

Preliminary Subdivision Application

Planning and Development

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



INSTRUCTIONS: This form is used when submitting a Preliminary Subdivision (UDO Section 10.2.5). Please check the appropriate review type and include the plan checklist document. Please email all documents and your preliminary subdivision plans to SiteReview@raleighnc.gov.

DEVELOPMENT TYPE (UDO Section 2.1.2)			
<input checked="" type="checkbox"/> Conventional Subdivision	<input type="checkbox"/> Compact Development	<input type="checkbox"/> Conservation Development	<input type="checkbox"/> Cottage Court
NOTE: Subdivisions may require City Council approval if in a Metro Park Overlay or Historic Overlay District			
GENERAL INFORMATION			
Scoping/sketch plan case number(s):			
Development name (subject to approval): Corporation. Townhomes			
Property Address(es): 1751 Corporation Parkway			
Recorded Deed PIN(s): 1734172229			
What is your project type?	<input type="checkbox"/> Single family <input type="checkbox"/> Apartment	<input checked="" type="checkbox"/> Townhouse <input type="checkbox"/> Non-residential	<input type="checkbox"/> Attached houses <input type="checkbox"/> Other: _____

CURRENT PROPERTY OWNER/DEVELOPER INFORMATION	
NOTE: Please attach purchase agreement when submitting this form	
Company: Concept 8 Holdings, LLC	Owner/Developer Name and Title: Shawn Donovan, Member Manager
Address: 307 S. Salem Street Apex, NC 27502	
Phone #: 919-601-5087	Email: shawn@concepteight.com
APPLICANT INFORMATION	
Company: RDU Consulting, PLLC	Contact Name and Title: Jason G. Meadows, P.E.
Address: P.O. Box 418 Clayton, NC 27528	
Phone #: 919-889-2614	Email: jason@rduconsulting.com

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DEVELOPMENT TYPE + SITE DATE TABLE
(Applicable to all developments)

ZONING INFORMATION

Gross site acreage: 2.67 AC

Zoning districts (if more than one, provide acreage of each): CX-3-PL-CU

Overlay district: N/A

Inside City limits? Yes No

Conditional Use District (CUD) Case # Z- 13-2021

Board of Adjustment (BOA) Case # A-

STORMWATER INFORMATION

Existing Impervious Surface:

Acres: 0.06 AC Square Feet: 2,600 SF

Proposed Impervious Surface:

Acres: 1.51 AC Square Feet: 65,775 SF

Neuse River Buffer Yes No

Wetlands Yes No

Is this a flood hazard area? Yes No

If yes, please provide the following:

Alluvial soils: _____

Flood study: _____

FEMA Map Panel #:

NUMBER OF LOTS AND DENSITY

Total # of townhouse lots: **44** Detached Attached

Total # of single-family lots: 44

Proposed density for each zoning district (UDO 1.5.2.F): **16.48 UNITS/AC**

Total # of open space and/or common area lots: 1

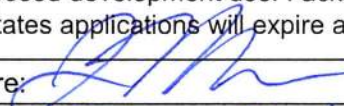
Total # of requested lots: 45

SIGNATURE BLOCK

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

I, Jason G. Meadows will serve as the agent regarding this application, and will receive and respond to administrative comments, resubmit plans and applicable documentation, and will represent the property owner(s) in any public meeting regarding this application.

I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.

Signature:  Date: 8/18/2022

Printed Name: Jason Meadows

Signature: _____ Date: _____

Printed Name: _____

Please email your completed application to SiteReview@raleighnc.gov.

