE: 0.387 ACRE (16,844 SF)  
 JURISDICTION: CITY OF RALEIGH  
 CURRENT ZONING DISTRICT: R-10  
 EXISTING USE: SINGLE FAMILY  
 PROPOSED USE: TOWNHOMES  
 PROPOSED UNITS: 4 (2 BEDROOM) UNITS  
 PROPOSED LOTS: 4 LOTS  
 PROPOSED DENSITY: 10  
 REQUIRED BLOCK PERMETER: 2,500'  
 PROVIDED BLOCK PERMETER: 1,750'  
 REQUIRED BUILD-OUT (PRIMARY): 17' MIN, 60' MAX  
 PROVIDED BUILD-OUT (PRIMARY): 10'  
 REQUIRED BUILD-OUT WIDTH (PRIMARY): 70.0%, 104.6' FRONTAGE  
 PROVIDED BUILD-OUT WIDTH (PRIMARY): 70.0%, 74.7'  
 BUILDING WIDTH  
 REQUIRED OUTDOOR AMENITY AREA: 10.0%, 1,758 SF  
 PROVIDED OUTDOOR AMENITY AREA: 10.0%, 1,811 SF  
 BUILDING SETBACKS:  
 FRONT: 10'  
 SIDE STREET: 10'  
 SIDE: 10' OR 3'  
 REAR: 30'  
 PARKING SETBACKS:  
 FRONT: 30'  
 SIDE STREET: 10'  
 SIDE: 10' OR 3'  
 REAR: 3'  
 PRE DEVELOPMENT IMPERVIOUS AREA (SF): 3,759 SF  
 POST DEVELOPMENT IMPERVIOUS AREA (SF): 5,880 SF, 56.04%  
 EXISTING PARKING:  
 NA  
 REQUIRED PARKING:  
 1 PARKING SPACES PER BEDROOM+8 SPACES  
 PROPOSED PARKING:  
 8 PARKING SPACES  
 SPACE PARKING REQUIRED: 4 SHORT TERM  
 SPACE PARKING PROVIDED: 4 SHORT TERM  
 OWNER/DEVELOPER:  
 ANDREW CHASEMAN  
 708 E. HARGETT ST  
 RALEIGH, NORTH CAROLINA 27601  
 ENGINEER:  
 CRUMPLER CONSULTING SERVICES, PLLC  
 CONTACT: JOHN CRUMPLER, PE  
 2308 REDGE ROAD  
 RALEIGH, NORTH CAROLINA 27612  
 (919) 413-1704

NOTES

1. TOPOGRAPHIC AND BOUNDARY SURVEY PROVIDED BY CHANCE SURVEYING CO., PA. DATED 08/06/18.
2. PROPERTY IS LOCATED IN ZONES X (AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE AND FUTURE 1% ANNUAL CHANCE FLOODPLAIN) BASED ON THE FEMA MAP NUMBER 320711306J DATED MAY 2, 2006.
3. NO ONSITE STREAMS OR WETLANDS HAVE BEEN IDENTIFIED WITHIN THE PROJECT OR PARCELS AS SHOWN.
4. PROPOSED SOLID WASTE COLLECTION LOCATION IS FOR REPRESENTATIVE PURPOSES AND DOES NOT REPRESENT ANY ADDITIONAL, SUPERVISED SURFACE OR STRUCTURAL COMPONENTS.

