

Administrative Approval Action

Case File / Name: SUB-0057-2021
DSLCL - CARMEN COURT SUBDIVISION

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

- LOCATION:** The site is generally located at the southwest corner of Carmen Court and Grantland Drive, with a common street address of 800 Carmen Court.
- REQUEST:** Conventional subdivision of approximately 0.45 acres zoned R-10 to create 3 detached house lots. An existing house on site will remain on one of the proposed lots.
- DESIGN ADJUSTMENT(S)/ALTERNATES, ETC:** N/A
- FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated November 24, 2021 by Crumpler Consulting Services.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

LEGAL DOCUMENTS - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

| | |
|-------------------------------------|-------------------------------------|
| <input checked="" type="checkbox"/> | Utility Placement Easement Required |
|-------------------------------------|-------------------------------------|

| | |
|--|--|
| | |
|--|--|

RECORDED MAP(S) - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

General

1. Dedicate a 20 x 20 foot joint driveway easement between lot 2 and 3 at time of plat recordation.

Engineering

2. A fee-in-lieu for 85 linear feet of 1 ft sidewalk along Grantland Avenue is paid to the City of Raleigh (UDO 8.1.10).
3. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.



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4. A 5' utility placement easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.
5. A fee-in-lieu for 60 linear feet of 6 ft wide sidewalk along Carmen Court is paid to the City of Raleigh (UDO 8.1.10).

Stormwater

6. The maximum allocated impervious area for all applicable lots in the subdivision should be identified on all maps for recording.

Urban Forestry

7. A public infrastructure surety for (4) street trees shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.

BUILDING PERMITS - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

Stormwater

1. These lots are exempt per UDO Section 9.2.2.A.2.b.i as a residential subdivision of one acre or less approved after May 1, 2001, but are subject to impervious limitations of subsection A.4 and subject to further review upon placement of impervious surface areas.
2. Impervious restrictions for each lot must be recorded on a plat prior to building permit issuance.

Urban Forestry

3. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes (2) street trees along Carmen Court and (2) street trees along Grantland Dr.

The following are required prior to issuance of building occupancy permit:

General



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1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.

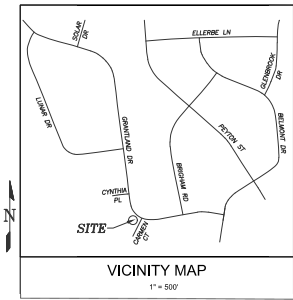
EXPIRATION DATES: If significant construction has not taken place on a project after preliminary subdivision approval, that approval may "sunset" and be declared void, requiring re-approval before permits may be issued. To avoid allowing this preliminary approval to "sunset", the following must take place by the following dates:

3-Year Sunset Date: April 13, 2025
Record at least 1/2 of the land area approved.

5-Year Sunset Date: April 13, 2027
Record entire subdivision.

I hereby certify this administrative decision.

Signed: *Alycia Bailey Taylor* Date: 12/15/2021
Development Services Dir/Designee
Staff Coordinator: Kasey Evans



SUBDIVISION PLANS FOR CARMEN COURT SUBDIVISION 800 CARMEN COURT RALEIGH, NORTH CAROLINA

CITY OF RALEIGH FILE: SUB-0057-2021

PREPARED FOR:
WEIKAN HOLDINGS, LLC
2701 HAWTREE DRIVE
RALEIGH, NORTH CAROLINA 27613

PREPARED BY:
CRUMPLER
Consulting Services, PLLC

2308 Ridge Road
Raleigh, North Carolina 27612
Ph. 919-413-1704
P-1533

SITE EXEMPTION NOTES:

- THE SITE WILL BE CONFORMING TO THE EXEMPTION OF BLOCK PERMETER AS THE SITE WILL BE DEVELOPED FOR DETACHED RESIDENTIAL USES ON LOTS NO LARGER THAN 2 ACRES PER EXEMPTION BASED ON UDO SECTION 9.2.2.A.1(A)-4.
- THE SITE WILL BE CONFORMING TO THE EXEMPTION OF TREE CONSERVATION REQUIREMENTS THROUGH THE CITY OF RALEIGH'S UNIFIED DEVELOPMENT CODE SECTION 9.1.2 FOR PARCELS LESS THAN 2 ACRES IN SIZE.
- THE SITE WILL BE CONFORMING TO THE EXEMPTION OF STORMWATER CONTROL REQUIREMENTS THROUGH THE CITY OF RALEIGH'S UNIFIED DEVELOPMENT CODE SECTION 9.2.2.A.2 AS AMENDED BY TC-2016.

NOTES

1. BOUNDARY, TOPOGRAPHY, AND EXISTING CONDITIONS SURVEY PROVIDED BY TURNING POINT SURVEYING ON 07-23-21.
2. A PORTION OF THE PROPERTY IS LOCATED IN ZONE AE (AREA DETERMINED TO BE 1% ANNUAL CHANCE FLOOD WITH THE REMAINING PORTION BEING IN ZONE X XI (AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE AND FUTURE 1% ANNUAL CHANCE FLOODPLAIN) BASED ON THE FEMA MAP NUMBER 372071300J DATED MAY 2, 2006.
3. NO ONSITE STREAMS OR WETLANDS HAVE BEEN IDENTIFIED WITHIN THE PROJECT OR PARCEL AS SHOWN.
4. THIS DRAWING IS NOT FOR RECORDATION.
5. EXISTING DRIVEWAY WILL BE ABANDONED AND REPLACED WITH STANDARD CITY OF RALEIGH CURB AND GUTTER. NEW DRIVEWAYS WILL CONFIRM TO CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
6. SOLID WASTE TO BE HANDLED BY ROLL OUT TRASH CANS FOR EACH LOT.