CORPORATION TOWNHOMES

PRELIMINARY SUBDIVISION PLANS

SUB-XXXX-2022

RALEIGH, NORTH CAROLINA

AUGUST 18, 2022

Z-13-21 CONDITIONS OF APPROVAL

ORDINANCE NO. (2021) 251 ZC 823 EFFECTIVE 6/20/21

- The following principal uses will be prohibited: prison, jail, detention center, emergency medical office, urgent care center, veterinary clinic, adult establishment as defined by N.C. Gen. Stat. §14-202-1 0(b), vehicle fuel sales (excluding vehicle charging stations), hospital, shooting range (both indoor and outdoor), batting cage (both indoor and outdoor), water park, motor track (both indoor and outdoor), payday loan business, drive-thru restaurant, bar/nightclub/tavern/lounge (as defined by UDO Section 6.4.10.B), commercial car wash, vehicle sales, commercial vehicle repair.
- Within 100' of the northern property line (PIN 1734171673, Deed Book 008323, Page 01341; PIN 1734172623, Deed Book 017 452, Page 02261; PIN 1734172683, Deed Book 017670, Page 02359; PIN 1734173625, Deed Book 010075, Page 2184) only uses allowed in an RX-3 zoning district (including "permitted use," "limited use," and "special use") will be permitted.
- All parking and pedestrian area lighting, as described in Section 7.4.5 of the UDO, within 30' of the northern property line (PIN 1734171673, Deed Book 008323, Page 01341; PIN 1734172623, Deed Book 017 452, Page 02261; PIN 1734172683, Deed Book 017670, Page 02359; PIN 1734173625, Deed Book 010075, Page 2184) shall use full cutoff light fixtures.
- Within 100' of the northern property line (PIN 1734171673, Deed Book 008323, Page 01341; PIN 1734172623, Deed Book 017 452, Page 02261; PIN 1734172683, Deed Book 017670, Page 02359; PIN 1734173625, Deed Book 010075, Page 2184) buildings will be restricted to those building types allowed in an RX-3 zoning district.
- No principal buildings within 20' of the northern property line (PIN 1734171673, Deed Book 008323, Page 01341; PIN 1734172623, Deed Book 017 452, Page 02261; PIN 1734172683, Deed Book 017670, Page 02359; PIN 1734173625, Deed Book 010075, Page 02184) will be permitted.

DEVELOPER:

CONCEPT 8 HOLDINGS, LLC
307 S. Salem St. Suite 200
Apex, NC 27502
919-601-5078
shawn@concepteight.com

CIVIL ENGINEER:

RDU
CONSULTING, PLLC

NC LICENSE P-2425

PHONE: 919-889-2614

EMAIL: JASON@RDUCONSULTING.COM

P.O. BOX 418

CLAYTON, NC 27528

HORIZONTAL DATUM: NAD83
VERTICAL DATUM: NAVD88

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS.

SOLID WASTE INSPECTIONS STATEMENT DEVELOPERS HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE CITY OF RALEIGH SOLID WASTE MANUAL. RESIDENTS SHALL UTILIZE THE GARBAGE AND RECYCLING DUMPSTERS LOCATED ON SITE, BE COLLECTED BY CITY OF RALEIGH SOLID WASTE.

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Raleigh

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REVISION 02.19.21

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Zoning districts (if more than one, provide acreage of each): CX-3-PL-CU	
Overlay district: N/A	Inside City limits? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Conditional Use District (CUD) Case #: Z-13-2021	Board of Adjustment (BOA) Case #: A-
STORMWATER INFORMATION	
Existing Impervious Surface: Acres: 19.42 Square Feet: 2,809 SF	Proposed Impervious Surface: Acres: 3.87 AC Square Feet: 55,735 SF
Neuse River Buffer: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Wetlands: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Is this a flood hazard area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If yes, please provide the following: Alluvial soils: _____ Flood study: _____ FEMA Map Panel #: _____	
NUMBER OF LOTS AND DENSITY	
Total # of townhouse lots: 44	Detached Attached
Total # of single-family lots: 44	
Proposed density for each zoning district (UDO 1.5.2.F): 16.48 UNITS/AC	
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Total # of requested lots: 45	

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I/We have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states application will expire after 180 days of inactivity.	
Signature: <u>[Signature]</u>	Date: <u>8/18/2022</u>
Printed Name: <u>Jason Meadows</u>	Date:
Signature:	Date:
Printed Name:	

Please email your completed application to SiteReview@raleighnc.gov.

