



Administrative Approval Action

Case File / Name: SUB-0057-2020
Cobblestone Court Subdivision - Lots 26A and 26B

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located north of Lake Boone Trail, west of Ridge Road at 3205 Cobblestone Court.

REQUEST: Development of a 0.67 (29,252 sf) acre tract zone R-4 with .009 ac (373 sf) of right-of-way dedication with a net area of .663 ac (28,879 sf) into a proposed new 2 lot subdivision. Proposed new lot 200 being 0.34 ac (14,837 sf) and new lot 201 being 0.32 ac (14,043 sf).

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated January 15, 2021 by The Nau Company, PLLC.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

Stormwater

1. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
2. These lots are exempt per UDO Section 9.2.2.A.2.b.i as a residential subdivision of one acre or less approved after May 1, 2001, but are subject to impervious limitations of subsection A.4 and subject to further review upon placement of impervious surface areas.

☒ **LEGAL DOCUMENTS** - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Utility Placement Easement Required
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☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:



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General

1. A demolition permit shall be issued and this building permit number shown on all maps for recording.

Engineering

2. A fee-in-lieu is paid to the City of Raleigh (UDO 8.1.10).
3. A 5' utility placement easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.
4. A public infrastructure surety is provided to the City of Raleigh Development Services – Development Engineering program (UDO 8.1.3).
5. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.
6. A public infrastructure surety for 3 street trees is provided to the City of Raleigh Development Services – Development Engineering program (UDO 8.1.3).

Stormwater

7. The maximum allocated impervious area for all applicable lots in the subdivision should be identified on all maps for recording.
8. All means of transporting stormwater runoff shall be shown on all plats for recording as private drainage easements (UDO 9.2).

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

Stormwater

1. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
2. Impervious restrictions for each lot must be recorded on a plat prior to building permit issuance.



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3. If total land disturbance will be over 12,000 sq. ft. for multiple houses, a separate site plan submittal & approval will be required. Site plans require an erosion control plan. (UDO 9.4.6.)

Urban Forestry

4. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 3 street trees along Cobblestone Ct.

EXPIRATION DATES: If significant construction has not taken place on a project after preliminary subdivision approval, that approval may "sunset" and be declared void, requiring re-approval before permits may be issued. To avoid allowing this preliminary approval to "sunset", the following must take place by the following dates:

3-Year Sunset Date: June 11, 2024
Record at least ½ of the land area approved.

5-Year Sunset Date: June 11, 2026
Record entire subdivision.

I hereby certify this administrative decision.

Signed: Alysia Bailey Taylor
Development Services Dir/Designee
Staff Coordinator: Jermont Purifoy