SHEET

- C-1 COVER
- C-2 EXISTING CONDITIONS
- C-3 PROPOSED SUBDIVISION PLAN
- C-4 PROPOSED GRADING AND STORMWATER PLAN
- C-5 PROPOSED UTILITY PLAN
- C-6 PROPOSED LANDSCAPING PLAN
- D-1 DETAILS

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.

CALL 48 HOURS
BEFORE YOU DIG



NORTH CAROLINA
ONE-CALL CENTER
1-800-632-4949

Preliminary Subdivision Application
Planning and Development

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-990-2800

INSTRUCTIONS: This form is used when submitting a Preliminary Subdivision (UDO Section 10.2.5). Please check the appropriate review type and include the plan checklist document. Please email all documents and your preliminary subdivision plans to subdivisions@raleighnc.gov.

| DEVELOPMENT TYPE (UDO Section 10.2) | |
|--|--|
| <input checked="" type="checkbox"/> Conventional Subdivision | <input type="checkbox"/> Compact Development |
| <input type="checkbox"/> Conservation Development | <input type="checkbox"/> Cottage Court |
| NOTE: Subdivisions may require City Council approval if in a Metro Park Overlay or Historic Overlay District | |
| GENERAL INFORMATION | |
| Scoping/Match plan case number(s): | |
| Development name (subject to approval): Carmen Court Subdivision | |
| Property Address(es): 800 Carmen Ct. | |
| Recorded Deed PIN(s): 1713-63-4183 | |
| What is your project type? <input checked="" type="checkbox"/> Single family <input type="checkbox"/> Apartment <input type="checkbox"/> Townhouse <input type="checkbox"/> Non-residential <input type="checkbox"/> Other: <input type="checkbox"/> Attached houses | |
| CURRENT PROPERTY OWNER/DEVELOPER INFORMATION | |
| NOTE: Please attach purchase agreement when submitting this form. | |
| Company: Weikan Holdings, LLC Owner/Developer Name and Title: Michael Wei-Owner | |
| Address: 2701 Hawtree Drive, Raleigh, NC 27613 | |
| Phone #: 919-473-8403 | Email: mwei04@gmail.com |
| APPLICANT INFORMATION | |
| Company: Crumpler Consulting Services, PLLC Contact Name and Title: Joshua Crumpler, PE | |
| Address: 2308 Ridge Road, Raleigh, NC 27612 | |
| Phone #: 919-413-1704 | Email: joah@crumplerconsulting.com |

Continue to page 2 >>> www.raleighnc.gov

| DEVELOPMENT TYPE + SITE DATE TABLE | |
|---|---|
| (Applicable to all developments) | |
| ZONING INFORMATION | |
| Gross site acreage: 0.45 | |
| Zoning district (if more than one, provide acreage of each): R-10 | |
| Overlay district: N/A | Inside City limits? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No |
| Conditional Use District (CUD) Case # Z: | Board of Adjustment (BOA) Case # A: |
| STORMWATER INFORMATION | |
| Existing Impervious Surface: Acres: 1.41 Square Feet: 178 | Proposed Impervious Surface: Acres: Square Feet: |
| Nature River Buffer: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | Wetlands: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |
| Is this a flood hazard area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | |
| If yes, please provide the following: Flood study: | |
| FEMA Map Panel #: 372071300J DATED MAY 2, 2006 | |
| NUMBER OF LOTS AND DENSITY | |
| Total # of townhouse lots: | Detached: 3 Attached: |
| Total # of single-family lots: | 3 |
| Proposed density for each zoning district (UDO 10.2.5.F): | 6.7 |
| Total # of open space and/or common-area lots: 0 | |
| Total # of requested lots: | 3 |
| SIGNATURE BLOCK | |
| The undersigned indicates that the property owner(s) is aware of the application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance. | |
| I, <u>Michael Wei</u> will serve as the agent regarding this application, and will receive all required administrative comments, resubmit plans and applicable documentation, and will represent the property owner(s) in any public meeting regarding this application. | |
| We have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing order and submitted policy, which states applications will expire after 180 days of inactivity. | |
| Signature: <u>Michael Wei</u> | Date: 08/11/2021 |
| Printed Name: Michael Wei | |
| Signature: _____ | Date: _____ |
| Printed Name: _____ | |

Please email your completed application to subdivisions@raleighnc.gov. www.raleighnc.gov

CRUMPLER
Consulting Services, PLLC
2308 Ridge Road
Raleigh, NC 27612
Ph. 919-413-1704
P-1533



ISSUED FOR PERMITTING

| REV# | DATE | DESCRIPTION |
|------|----------|--------------------------|
| 1 | 10/20/21 | CITY OF RALEIGH COMMENTS |
| 2 | 11/24/21 | CITY OF RALEIGH COMMENTS |

