



Administrative Approval Action

Case File / Name: SUB-0058-2022
DLSC - Crescent Townes

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This 2.67 acre site zoned CX-3 PL CU (Z-13-21) is located on the northwest corner of the intersection of Hedingham Blvd and Corporation Pkwy at 1751 Corporation Pkwy.

REQUEST: A townhome subdivision consisting of 44 residential lots and one HOA/Community lot.

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated December 20, 2022 by RDU Consulting, PLLC.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

1. A copy of a Will/Ability to serve letter from the private hauler who will be collecting the recycling and the yard waste indicating they are able to service the development shall be transposed onto the plans

Stormwater

2. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
3. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
4. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).

Urban Forestry

5. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.
6. Submit a final tree conservation plan that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required (UDO 9.1.5).



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☒ **LEGAL DOCUMENTS** - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Stormwater Maintenance Covenant Required
<input checked="" type="checkbox"/>	Utility Placement Deed of Easement Required

<input checked="" type="checkbox"/>	Other Requirements
<input checked="" type="checkbox"/>	Right of Way Deed of Easement Required

☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

General

1. Street names for this development shall be approved by the Raleigh GIS Division and by Wake County.
2. Provide documentation indicating a Property Owner's Association has been established for the subject development.

Engineering

3. A 5' utility placement easement deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
4. A public street right-of-way deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
5. A sight distance easement shall be approved by the Transportation Department for recording in the Wake County Registry and shown on a plat approved for recordation.



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Public Utilities

6. Infrastructure Construction Plans (concurrent submittal) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.

Stormwater

7. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).
8. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
9. The maximum allocated impervious area for all applicable lots in the subdivision should be identified on all maps for recording.
10. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
11. If demolition causes a land disturbance of more than 12,000 sf, a mass grading permit will be required. (UDO 9.4.6)
12. The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office (UDO 9.2.2.G).

Urban Forestry

13. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1). This development proposes 0.27 acres of tree conservation area.
14. A public infrastructure surety for 17 street trees shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 125% of the improvement cost for the City of Raleigh infrastructure.

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

Engineering

1. A public infrastructure surety shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.



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Public Utilities

2. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

Stormwater

3. Impervious restrictions for each lot must be recorded on a plat prior to building permit issuance.

Urban Forestry

4. Tree impact permits must be obtained for the approved streetscape tree installations in the rights of way. This development proposes 6 street trees along Corporation Parkway and 11 street trees along Hedingham Boulevard for a total of 17 street trees.

The following are required prior to issuance of building occupancy permit:

General

1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
2. Final inspection of tree conservation area and rights of way street trees by Urban Forestry Staff.

Stormwater

3. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

EXPIRATION DATES: If significant construction has not taken place on a project after preliminary subdivision approval, that approval may "sunset" and be declared void, requiring re-approval before permits may be issued. To avoid allowing this preliminary approval to "sunset", the following must take place by the following dates:

3-Year Sunset Date: February 8, 2026
Record at least ½ of the land area approved.

5-Year Sunset Date: February 8, 2028
Record entire subdivision.

I hereby certify this administrative decision.

Signed: *Daniel L. Stogall* Date: 02/08/2023
Development Services Dir./Designee
Staff Coordinator: Michael Walters



AUGUST 18, 2022
REVISED NOVEMBER 16, 2022
REVISED DECEMBER 20, 2022

REVISÉ DÉCEMBRE 20, 2022

A NEIGHBORHOOD TRANSITIONAL YARD IS REQUIRED ALONG THE NORTHERN PROPERTY ADJOINING THE EXISTING RESIDENTIAL PARCELS. IN ACCORDANCE WITH UDO SEC. 3.5., A ZONE A: PROTECTIVE YARD SHALL BE PROVIDED ALONG THE NORTHERN PROPERTY LINE WHERE TCA IS NOT PROPOSED.