Date: 02/12/2021

COBBLESTONE COURT SUBDIVISION

LOT 200 AND 201 PRELIMINARY SUBDIVISION PLANS

RALEIGH, NC

REVISED: JANUARY 15, 2021
REVISED: NOVEMBER 18, 2020
SEPTEMBER 11, 2020

CITY OF RALEIGH - PROJECT NO. 919-612-2000

CLIENT/OWNER

MR. DOUG APPLEYARD
3205 COBBLESTONE COURT
RALEIGH, NC 27607
919-612-7412

PROPERTY DATA

PROJECT NAME: COBBLESTONE COURT SUBDIVISION, LOTS 200 AND 201 RALEIGH, NORTH CAROLINA	PROPERTY INFORMATION: OWNER: DOUGLAS ALAN AND JENNIFER APPLEYARD PIN NO. 0190-33-2424 LOCAL MAP: 01-0007672
SITE LOCATION: 3205 COBBLESTONE COURT RALEIGH, NORTH CAROLINA	SITE ADDRESS: TOTAL PARCELS: 29,253 SF (0.672 ACRES)
DEVELOPER: THE APPLEYARD 3205 COBBLESTONE COURT RALEIGH, NC 27607 PHONE: 919-612-7412	ZONING CLASSIFICATION: EXISTING ZONING: R-4 LAND USE: SINGLE FAMILY PROPOSED USE: DETACHED SINGLE-FAMILY PROPOSED LOTS: 2
CIVIL ENGINEER: THE APPLEYARD, PLLC PO BOX 810 WILKESVILLE, NORTH CAROLINA 27671 CONTACT: MR. JAMES DAVID ARNOLD, PE PHONE: 919-630-2522	ZONING DIMENSIONS: MINIMUM LOT: 10,000 SF MIN LOT (INTERIOR) WIDTH: 45 FT MIN LOT (CORNER) WIDTH: 80 FT MIN DEPTH: 100 FT MAXIMUM DENSITY: 4 UNITS/ACRE
SURVEYOR: JACK A. THOMAS, PLS 4009 US HWY 401 SOUTH YOUNGVILLE, NC 27586 CONTACT: MR. JACK THOMAS, PS PHONE: 703-586-5307	

SHEET INDEX

C-0	COVER SHEET
C-1	EXISTING CONDITIONS PLAN
C-2	SUBDIVISION AND UTILITY PLAN
L-1	LANDSCAPE PLAN

VICINITY MAP
1"=1,000 FT



Preliminary Subdivision Application

Planning and Development

NOTES: This form is used when submitting a Preliminary Subdivision Application (L-1) to the City of Raleigh. Please read the instructions and complete the form before submitting the application. Please email all documents and your preliminary subdivision plan to planning@raleighnc.gov.

DEVELOPMENT TYPE (See Section 2.1.2)	
<input checked="" type="checkbox"/> Conventional Subdivision	<input type="checkbox"/> Comprehensive Development
Subdivision may require City Council approval if in a State Park Overlay or Historic Overlay District.	
GENERAL INFORMATION	
Subdivision plan case number(s):	
Development name (subject to approval): Cobblestone Court Subdivision - LOTS 200 AND 201	
Property address(es): 3205 Cobblestone Court	
Recorded Deed File#: 0795-63-2424	
What is your organization?	
<input checked="" type="checkbox"/> Single-family	<input type="checkbox"/> Multi-family
<input type="checkbox"/> Commercial	<input type="checkbox"/> Other
CURRENT PROPERTY OWNER/DEVELOPER INFORMATION	
NOTE: Please attach purchase agreement when submitting this form.	
Company:	Owner/Developer Name and Title (Buy Agreement)
Phone: 919-612-7412	Address: 3205 Cobblestone Court, Raleigh, NC 27607
Email: appleyard@gmail.com	
APPLICANT INFORMATION	
Company:	Company Name and Title (Buy Agreement)
Phone: 919-630-2522	Address: 3205 Cobblestone Court, Raleigh, NC 27607
Email: appleyard@measures.com	

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DEVELOPMENT TYPE & SITE CHARACTERISTICS (Applicable to all developments)	
EXISTING INFORMATION	
Existing site address(es):	
Existing owner(s):	
Existing site area (sq. ft.):	
Existing site area (acres):	
Existing site area (sq. ft.):	
Existing site area (acres):	
DEVELOPMENT INFORMATION	
Existing site area (sq. ft.):	
Existing site area (acres):	
Existing site area (sq. ft.):	
Existing site area (acres):	
DEVELOPMENT INFORMATION	
Existing site area (sq. ft.):	
Existing site area (acres):	
Existing site area (sq. ft.):	
Existing site area (acres):	
DEVELOPMENT INFORMATION	
Existing site area (sq. ft.):	
Existing site area (acres):	
Existing site area (sq. ft.):	
Existing site area (acres):	

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BLOCK PERMIT:
PER CITY OF RALEIGH L-1.2.A.2.3, THIS PROJECT IS EXEMPT FROM BLOCK PERMIT REQUIREMENTS AS THE TOTAL SITE AREA (FOR 14,000 SF LOTS) IS LESS THAN 13 ACRES.