COVER
CARMEN COURT SUBDIVISION
800 CARMEN COURT
RALEIGH, NORTH CAROLINA

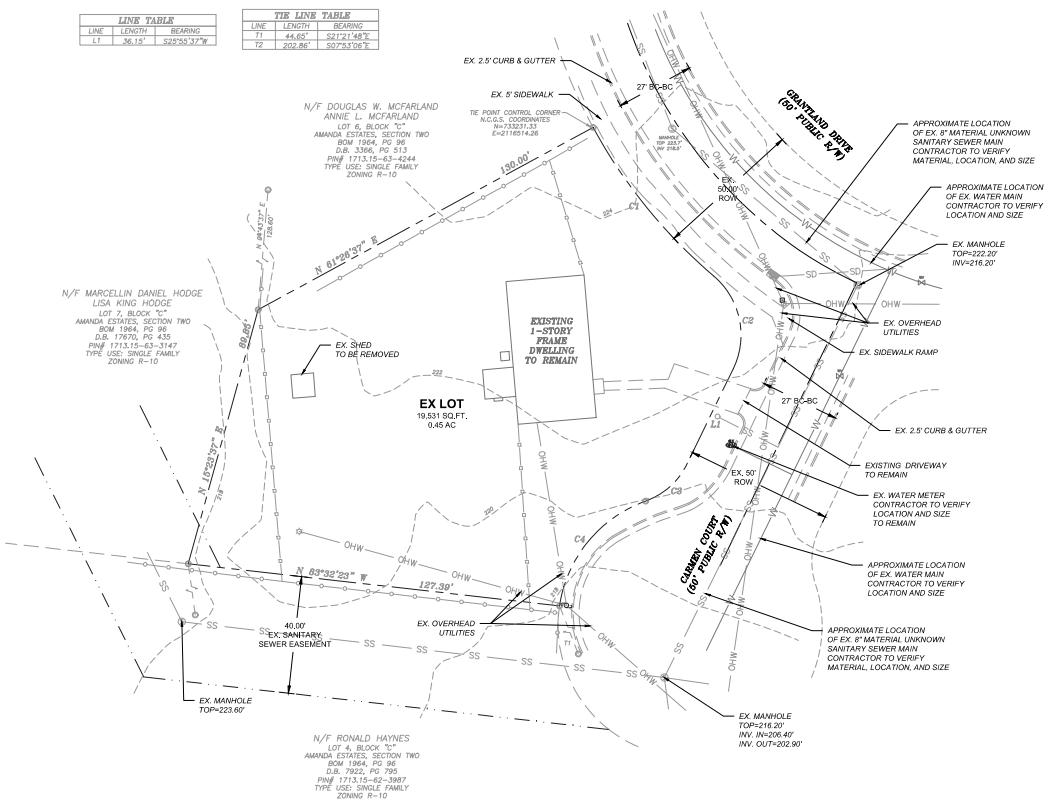
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|--------------------|
| PROJECT NO.: 21020 |
| DRAWN BY: JAC |
| CHECKED BY: JAC |
| DATE: 08/11/21 |
| SCALE: N.T.S. |

C-1

| CURVE TABLE | | | | | |
|-------------|--------|---------|-----------|---------------|--------|
| CURVE | LENGTH | RADIUS | BC/LA | CHORD BEARING | CHORD |
| C1 | 65.67' | 179.06' | 21°01'08" | S39°04'09"W | 65.31' |
| C2 | 34.71' | 68.34' | 73°30'20" | S11°49'33"W | 32.25' |
| C3 | 19.32' | 25.00' | 44°24'58" | S48°06'51"W | 16.80' |
| C4 | 48.54' | 45.00' | 61°48'11" | S32°25'14"W | 46.22' |

| LINE TABLE | |
|------------|--------------------|
| LINE | BEARING |
| L1 | 36.15' S29°35'37"E |

| TIE LINE TABLE | | |
|----------------|---------|-------------|
| LINE | LENGTH | BEARING |
| T1 | 44.65' | S41°21'48"E |
| T2 | 202.86' | S07°53'08"E |



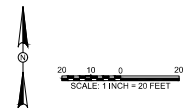
| LEGEND | |
|-------------------------|---------------------------------|
| --- | EXISTING PROPERTY LINE |
| --- | EXISTING RIGHT-OF-WAY |
| OHW --- OHW --- OHW | EXISTING OVERHEAD POWER LINE |
| --- | EXISTING ABUTTING PROPERTY LINE |
| --- | EXISTING EDGE OF PAVEMENT |
| --- | EXISTING CONTOUR MAJOR |
| --- | EXISTING CONTOUR MINOR |
| SS --- SS | EXISTING SANITARY SEWER |
| SS --- SS --- SS --- SS | EXISTING STORM SEWER |
| --- | EXISTING WATER MAIN |
| --- | EXISTING CATCH BASIN |
| --- | EXISTING SANITARY SEWER MANHOLE |
| --- | EXISTING STORMWATER MANHOLE |

NOTES

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- NO ON-SITE STREAMS OR WETLANDS HAVE BEEN IDENTIFIED WITHIN THE PROJECT OR PARCEL AS SHOWN.
- THIS DRAWING IS NOT FOR RECORDED.
- EXISTING DRIVEWAY WILL BE ABANDONED AND REPLACED WITH STANDARD CITY OF RALEIGH CURB AND GUTTER. NEW DRIVEWAYS WILL CONFIRM TO CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
- SOLID WASTE TO BE HANDLED BY ROLL OUT TRASH CANS FOR EACH LOT.