DEVELOPER:

shawn@concepteight.com

CLAYTON, NC 27528

SOLID WASTE INSPECTIONS STATEMENT
DEVELOPERS HAVE REVIEWED AND ARE
COMPLIANCE WITH THE REQUIREMENTS S
FORTH IN THE CITY OF RALEIGH SOLID
WASTE MANUAL. RESIDENTS SHALL UTIL
THE GARBAGE AND RECYCLING DUMPSTE
LOCATED ON SITE, BE COLLECTED BY
CITY OF RALEIGH SOLID WASTE.

REVISION 12.15.21

Please email your completed application to SiteReview@alegna.com.

Received 02.10.20

UDO SEC. 8.3.5.D.5.B.i CROSS ACCESS
IN ACCORDANCE WITH UDO 8.3.5.D CROSS ACCESS
REQUIREMENTS ARE NOT APPLICABLE TO THE PROPOSED
DEVELOPMENT DUE TO THE PRESENCE OF AN EXISTING
DETACHED BUILDING TYPE TO THE NORTH AND IMPROVEMENTS
WHICH EXCEED THE LAND VALUE OF THE PARCEL TO THE WEST.

CE-1	BOUNDARY AND TOPOGRAPHIC SURVEY
CE-2	SUBDIVISION PLAN
CE-3.0	SITE LAYOUT PLAN
CE-3.1	BUILD-TO PLAN
CE-3.2	SIGHT DISTANCE EXHIBIT
CE-4	UTILITY PLAN
CE-5.0	GRADING AND DRAINAGE PLAN
CE-5.1	STORMWATER MANAGEMENT PLAN
LA-1	LANDSCAPE PLAN
L-1	LANDSCAPE PLAN - CODE BUFFERS
L-2	CODE BUFFERS - DETAILS AND NOTES
TC-1	TREE CONSERVATION



RDU
CONSULTING, PLLC

NC LICENSE P-2425
PHONE: 919-889-2614
EMAIL: JASON@RDUCONSULTING.COM
P.O. BOX 118
CLAYTON, NC 27388

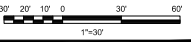
**CONCEPT 8
HOLDINGS, LLC**
307 S. SALEM ST., #200
APEX, NC 27502

**CORPORATION
TOWNHOMES**
(SUB-0058-2022)

**PRELIMINARY
SUBDIVISION**

LEGEND

- BM BOOK OF MAPS
- DB DEED BOOK
- PC PAGE
- N/F NOW OR FORMERLY
- PC RIGHT OF WAY
- EIP EXISTING IRON PIPE
- EX EXISTING PK. MAN
- ECM EXISTING CONCRETE MONUMENT
- HP EXISTING PIPE SET
- OP COMPUTED POINT
- RP REINFORCED CONCRETE PIPE
- PP POWER POLE
- GP GUY ANCHORS
- PROPOSED INSERTION VALVE
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- EXISTING WATER VALVE
- EXISTING WATER REDUCER
- PROPOSED WATER REDUCER
- EXISTING WATER METER
- PROPOSED WATER METER
- EXISTING HOT BOX
- PROPOSED HOT BOX
- EXISTING MANHOLE
- PROPOSED MANHOLE
- BOUNDARY LINE
- RIGHT OF WAY LINE
- LINE NOT SURVEYED
- EXISTING LINES
- OVERHEAD ELECTRICAL LINES
- EXISTING WATER LINE
- PROPOSED WATER LINE
- PROPOSED SANITARY SEWER LINE
- EXISTING STORM DRAINAGE LINE
- PROPOSED STORM DRAINAGE LINE



Revisions		
Number	Description	Date
1	CITY OF RALEIGH COMMENTS	11/18/22
2	CITY OF RALEIGH COMMENTS	12/20/22