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CE-5.1	STORMWATER MANAGEMENT PLAN
LA-1	LANDSCAPE PLAN
TC-1	TREE CONSERVATION

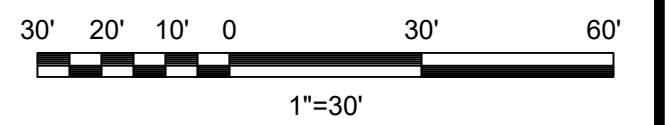


VICINITY MAP
1" = 400'

SITE DATA							
PROPERTY OWNER/DEVELOPER:	CONCEPT 8 HOLDINGS, LLC 307 S. SALEM ST. SUITE 200 APEX, NC 27502						
SITE ADDRESS:	1751 CORPORATION PARKWAY						
SITE AREA:	2.668 AC.						
WAKE COUNTY PIN #:	1734172229						
ZONING DISTRICT:	CX-3-PL-CU						
EXISTING USE:	VACANT						
PROPOSED USE:	TOWNHOME BUILDING TYPE						
STREET CLASSIFICATION:	CORPORATION PARKWAY - AVENUE 2-LANE UNDIVIDED HEDDINGHAM BOULEVARD - AVENUE 2-LANE DIVIDED						
EXISTING STREETScape:	<table border="1"> <tr> <th>CORPORATION</th> <th>HEDDINGHAM</th> </tr> <tr> <td>11.7'-17.4' TREE LAWN NO SIDEWALK</td> <td>-3.5' TREE LAWN -5.0' SIDEWALK</td> </tr> </table>	CORPORATION	HEDDINGHAM	11.7'-17.4' TREE LAWN NO SIDEWALK	-3.5' TREE LAWN -5.0' SIDEWALK		
CORPORATION	HEDDINGHAM						
11.7'-17.4' TREE LAWN NO SIDEWALK	-3.5' TREE LAWN -5.0' SIDEWALK						
PROPOSED STREETScape:	<table border="1"> <tr> <th>CORPORATION</th> <th>HEDDINGHAM</th> <th>*FEE-IN-LIEU FOR PORTIONS NOT CONSTRUCTED</th> </tr> <tr> <td>6' TREE LAWN 6' SIDEWALK *</td> <td>-3.5' TREE LAWN -5.0' SIDEWALK *</td> <td></td> </tr> </table>	CORPORATION	HEDDINGHAM	*FEE-IN-LIEU FOR PORTIONS NOT CONSTRUCTED	6' TREE LAWN 6' SIDEWALK *	-3.5' TREE LAWN -5.0' SIDEWALK *	
CORPORATION	HEDDINGHAM	*FEE-IN-LIEU FOR PORTIONS NOT CONSTRUCTED					
6' TREE LAWN 6' SIDEWALK *	-3.5' TREE LAWN -5.0' SIDEWALK *						
BUILD-TO REQUIREMENTS:	PL FRONTAGE: 50% BUILDING WIDTH IN PRIMARY ST. BUILD TO 10'/100' : 25% BUILDING WIDTH IN SIDE ST. BUILD TO 0'/100'						
PROVIDED BUILD TO:	HEDDINGHAM BOULEVARD: 338' BUILDING / 466' FRONTAGE= 72.5% CORPORATION PARKWAY: 80' BUILDING / 273' FRONTAGE= 29.3%						
PROVIDED PARKING:	79 SPACES INCLUDING 4 VAN HANDICAP ACCESSIBLE SPACES						
AMENITY AREA REQUIRED:	TOTAL: 11,621 SF (10%) PEDESTRIAN ACCESSIBLE AMENITY AREA: 5,811 SF (5%)						
PROVIDED:	TOTAL: 12,232 SF (10.5%) PEDESTRIAN ACCESSIBLE AMENITY AREA: 12,232 SF (10.5%)						
REQUIRED TCA:	2.67 AC X 10% = 0.27 AC/11,631 SF						
PROVIDED TCA:	0.28 AC/12,346 SF (10.6%)						