SITE EXEMPTION NOTES:

- THE SITE WILL BE CONFORMING TO THE EXEMPTION OF BLOCK PERMETER AS THE SITE WILL BE DEVELOPED FOR DETACHED RESIDENTIAL USES ON LOTS NO LARGER THAN 2 ACRES PER EXEMPTION BASED ON UDO SECTION 8.3.2.A.1.M.1.
- THE SITE WILL BE CONFORMING TO THE EXEMPTION OF TREE CONSERVATION REQUIREMENTS THROUGH THE CITY OF RALEIGH'S UNIFIED DEVELOPMENT CODE SECTION 8.1.2 FOR PARCELS LESS THAN 2 ACRES IN SIZE.
- THE SITE WILL BE CONFORMING TO THE EXEMPTION OF STORMWATER CONTROL REQUIREMENTS THROUGH THE CITY OF RALEIGH'S UNIFIED DEVELOPMENT CODE SECTION 8.2.2.A.2 AS AMENDED BY TC-2-16.



CRUMPLER
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2308 Ridge Road
Raleigh, NC 27612
Ph: 919-413-1704
Fax: 919-413-1533

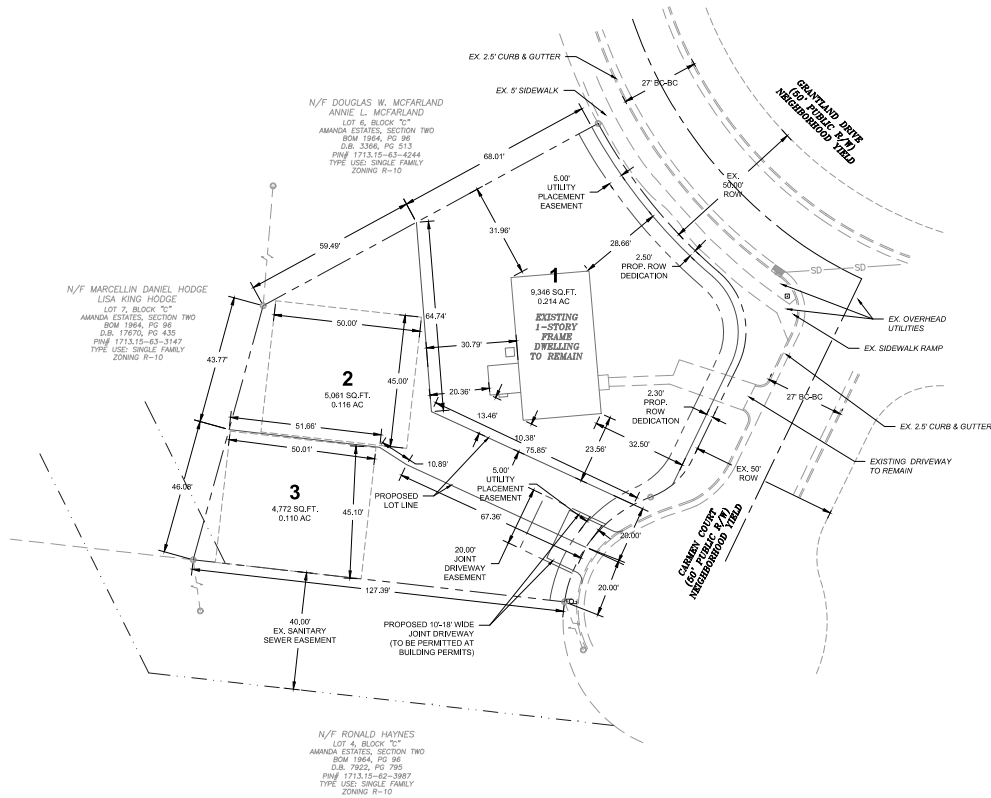
ISSUED FOR PERMITTING

| REV | DESCRIPTION | DATE |
|-----|--------------------------|----------|
| 1 | CITY OF RALEIGH COMMENTS | 10/20/21 |
| 2 | CITY OF RALEIGH COMMENTS | 11/24/21 |

EXISTING CONDITIONS PLAN
CARMEN COURT SUBDIVISION
800 CARMEN COURT
RALEIGH, NORTH CAROLINA

| | |
|-------------|----------|
| PROJECT NO. | 21020 |
| DRAWN BY: | JAC |
| CHECKED BY: | JAC |
| DATE: | 08/11/21 |
| SCALE: | 1" = 20' |

C-2
2 of 7



LEGEND

| | |
|-----|---|
| --- | EXISTING PROPERTY LINE |
| --- | EXISTING ABUTTING PROPERTY LINE |
| --- | EXISTING RIGHT-OF-WAY |
| --- | EXISTING OVERHEAD POWER LINE |
| --- | EXISTING ABUTTING PROPERTY LINE |
| --- | EXISTING EDGE OF PAVEMENT |
| --- | EXISTING EASEMENT |
| --- | PROPOSED CITY OF RALEIGH GENERAL UTILITY EASEMENT |
| --- | PROPOSED LOT LINE |

SUMMARY INFORMATION

DEVELOPMENT NAME: CARMEN COURT SUBDIVISION
SSITE ADDRESS: 800 CARMEN COURT RALEIGH, NORTH CAROLINA
PN NUMBER: 1713-63-1183

JURISDICTION: CITY OF RALEIGH
CURRENT ZONING DISTRICT: R-10

TOTAL ACRESAGE: 0.45 ACRES (19,531 SF)
PROPOSED LOT 1: 0.214 ACRES (9,348 SF)
PROPOSED LOT 2: 0.116 ACRES (5,061 SF)
PROPOSED LOT 3: 0.110 ACRES (4,772 SF)
DEDICATED RIGHT OF WAY: 0.008 ACRES (351 SF)