DEMOLITION NOTES:
A DEMOLITION PERMIT WILL BE REQUIRED TO BE SHOWN ON THE PLAN RECORDING OF THE LOTS.

TREE CONSERVATION NOTES:
PER CITY OF RALEIGH L-1.2, TREE CONSERVATION AREAS ARE NOT REQUIRED FOR SUBDIVISION OF PARCELS LESS THAN 2 ACRES IN SIZE.

TRANSFORMATION NOTES:
1. COBBLESTONE COURT IS CLASSIFIED AS A NEIGHBORHOOD YIELD STREET BY THE CITY OF RALEIGH STREET PLAN AND REQUIRE A 30' ROW AND 27' B ROADWAY SECTION.
2. THE EXISTING ROADWAY CURRENTLY MEETS THE 27' B ROADWAY SECTION AND THEREFORE ROADWAY IMPROVEMENTS ARE NOT REQUIRED.
3. THE EXISTING RIGHT OF WAY IS 36' WIDE AND THEREFORE 3.0' OF ADDITIONAL RIGHT OF WAY SHALL BE DEDICATED FOR THE FUTURE 30' WIDE SECTION. ADDITIONALLY A 5' SIDEWALK UTILITY PLACEMENT EASEMENT SHALL BE PROVIDED.
4. THE EXISTING SIDEWALK ALONG COBBLESTONE COURT IS 5' WIDE IN WIDTH. A 5' IN L&L WILL BE PAID FOR THE ADDITIONAL 5' REQUIRED TO BRING SIDEWALK TO A 10' WIDTH.

STORMWATER MANAGEMENT NOTES:
1. PER SECTION 2.2.2.A.2.3, SUBJECT TO 4.A OF THE PART 1A RALEIGH UNIFIED DEVELOPMENT ORDINANCE, THESE LOTS ARE EXEMPT FROM ACTIVE STORMWATER MEASURES AND SUBJECT TO FURTHER REVIEW UPON PLACEMENT OF IMPERVIOUS SURFACE AREAS.

MAXIMUM IMPERVIOUS WITHOUT DEVICE ON LOT PER L-1.2.A.2.3.A.2.3:
LOT 200 IMPERVIOUS LIMIT (14,000 SF @ 30%): 4,200 SF IMPERVIOUS IN ROW-OF-WAY + 5,544 SF
LOT 201 IMPERVIOUS LIMIT (14,000 SF @ 30%): 4,200 SF IMPERVIOUS IN ROW-OF-WAY + 4,935 SF
NOTE: IMPERVIOUS LIMIT FOR EACH LOT TO BE RECORDED ON PLAN PRIOR TO BUILDING PERMITS.

SOLID WASTE NOTES:
1. SOLID WASTE COMPLIANCE STATEMENT: DEVELOPERS HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE COLLECTION DESIGN MANUAL.
2. RESIDUE CONTAINERS ARE TO BE BOLDED TO THE CURB OF THE PUBLIC RIGHT-OF-WAY AND SERVED BY CITY OF RALEIGH SOLID WASTE SERVICES. CARTS WILL BE STORED IN GARAGES OR ON A 6' X 6' CONCRETE PAD TO THE SIDE OR REAR OF THE HOUSE.