**PRELIMINARY PLANS**  
NOT FOR CONSTRUCTION

NEW	DESCRIPTION	DATE
1	CITY OF RALEIGH COMMENTS	03/25/20
2	CITY OF RALEIGH COMMENTS	07/15/20

**SITE PLAN**  
**W. HARGETT TOWNHOMES**  
708 E. HARGETT STREET  
RALEIGH, NORTH CAROLINA

PROJECT NO.: 18006

DRAWN BY: JAC

CHECKED BY: JAC

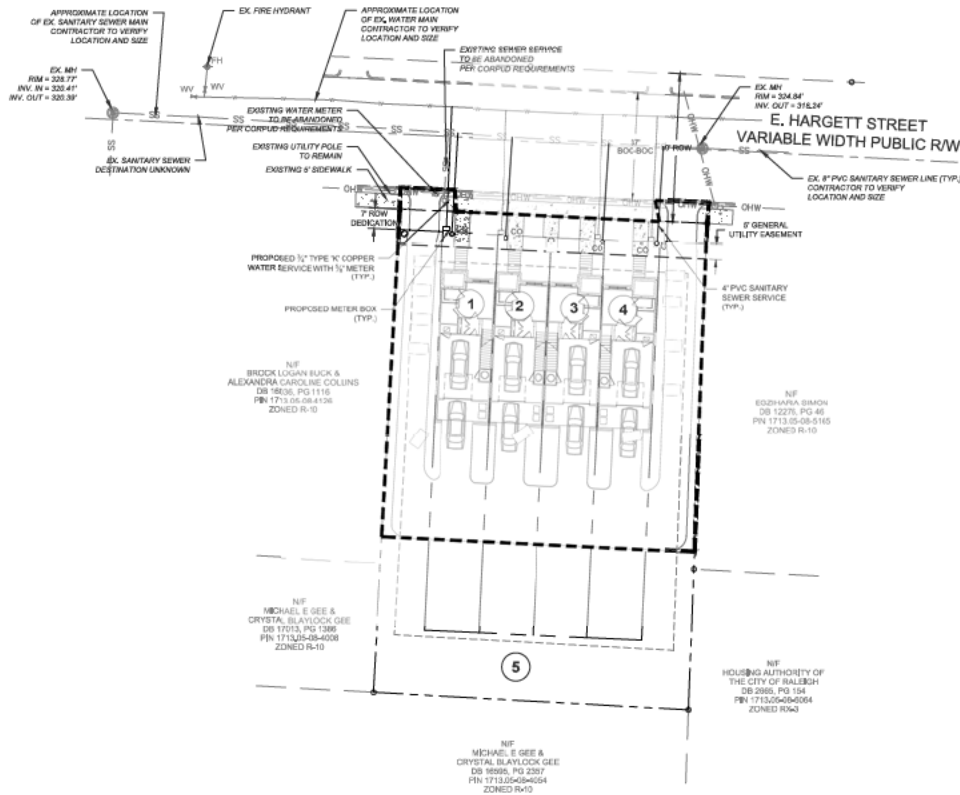
ATE: 08/28/18

DATE: 1<sup>st</sup> = 20<sup>th</sup>

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6-3





NOTES

1. TOPOGRAPHIC AND BOUNDARY SURVEY PROVIDED BY CHANCE SURVEYING CO., PA. DATED 08/01/18.
2. PROPERTY IS LOCATED IN ZONES X (AREA DETERMINED TO BE OUTSIDE THE 1% ANNUAL CHANCE AND FUTURE 1% ANNUAL CHANCE FLOODPLAIN) BASED ON THE FEMA MAP NUMBER 3700171300J DATED MAY 2, 2006.
3. NO ONSITE STREAMS OR WETLANDS HAVE BEEN IDENTIFIED WITHIN THE PROJECT OR PARCEL AS SHOWN.

LEGEND

- EXISTING PROPERTY LINE
- EXISTING ADJUTING PROPERTY LINE
- EXISTING RIGHT-OF-WAY
- EXISTING OVERHEAD POWER LINE
- EXISTING ADJUTING PROPERTY LINE
- EXISTING BUILDING SETBACK LINE
- EXISTING PARKING SETBACK LINE
- EXISTING EDGE OF PAVEMENT
- PROPOSED WATERLINE
- PROPOSED SANITARY SEWER
- PROPOSED EDGE OF PAVEMENT
- PROPOSED CONCRETE SIDEWALK

CITY OF RALEIGH UTILITY NOTES

1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CRPUD HANDBOOK, CURRENT EDITION).
2. UTILITY SEPARATION REQUIREMENTS:
  - a. A DISTANCE OF 10' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERRICUS SANITARY SEWERS SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
  - b. WHEN INSTALLING WATER & RCP SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
  - c. WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, OR MATERIALS OR STEEL ENCASUREMENT EXTENDED 10' ON EACH SIDE OF CROSSINGS MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
  - d. 4" MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS OTHERWISE SPECIFIED FOR SANITARY SEWER.
  - e. MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS. MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY OF MATERIAL & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE PER CRPUD DETAIL W41 & W45.
  - f. ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
3. ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN AND PROPOSED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
4. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
5. 4" MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 4" MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
6. ABANDON AND REMOVE EXISTING WATER AND SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF SITE AS DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CRPUD HANDBOOK PROCEDURES.
7. INSTALL 2" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
8. INSTALL 4" PVC SEWER SERVICES @ 1/2% MINIMUM GRADE WITH CLEANOUTS. SEWER SERVICE LINES TO PASS BELOW WATER MAIN WITH A MINIMUM 18" VERTICAL CLEARANCE.
9. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINAGE LOWER THAN 1/2' ABOVE THE NEXT UPSTREAM MANHOLE.
10. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDD, USACE & RCP FMA FOR ANY REVISION BUFFER, WETLAND & ARI FLOODPLAIN IMPACTS RESPECTIVELY PRIOR TO CONSTRUCTION.
11. NCDD & RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK INCLUDING MAIN EXTENSIONS & SERVICE TAPS WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
12. GREASE INTERCEPTOR / OIL WATER SEPARATOR DESIGN CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CRPUD FOOD PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TM REASLEY AT (919) 996-2334 OR tmreasley@raleighnc.gov FOR MORE INFORMATION.
13. CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX A OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED BOTH INITIAL AND PERIODIC TESTING THEREAFTER IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM. WHOEVER IS MORE RECENT, CONTACT JOANNE HARTLEY AT (919) 996-4863 OR jhartley@raleighnc.gov FOR MORE INFORMATION.