BLOCK PERMETER REQUIRED (MAX): 2,500 LF
BLOCK PERMETER PROVIDED: GREATER THAN 2,500 LF**
 **EXEMPT BASED ON UDO SECTION 8.3.2.A.1.b.iv FOR SITES LESS THAN 2 ACRES

OWNER/DEVELOPER:
 WELKAN HOLDINGS, LLC
 2701 HAWTHREE DRIVE
 RALEIGH, NORTH CAROLINA 27613

ENGINEER:
 CRUMPLER CONSULTING SERVICES, PLLC
 CONTACT: JOSH CRUMPLER, PE
 2388 RIDGE ROAD
 RALEIGH, NC 27612
 (919) 453-0704

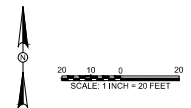
- NOTES**
- BOUNDARY, TOPOGRAPHY, AND EXISTING CONDITIONS SURVEY PROVIDED BY TURNING POINT SURVEYING ON 07-01-21.
 - A PORTION OF THE PROPERTY IS LOCATED IN ZONE AE (AREA DETERMINED TO BE 1% ANNUAL CHANCE FLOOD WITH THE REMAINING PORTION BEING IN ZONE X X (AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE AND FUTURE 1% ANNUAL CHANCE FLOODPLAIN) BASED ON THE FEMA MAP NUMBER 3720171300 DATED MAY 2, 2006.
 - NO ONSITE STREAMS OR WETLANDS HAVE BEEN IDENTIFIED WITHIN THE PROJECT OR PARCEL AS SHOWN.
 - THIS DRAWING IS NOT FOR RECORDATION.
 - EXISTING DRIVEWAY WILL BE ABANDONED AND REPLACED WITH STANDARD CITY OF RALEIGH CURB AND GUTTER. NEW DRIVEWAYS WILL CONFORM TO CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
 - SOLID WASTE TO BE HANDLED BY ROLL OUT TRASH CANS FOR EACH LOT.
 - TOTAL CUMULATIVE LAND DISTURBANCE FOR ALL ACTIVITIES ASSOCIATED WITH THIS SUBDIVISION DEVELOPMENT, INCLUDING BUT NOT LIMITED TO DEMOLITION AND NEW SINGLE FAMILY HOME CONSTRUCTION, SHALL BE LESS THAN 12,000 SF.

SITE EXEMPTION NOTES:

-THE SITE WILL BE CONFORMING TO THE EXEMPTION OF BLOCK PERMETER AS THE SITE WILL BE DEVELOPED FOR DETACHED RESIDENTIAL USES ON LOTS NO LARGER THAN 2 ACRES PER EXEMPTION BASED ON UDO SECTION 8.3.2.A.1.b.iv.

-THE SITE WILL BE CONFORMING TO THE EXEMPTION OF TREE CONSERVATION REQUIREMENTS THROUGH THE CITY OF RALEIGH'S UNIFIED DEVELOPMENT CODE SECTION 8.1.2 FOR PARCELS LESS THAN 2 ACRES IN SIZE.

-THE SITE WILL BE CONFORMING TO THE EXEMPTION OF STORMWATER CONTROL REQUIREMENTS THROUGH THE CITY OF RALEIGH'S UNIFIED DEVELOPMENT CODE SECTION 8.2.2.A.2 AS AMENDED BY TC-0-16.



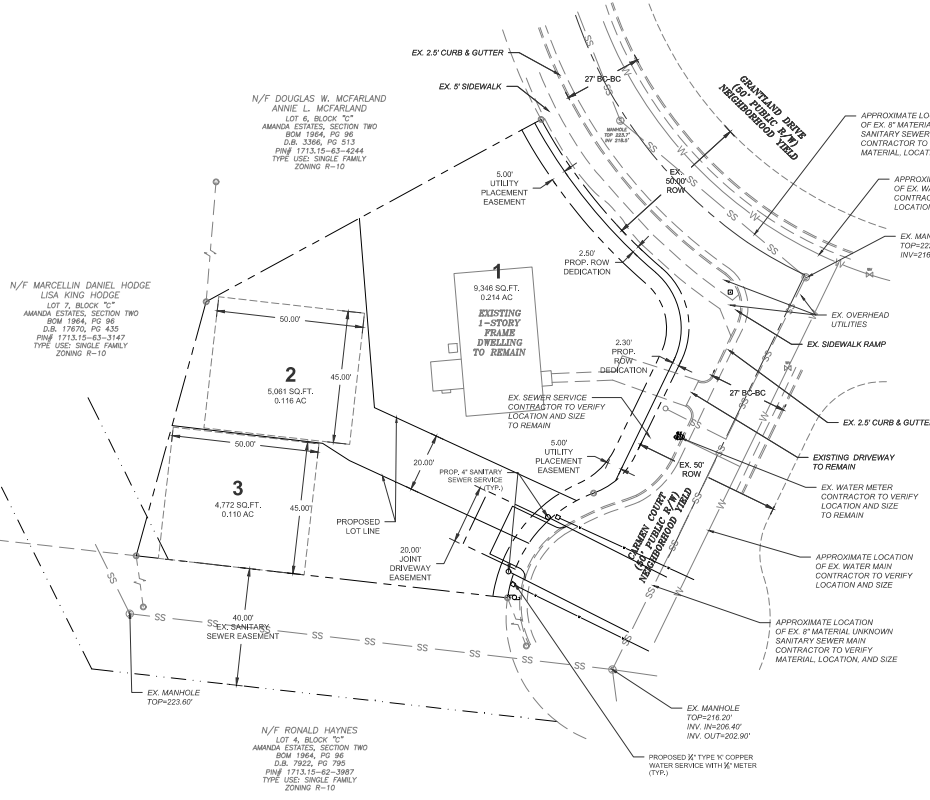
ISSUED FOR PERMITTING

| REV | DESCRIPTION | DATE |
|-----|--------------------------|----------|
| 1 | CITY OF RALEIGH COMMENTS | 10/20/21 |
| 2 | CITY OF RALEIGH COMMENTS | 11/24/21 |