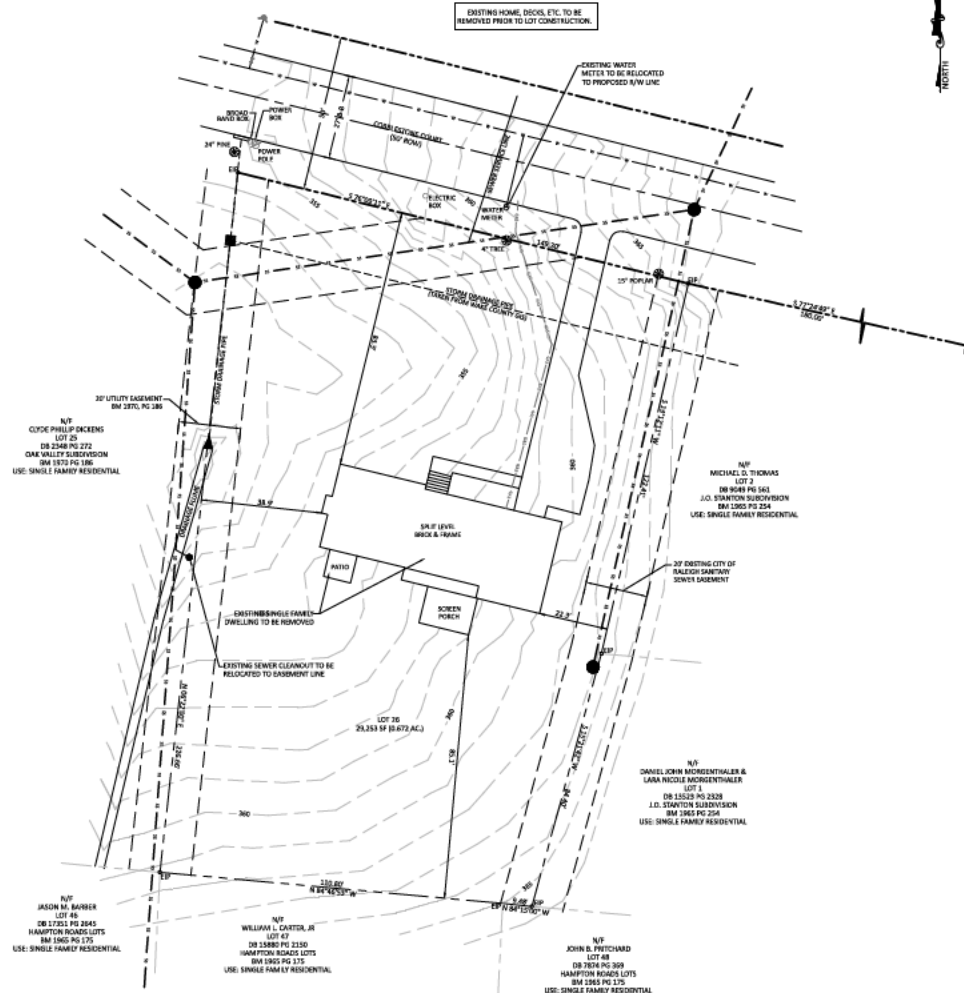


Drawn by:
Jesse P. Pappas
Checked by:
Jesse P. Pappas
Date: 10/15/2020



PO Box 990 | Raleigh, NC 27671
919-435-4388
NCELE License P-0891

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



EXISTING CONDITIONS NOTES

1. TOPOGRAPHIC SURVEY TAKEN FROM ELECTRONIC CAD FILE PROVIDED BY: JACK THOMASSON (LAND SURVEYING ON SEPTEMBER 6, 2020).
2. THE SURVEYOR DID NOT EXAMINE OR CONSIDER SURFACE OR ENVIRONMENTAL CONDITIONS FOR THIS SURVEY. ALL BUILDINGS, SURFACE AND SUBSURFACE IMPROVEMENTS ON AND ADJACENT TO THE SITE ARE NOT NECESSARILY SHOWN.
3. THE LOCATION OF UNDERGROUND UTILITIES AS SHOWN ARE BASED ON VISIBLE EVIDENCE AND DRAWINGS PROVIDED TO THE SURVEYOR. THE LOCATION OF UNDERGROUND UTILITIES AND STRUCTURES MAY VARY FROM THE LOCATION SHOWN AND ADDITIONAL BURIED UTILITIES MAY EXIST.
4. THE PROPERTY IS SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD. NO TITLE EXAMINATION HAS BEEN PERFORMED BY THE SURVEYOR OR THE MAU COMPANY, PLLC.
5. PROPERTY IS SHOWN 10' FROM NEIGHBORHOOD SHOWN.