SCALE: 1" = 20 FEET

CRUMPLER  
Consulting Services, PLLC

2000 Major Road  
Raleigh, NC 27612  
Phone: 919-435-1704  
Fax: 919-435-1704

PRELIMINARY PLANS  
NOT FOR CONSTRUCTION

DATE	DESCRIPTION
03/25/20	CITY OF RALEIGH COMMENTS
07/15/20	CITY OF RALEIGH COMMENTS

UTILITY PLAN

W. HARGETT TOWNHOMES  
700 E. HARGETT STREET  
RALEIGH, NORTH CAROLINA

PROJECT NO.: 18006

DRAWN BY: JAC

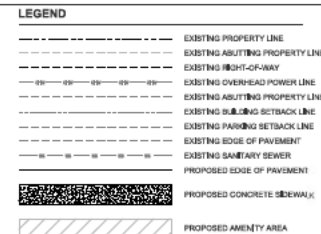
CHECKED BY: JAC

DATE: 05/28/18

SCALE: 1" = 20'

C-4

4 of 5



## LANDSCAPING NOTES

1. STREET TREE PLANTINGS SHALL ADHERE TO THE CITY OF FAIRFAX TREE MANUAL.
2. ALL DISTURBED AREAS NOT OCCUPIED BY STRUCTURES, PAVING OR PLANTINGS SHALL BE SEEDED AND WATERED.
3. SEE DETAIL SHEETS FOR SEEDING SCHEDULE.
4. ALL TREE PLANTINGS SHALL BE MAINTAINED TO A DEPTH OF 1/2" KEEP MULCH 2" FROM ROOTS AND DO NOT CONTACT STEM
5. A 6" BARK OF PEST RESISTANT (E.G. SAMPAL) SHALL BE TWENTY INCHES THICK FOR TREE TRUNKS.
6. MINIMUM PLANTING DEPTH SHALL BE 6" IN LAWNS AREAS AND 12" IN LANDSCAPED AREAS/CONCRETO TO PREVENT ALL CRACKS. TOPSOIL OR COMPOST OR SHALL BE USED TO FILL THE TOPSOIL. ADDITIONAL COST TO DIVERTER CREDITED TO BIDDER. NOT SUFFICIENT TO MEET THE NEEDS OF THE PROJECT.
7. CONTRACTOR TO REVEAL 10% OF 1" CORE SAMPLES FOR EACH 18" OF PLANTING. CORES TO BE ACCEPTABLE. CORES SHALL BE PLUGGED WITH BARK PINE MOSS OR 8-INCHES OF COMPOSTED LEAVES.
8. CONTRACTOR TO FIELD VERIFY LOCATION OF EXISTING UTILITIES BEFORE BEGINNING OF GRADING AND LANDSCAPE INSTALLATION.
9. CONTRACTOR TO VERIFY PLANTING QUANTITIES AS SHOWN ON EXHIBIT. PLANTING QUANTITIES SHALL BE PLANT FRONTS OVER QUANTITIES SHOWN ON EXHIBIT. PLANT SET OFF OR DEGRADES PLANTS.
10. ALL PLANTS ARE TO BE THOROUGHLY WATERED BY THE SAME DAY AIR PLANTED.
11. THE PLANT HOLE WIDTH SHALL BE A MINIMUM THREE TIMES THE DIAMETER OF THE ROOTLET.
12. COMPLETELY REMOVE TOP SOIL AND GRASS LEAVING ONE SHARP EDGE AND DRAINAGE FROM HOLES TO REPLACEMENT SOIL AND GRASS SHALL BE COMPLETED.
13. ALL TREES, PLANTS, PLANTING SHALL HAVE THE SAME RELATIONSHIP TO FINISHED GRADE AS TO THE GRADING PLAN.
14. LANDSCAPING SHOWN MEETS REQUIREMENTS.
15. ALL ADDITIONAL LANDSCAPING SHALL BE PER OWNER.
16. ALL LANDSCAPING SHALL BE GUARANTEED FOR ONE (1) YEAR AFTER FINAL ACCEPTANCE. ANY PLANTING NEEDING REPLACEMENT SHALL BE GUARANTEED FOR TWO (2) YEARS OF REPLACEMENT.