SUBDIVISION PLAN
CARMEN COURT SUBDIVISION
 800 CARMEN COURT
 RALEIGH, NORTH CAROLINA

| | |
|--------------|----------|
| PROJECT NO.: | 21020 |
| DRAWN BY: | JAC |
| CHECKED BY: | JAC |
| DATE: | 08/11/21 |
| SCALE: | 1" = 20' |

GRID FILE: D:\CADD\Projects\2023\230228\230228.dwg Plot Date: 11/05/23 1:43pm



SITE EXEMPTION NOTES:

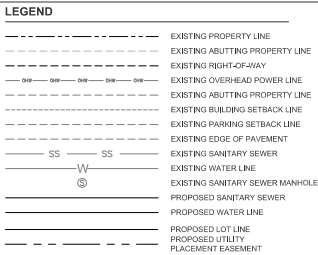
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- THE SITE WILL BE CONFORMING TO THE EXEMPTION OF STORMWATER CONTROL REQUIREMENTS THROUGH THE CITY OF RALEIGH'S UNIFIED DEVELOPMENT CODE SECTION 8.2.2.4.C AS AMENDED BY 10-0-16.

NOTES

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- SOLID WASTE TO BE HANDLED BY ROLL OUT TRASH CANS FOR EACH LOT.

FIRE PROTECTION NOTES:

- ALL PORTION OF THE EXTERIOR WALL OF THE FIRST FLOOR OF BUILDING SHALL BE LOCATED WITHIN 150 FEET OF FIRE APPARATUS LOCATED WITHIN ROADWAY.
- FIRE FLOW ANALYSIS MUST BE PROVEN PRIOR TO ISSUANCE OF BUILDING PERMITS.
- FIRE HYDRANTS SHALL BE NO MORE THAN 400' FROM A BUILDING OR HOUSE AS HOW THE FIRE HOSE LAYS.



CITY OF RALEIGH UTILITY NOTES

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
- UTILITY SEPARATION REQUIREMENTS:
 - A DISTANCE OF 10" SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS, HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL, OR 5' FROM A PUBLIC WELL.
 - WHEN INSTALLING WATER & SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10" IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DEPARTMENT. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASUREMENT EXTENDED 10" ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
- MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIALS SPECIFIED FOR SANITARY SEWER.
 - MAINTAIN 10" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORAGE DRAIN CROSSINGS, MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORAGE DRAIN CROSSINGS, WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED SPECIFY DIP MATERIALS & A CONCRETE GRADE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49)
 - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 10" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT, ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- 3/0" MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER CONCERNS, 4/2" MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- ABANDON AND REMOVE EXISTING WATER AND SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF SITE AS DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT, THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
- INSTALL 3/4" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2' X 2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSF. BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM MDOW, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NCDOT /RAIL ROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK INCLUDING MAIN EXTENSIONS & SERVICE TAPS WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD TOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 996-2334 OR timothy.beasley@raleighnc.gov FOR MORE INFORMATION.
- CROSS-CONNECTION CONTROL / PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX A OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS, THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANNE HARTLEY AT (919) 996-6923 OR joanne.hartley@raleighnc.gov FOR MORE INFORMATION.
- NEW WATER AND SEWER SERVICES SHALL BE INSTALLED BY OPEN CUT PER CITY OF RALEIGH STANDARDS.

CRUMPLER Consulting Services, PLLC
2308 Ridge Road
Raleigh, NC 27612
919-413-1704
P-1-1533

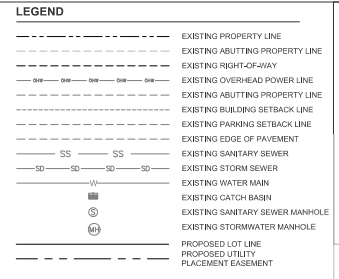
ISSUED FOR PERMITTING

| REV | DATE | DESCRIPTION |
|-----|----------|--------------------------|
| 1 | 10/20/21 | CITY OF RALEIGH COMMENTS |
| 2 | 11/24/21 | CITY OF RALEIGH COMMENTS |