EXISTING CONDITIONS LEGEND

EXISTING PROPERTY BOUNDARY	---
EXISTING RIGHT-OF-WAY	---
EXISTING PROPERTY LINE	---
EXISTING EASEMENT	---
EXISTING SETBACK	---
EXISTING ROAD CENTERLINE	---
EXISTING CURB & GUTTER (ROAD)	---
EXISTING SIDEWALK	---
EXISTING DRIVEWAY	---
EXISTING TRAIL	---
EXISTING PROPERTY BOUNDARY	---
EXISTING UTILITY LINE	---
EXISTING POWER LINE	---
EXISTING CABLE TV LINE	---
EXISTING FIBER OPTIC LINE	---
EXISTING GAS LINE	---
EXISTING TELEPHONE LINE	---
EXISTING STORM SEWER PIPE	---
EXISTING SANITARY SEWER PIPE	---
EXISTING SANITARY SEWER MANHOLE	---
EXISTING SANITARY SEWER CLEANOUT	---
EXISTING WATER PIPE	---
EXISTING WATER METER	---
EXISTING WATER HYDRANT	---
EXISTING WATER VALVES	---
EXISTING WATER FITTINGS	---
EXISTING BLOW-OFF ASSEMBLY	---

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH SPECIFICATIONS AND DETAILS.

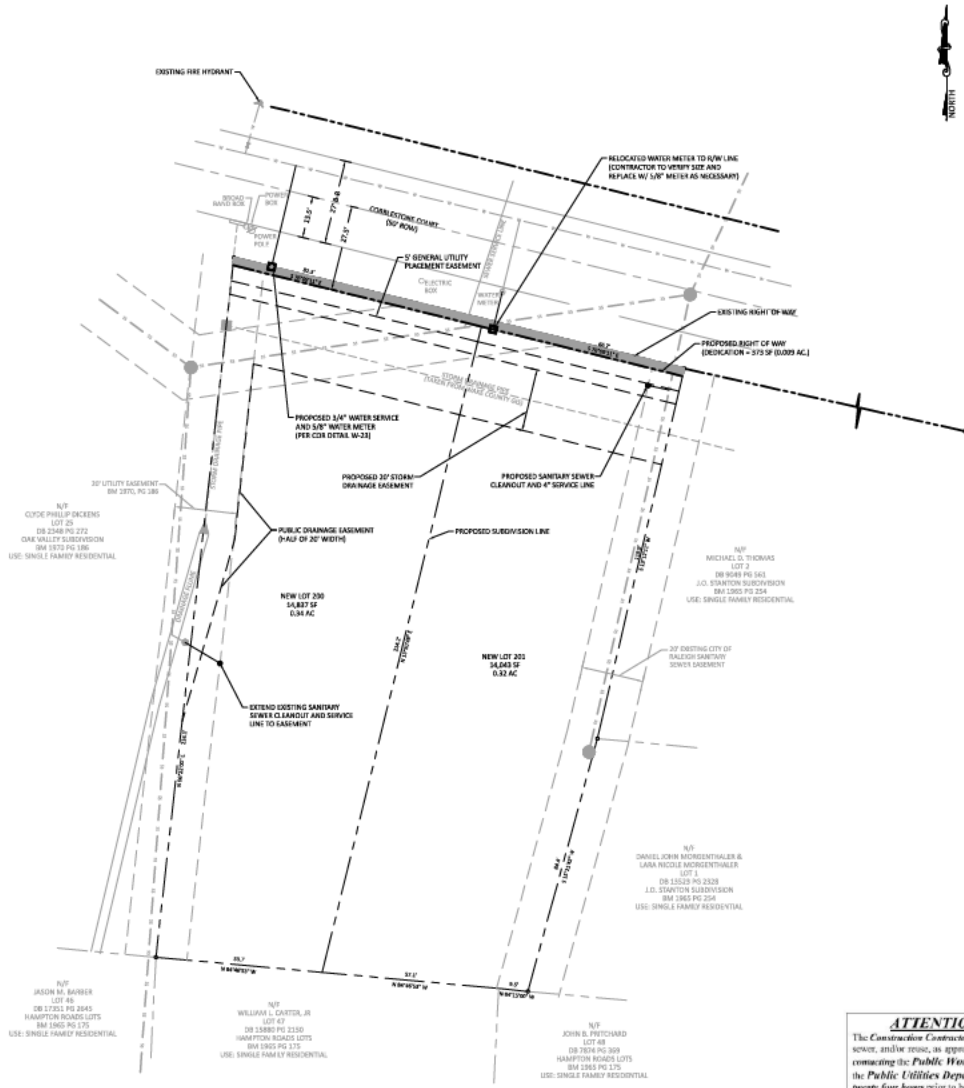
SCALE: 1"=20'
PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