LEGEND

- BM BOOK OF MAPS
- DB DEED BOOK
- PG PAGE
- N/W NOW OR FORMERLY
- R/W RIGHT OF WAY
- EP EXISTING IRON PIPE
- EPC EXISTING PK NAIL
- ECM EXISTING CONCRETE MONUMENT
- IPS IRON PIPE SET
- CP COMPUTED POINT
- RCP REINFORCED CONCRETE PIPE
- PP POWER POLE
- GUY GUY ANCHORS
- ⊕ PROPOSED INSERTION VALVE
- ⊕ EXISTING FIRE HYDRANT
- ⊕ PROPOSED FIRE HYDRANT
- ⊕ EXISTING WATER VALVE
- ⊕ PROPOSED WATER VALVE
- ⊕ EXISTING WATER REDUCER
- ⊕ PROPOSED WATER REDUCER
- ⊕ EXISTING WATER METER
- ⊕ PROPOSED WATER METER
- ⊕ EXISTING HOT BOX
- ⊕ PROPOSED HOT BOX
- ⊕ EXISTING MANHOLE
- ⊕ PROPOSED MANHOLE
- BOUNDARY LINE
- RIGHT OF WAY LINE
- LINES NOT SURVEYED
- EASEMENT LINES
- OVERHEAD ELECTRICAL LINES
- W EXISTING WATER LINE
- PROPOSED WATER LINE
- SS EXISTING SANITARY SEWER LINE
- PROPOSED SANITARY SEWER LINE
- EXISTING STORM DRAINAGE LINE
- PROPOSED STORM DRAINAGE LINE