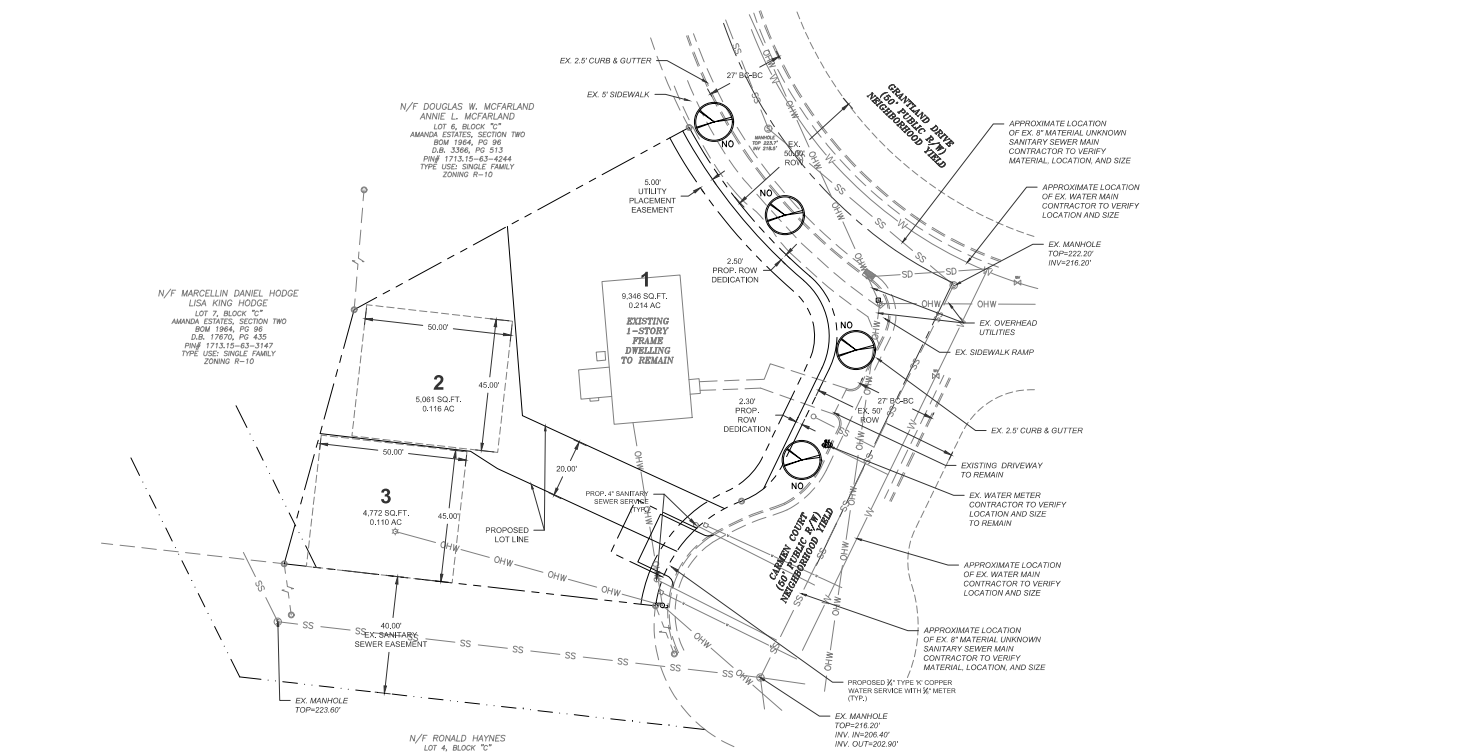
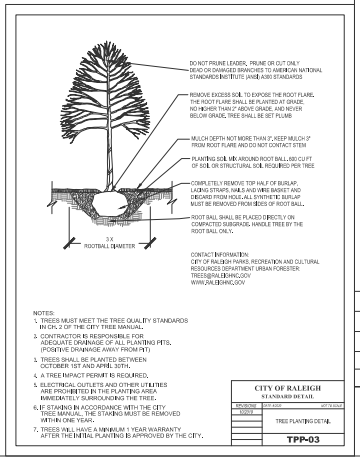
UTILITY PLAN
CARMEN COURT SUBDIVISION
800 CARMEN COURT
RALEIGH, NORTH CAROLINA

| | |
|-------------|----------|
| PROJECT NO. | 21020 |
| DRAWN BY: | JAC |
| CHECKED BY: | JAC |
| DATE: | 08/11/21 |
| SCALE: | 1" = 20' |

| REV | DATE | DESCRIPTION |
|-----|----------|--------------------------|
| 1 | 10/20/21 | CITY OF RALEIGH COMMENTS |
| 2 | 11/24/21 | CITY OF RALEIGH COMMENTS |