The Mau Company
Surveyors
1300 COBBLESTONE COURT
RALEIGH, NC 27607
919-312-7412

PROJECT NO.:
DESIGN BY: JMA
DRAWN BY: JMA
SCALE: 1"=20'
DATE: 2020-09-11
SHEET NO.: C-1

COBBLESTONE COURT SUBDIVISION
LOTS 200 AND 201
PRELIMINARY SUBDIVISION PLANS
RALEIGH, NORTH CAROLINA
EXISTING CONDITIONS PLAN

PROJECT NO.:
DESIGN BY: JMA
DRAWN BY: JMA
SCALE: 1"=20'
DATE: 2020-09-11
SHEET NO.: C-1



ATTENTION CONTRACTORS

The Construction Contractor responsible for the extension of water, sewer, and/or gas, as approved in these plans, is responsible for consulting the **Public Works Department** at (919) 996-2499, and the **Public Utilities Department** at (919) 996-4548 at least **twenty-four hours** prior to beginning any of their construction.

Failure to notify both City Departments in advance of beginning construction, will result in the issuance of a monetary fine, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for Inspection, Install a Downstream Plug, have Permitted Plans on the Job, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.

CITY OF RALEIGH STANDARD UTILITY NOTES:

1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUS HANDBOOK, CURRENT EDITION).

2. UTILITY SEPARATION REQUIREMENTS:

A) A DISTANCE OF 18\"/>

PARCEL DATA	
PARCEL PIN	0795-53-2424
CURRENT ZONING	R-4
ZONING USED FOR LAYOUT	R-4
EXISTING USE	DETACHED SINGLE FAMILY RESIDENTIAL
PROPOSED USE	DETACHED SINGLE FAMILY RESIDENTIAL
EXISTING PARCEL AREA	24,313 SF (0.55 AC.)
ROW DEDICATION	575 SF (0.013 AC.)
PROPOSED PARCEL AREA	23,738 SF (0.54 AC.)

DEVELOPMENT DATA	
PROPOSED NUMBER OF LOTS	2
MIN LOT AREA REQUIRED	10,000 SF
MIN LOT AREA PROVIDED	14,043 SF
MINIMUM DENSITY REQUIRED	4 UNITS/ACRE
DENSITY PROVIDED	2.54 UNITS/ACRE
MIN LOT WIDTH REQUIRED	65.1 FT (MINIMUM, 80 FT (MINIMUM))
MIN LOT WIDTH PROVIDED	66.7 FT
MIN LOT DEPTH REQUIRED	100.0 FT
MIN LOT DEPTH PROVIDED	214.3 FT
FRONT SETBACK	20 FT
REAR SETBACK	10 FT
SIDE SETBACK	20 FT
CORNER SIDE SETBACK	15 FT

SITE PLAN LEGEND	
PROPOSED RIGHT OF WAY	---
PROPOSED PROPERTY LINE	---
PROPOSED SUTTER	---
EASEMENT	---
ROAD CENTERLINE	---

UTILITY PLAN LEGEND	
EXISTING SANITARY SEWER PIPE	---
SANITARY SEWER MANHOLE	●
SANITARY SEWER CLEANOUT	○
EXISTING WATER MAIN	---
WATER METER	⊕
WATER HYDRANT	⊕
WATER VALVES	⊕
WATER FITTINGS	⊕

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH SPECIFICATIONS AND DETAILS.