-THE SITE IS LESS THAN 2 ACRES AND EXEMPT OF CITY OF RALEIGH UNIFIED DEVELOPMENT ORDINANCE SECTION 9.1.2.TREE CONSERVATION APPLICABILITY,

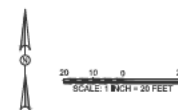
-THE TREE IMPACT PERMIT IS REQUIRED WITH BUILDING PERMIT TO PLANT TREES IN THE PUBLIC RIGHT-OF-WAY.

REQUIREMENT: 1 UNDERSTORY TREE PER 20LF = (105LF/20LF)=5 TREES  
PROVIDED: 4 STREET TREES DUE TO DRIVEWAYS AND UTILITIES\*\*

\*\*FEE/INJURY WILL BE REQUIRED TO BE PAID FOR STREET TREES PRIOR ISSUANCE OF BUILDING PERMITS

KEY	QUA.	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	ROOT	CALIPER
		SHADE TREES					
CM	4	LAURISTROEMIA SPP., L HYBRIDS	SINGLE STEM CREPE MYRTLE "ROMANDIC"	6'		DAB	2"

1. TOPOGRAPHIC AND BOUNDARY SURVEY PROVIDED BY CHANCE SURVEYING CO., PA, DATED 08/26/16.
2. PROPERTY IS LOCATED IN ZONES X (AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE AND FUTURE 1% ANNUAL CHANCE FLOODPLAIN) BASED ON THE FEMA MAP NUMBER 372017130J DATED MAY 2, 2006.
3. NO ONSITE STREAMS OR WETLANDS HAVE BEEN IDENTIFIED WITHIN THE PROJECT OR PARCEL AS SHOWN.

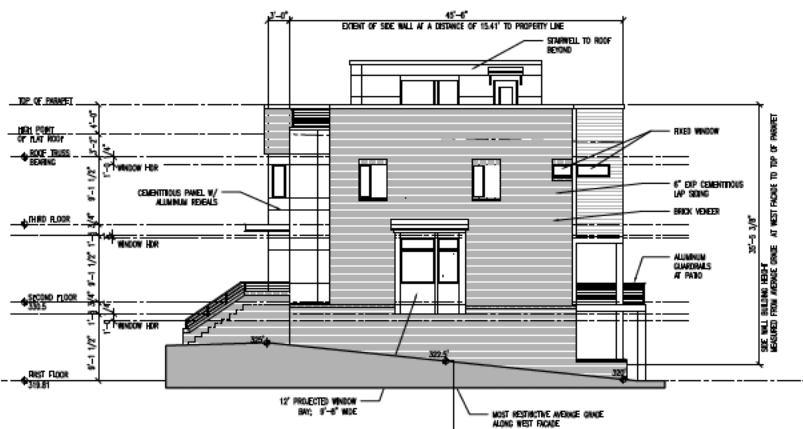




Architectural elevation drawing of a building facade. The drawing includes the following annotations:

- Top:** "EXTENT OF SIDE WALL AT A DISTANCE OF 15.41' TO PROPERTY LINE" (with dimension 45'-6") and "STAIRWELL TO ROOF BEYOND" (with dimension 3'-6").
- Left Side (Vertical Dimensions from Top):**
  - "TOP OF FINISHT"
  - "LOW POINT OF FLAT ROOF" (with dimension 8'-1 1/2")
  - "SIDE TRUSS FORWARD"
  - "THIRD FLOOR" (with dimension 8'-1 1/2")
  - "SECOND FLOOR" (with dimension 8'-1 1/2")
  - "FIRST FLOOR" (with dimension 8'-1 1/2")
- Right Side (Vertical Dimension):** "SIDE WALL FINISH HEIGHT MEASURED FROM FINISH GRADE TO TOP OF FINISHT" (with dimension 30'-3 3/4").
- Bottom:** "MOST RESTRICTIVE AVERAGE GRADE" (with dimension 318.6' and 323.0').
- Other Labels:** "WINDOW HERE" (three locations), "STAIRS" (on the right side), and "318.6'" (at the bottom left corner).

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