- LANDSCAPING NOTES**
1. STREET TREE SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY OF RALEIGH TREE MANUAL.
 2. ALL DISTURBED AREAS NOT OCCUPIED BY STRUCTURES, PAVING OR PLANTINGS SHALL BE SEEDED AND WATERED.
 3. SEE DETAIL SHEETS FOR SEEDING SCHEDULE.
 4. ALL TREE PLANTINGS SHALL BE MULCHED TO A DEPTH OF 3" KEEP MULCH 3" FROM ROOT FLARE AND DO NOT CONTACT STEM.
 5. A MINIMUM OF FOUR INDIVIDUAL SOIL SAMPLES SHALL BE TAKEN THROUGHOUT THE SITE FOR OVERALL SOIL ANALYSIS.
 6. MINIMUM TOPSOIL DEPTH SHALL BE 4" IN LAWN AREAS AND 12" IN LANDSCAPED AREAS. CONTRACTOR TO UNLEASH ALL ON-SITE TOPSOIL. CONTRACTOR SHALL SUPPLY ADDITIONAL TOPSOIL AT NO ADDITIONAL COST TO OWNER IF EXISTING TOPSOIL IS NOT SUFFICIENT TO MEET THE NEEDS OF THIS PROJECT.
 7. ALL PLANTING AREAS TO RECEIVE 1 CY OF SOIL CONDITIONER FOR EACH 75 SF OF PLANT BED AREA. ACCEPTABLE SOIL CONDITIONS SHALL BE FULFILLED PINE BARK, PEAT MOSS OR SHREDDED/COMPOSTED LEAVES.
 8. CONTRACTOR TO FIELD VERIFY LOCATION OF EXISTING UTILITIES BEFORE BEGINNING OF GRADING AND LANDSCAPE INSTALLATION.
 9. CONTRACTOR TO VERIFY QUANTITIES OF PLANTINGS AS SHOWN. PLANTINGS INDICATED ON PLANS SHALL PREVAIL OVER QUANTITIES INDICATED IN PLANT LIST IF DISCREPANCIES ARISE.
 10. ALL PLANTS ARE TO BE THOROUGHLY "WATERED IN" THE SAME DAY AS PLANTED.
 11. THE PLANT HOLE WIDTH SHALL BE A MINIMUM THREE TIMES THE DIAMETER OF THE ROOT BALL.
 12. COMPLETELY REMOVE TOP HALF OF BURLAP LACING AND WIRE BASKET AND DISCARD FROM HOLE BEFORE BACKFILLING AROUND BALL IS COMPLETED.
 13. ALL TREES, WHEN PLANTED, SHALL HAVE THE SAME RELATIONSHIP TO FINISHED GRADE AS TO THE GRADING PLAN.
 14. LANDSCAPING SHOWN MEETS REQUIREMENTS.
 15. ALL ADDITIONAL LANDSCAPING SHALL BE PER OWNER.
 16. ALL LANDSCAPING SHALL BE GUARANTEED FOR ONE (1) YEAR AFTER FINAL ACCEPTANCE. ANY PLANTINGS NEEDING REPLACEMENT WILL BE GUARANTEED FROM THE TIME OF REPLACEMENT IF AFTER FINAL ACCEPTANCE.



TREE CONSERVATION AND LANDSCAPING NOTES:

- THIS SITE IS LESS THAN 2 ACRES AND EXEMPT OF CITY OF RALEIGH UNIFIED DEVELOPMENT ORDINANCE SECTION 8.1.2 TREE CONSERVATION APPLICABILITY.
- THE TREE IMPACT PERMIT IS REQUIRED WITH BUILDING PERMIT TO PLANT TREES IN THE PUBLIC RIGHT-OF-WAY.

LANDSCAPING REQUIREMENTS

GRANTLAND DRIVE (NEIGHBORHOOD YIELD STREETSCAPE)
REQUIREMENT: 2 TREES PER 40L_F=105L_F40L_F=2 TREES PROVIDED: 2 TREES PROVIDED

CARMEN COURT (NEIGHBORHOOD YIELD STREETSCAPE)
REQUIREMENT: 2 TREES PER 40L_F=105L_F40L_F=2 TREES PROVIDED: 2 TREES PROVIDED

| KEY | QUA. | BOTANICAL NAME | COMMON NAME | AT PLANTING HEIGHT | AT PLANTING CALIPER | ROOT | MATURE HEIGHT | MATURE SPREAD |
|-----|------|-------------------|-------------|--------------------|---------------------|------|---------------|---------------|
| NO | 4 | QUERCUS NUTTALLII | NUTTALL OAK | 10' | 3" | 8&B | 60' | 45' |

SITE EXEMPTION NOTES:

THE SITE WILL BE CONFORMING TO THE EXEMPTION OF BLOCK PERIMETER AS THE SITE WILL BE DEVELOPED FOR DETACHED RESIDENTIAL USES ON LOTS NO LARGER THAN 2 ACRES PER EXEMPTION BASED ON UDD SECTION 8.3.2A.1a.iv.

THE SITE WILL BE CONFORMING TO THE EXEMPTION OF TREE CONSERVATION REQUIREMENTS THROUGH THE CITY OF RALEIGH'S UNIFIED DEVELOPMENT CODE SECTION 8.1.2 FOR PARCELS LESS THAN 2 ACRES IN SIZE.

THE SITE WILL BE CONFORMING TO THE EXEMPTION OF STORMWATER CONTROL REQUIREMENTS THROUGH THE CITY OF RALEIGH'S UNIFIED DEVELOPMENT CODE SECTION 8.2.2.2.2 AS AMENDED BY TC-24.

NOTES

1. BOUNDARY, TOPOGRAPHY, AND EXISTING CONDITIONS SURVEY PROVIDED BY TURNING POINT SURVEYING ON 07-01-21.
2. A PORTION OF THE PROPERTY IS LOCATED IN ZONE AE (AREA DETERMINED TO BE 1% ANNUAL CHANCE FLOOD) WITH THE REMAINING PORTION BEING IN ZONE X-X (AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE AND FUTURE 1% ANNUAL CHANCE FLOODPLAIN) BASED ON THE FEMA MAP NUMBER 3701 (130) DATED MAY 2, 2005.
3. NO ON-SITE STREAMS OR WETLANDS HAVE BEEN IDENTIFIED WITHIN THE PROJECT OR PARCEL AS SHOWN.
4. THIS DRAWING IS NOT FOR RECORDATION.
5. EXISTING DRIVEWAY WILL BE ABANDONED AND REPLACED WITH STANDARD CITY OF RALEIGH CURB AND GUTTER. NEW DRIVEWAYS WILL CONFIRM TO CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
6. SOLID WASTE TO BE HANDLED BY ROLL OUT TRASH CANS FOR EACH LOT.