SCALE: 1"=20'
PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

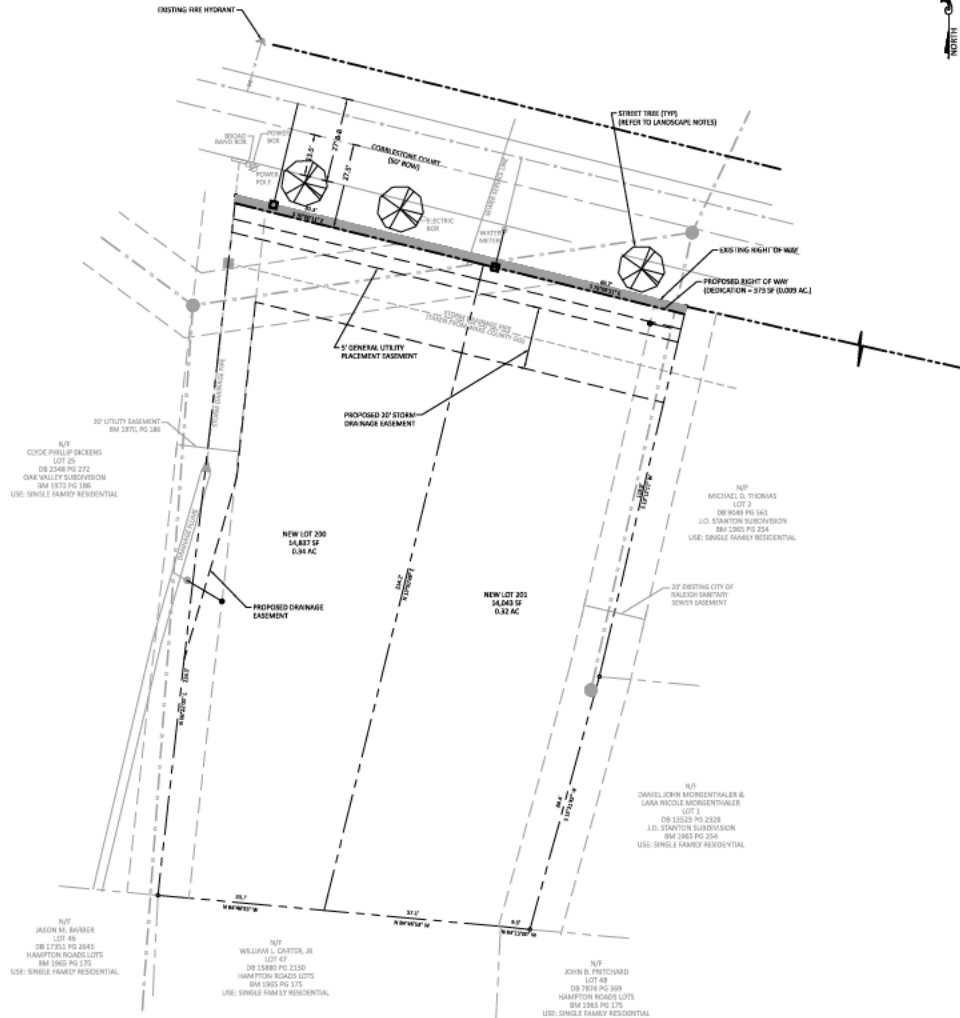
The Han Company
1300 COBBLESTONE COURT
RALEIGH, NC 27607
919.422.7412