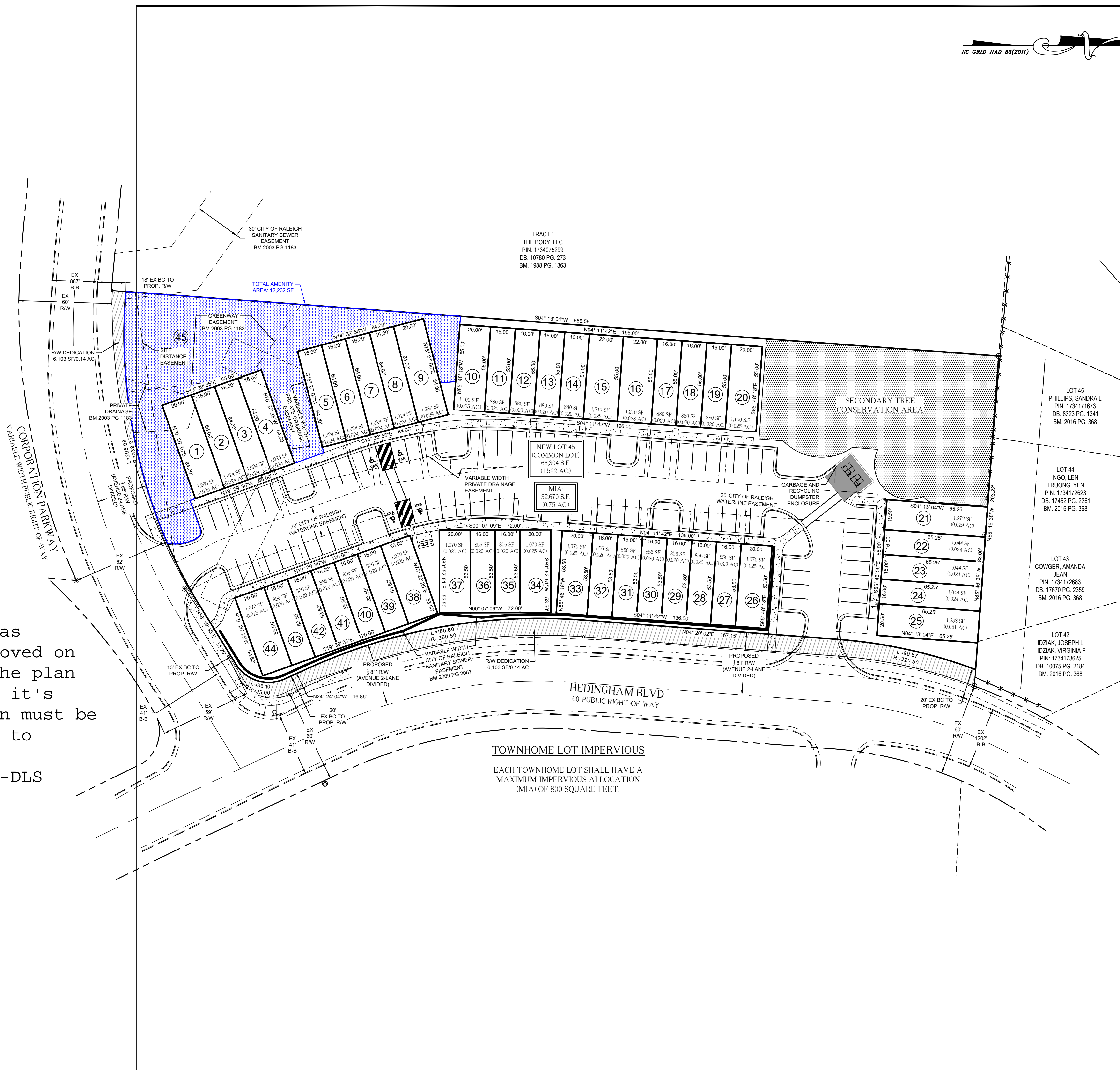
Revisions		
Number	Description	Date

Drawing Title
SUBDIVISION PLAN

Sheet Number
CE-2

Date Issued 08/18/2022

ASR-SR-2-2017 was previously approved on this site. If the plan has not reached it's sunset, the plan must be withdrawn prior to approval of SUB-0058-2022 -DLS



TRACT 1
THE BODY, LLC
PIN: 1734075299
DB. 10780 PG. 273
BM. 1980 PG. 1363

30' CITY OF RALEIGH
SANITARY SEWER
EASEMENT
BM 2003 PG 1183

LOT 45
PHILLIPS, SANDRA L
PIN: 1734171673
DB. 8323 PG. 1341
BM. 2016 PG. 368

LOT 44
NGO, LEN
TRUONG, YEN
PIN: 1734172623
DB. 17452 PG. 2261
BM. 2016 PG. 368

LOT 43
COWGER, AMANDA
JEAN
PIN: 1734172683
DB. 17670 PG. 2359
BM. 2016 PG. 368

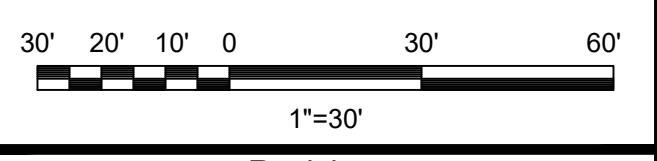
LOT 42
IDZIAK, JOSEPH L
IDZIAK, VIRGINIA F
PIN: 1734173625
DB. 10075 PG. 2184
BM. 2016 PG. 368

TOWNHOME LOT IMPERVIOUS
EACH TOWNHOME LOT SHALL HAVE A
MAXIMUM IMPERVIOUS ALLOCATION
(MIA) OF 800 SQUARE FEET.



LEGEND

BM	BOOK OF MAPS
DB	DEED BOOK
PG	PAGE
N/F	NOW OR FORMERLY
R/W	RIGHT OF WAY
EP	EXISTING IRON PIPE
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---	EXISTING SANITARY SEWER LINE
---	PROPOSED SANITARY SEWER LINE
---	EXISTING STORM DRAINAGE LINE
---	PROPOSED STORM DRAINAGE LINE



Revisions

Number	Description	Date

Drawing Title
SITE LAYOUT PLAN

Sheet Number
CE-3.0

Date Issued 08/18/2022