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919.422.7412

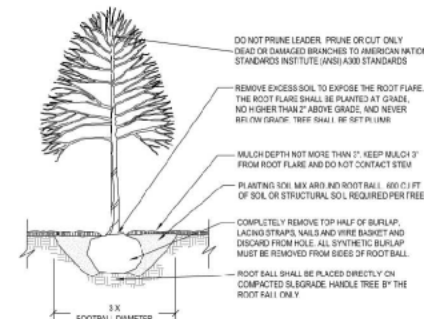
REVISIONS	DATE	BY	REVISION
1	2020-01-15	JM	REVISED PER CITY OF RALEIGH COMMENTS
2	2020-01-15	JM	REVISED PER CITY OF RALEIGH COMMENTS

COBBLESTONE COURT SUBDIVISION
LOTS 200 AND 201
PRELIMINARY SUBDIVISION PLANS
RALEIGH, NORTH CAROLINA
SUBDIVISION AND UTILITY PLAN

PROJECT NO.:
DESIGN BY: JM
DRAWN BY: JM
SCALE: 1"=20'
DATE: 2020-01-15
SHEET NO.: C-2



- LANDSCAPING NOTES:**
1. ALL TREES SHALL BE PLANTED IN ACCORDANCE WITH CITY OF RALEIGH STANDARD DETAIL, TPP-03.
 2. STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY TREE MANUAL.
 3. STREET TREES SHALL BE PROVIDED ALONG COBBLESTONE COURT IN ACCORDANCE WITH THE CITY OF RALEIGH UDO SECTION 8.4.1.5.
TOTAL LENGTH OF STREET FRONTAGE AT ROW: 148.0'
STREET TREES REQUIRED (1 SHADY TREE/40' 3 TREES STREET TREE PROPOSED - (JOHN D. STANTON) 10M MINIMUM CALIPER, 3" INCH MINIMUM HEIGHT, 10 FEET
 4. STREET TREES TO BE INSTALLED 5' FROM BACK OF CURB.

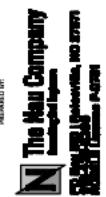


- NOTES:**
1. TREES MUST MEET THE TREE QUALITY STANDARDS IN CH. 2 OF THE CITY TREE MANUAL.
 2. CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PTS. (POSITIVE DRAINAGE AWAY FROM PIT).
 3. TREES SHALL BE PLANTED BETWEEN OCTOBER 1ST AND APRIL 30TH.
 4. A TREE IMPACT PERMIT IS REQUIRED.
 5. ELECTRICAL OUTLETS AND OTHER UTILITIES ARE PROHIBITED IN THE PLANTING AREA IMMEDIATELY SURROUNDING THE TREE.
 6. IF STAKING IN ACCORDANCE WITH THE CITY TREE MANUAL, THE STAKING MUST BE REMOVED WITHIN ONE YEAR.
 7. TREES WILL HAVE A MINIMUM 1 YEAR WARRANTY AFTER THE INITIAL PLANTING IS APPROVED BY THE CITY.

CITY OF RALEIGH STANDARD DETAIL		
REVISIONS	DATE	NOTED BY
00001		
TREE PLANTING DETAIL		
TPP-03		

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH SPECIFICATIONS AND DETAILS.

SCALE: 1"=20'
PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



FOR SOLE AND EXCLUSIVE
1000 COBBLESTONE COURT
RALEIGH, NC 27607
919-312-7417

REVISIONS	DATE	NOTED BY

**COBBLESTONE COURT SUBDIVISION
LOTS 200 AND 201**
PRELIMINARY SUBDIVISION PLANS
RALEIGH, NORTH CAROLINA

PROJECT NO.	
DESIGN BY:	
DRAWN BY:	
SCALE:	
DATE:	
SHEET NO.:	

L-1