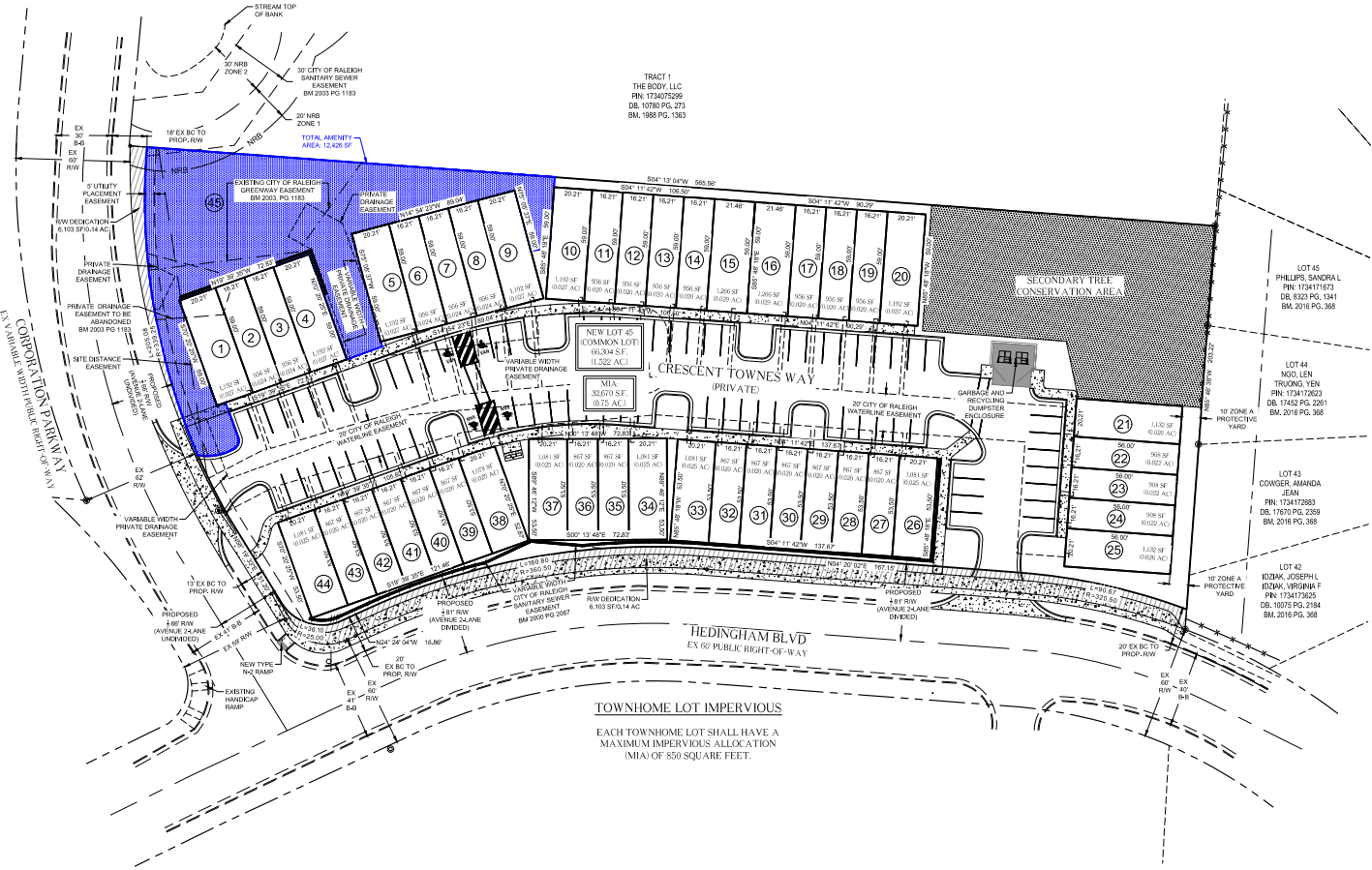
Drawing Title:

SUBDIVISION PLAN

Sheet Number:

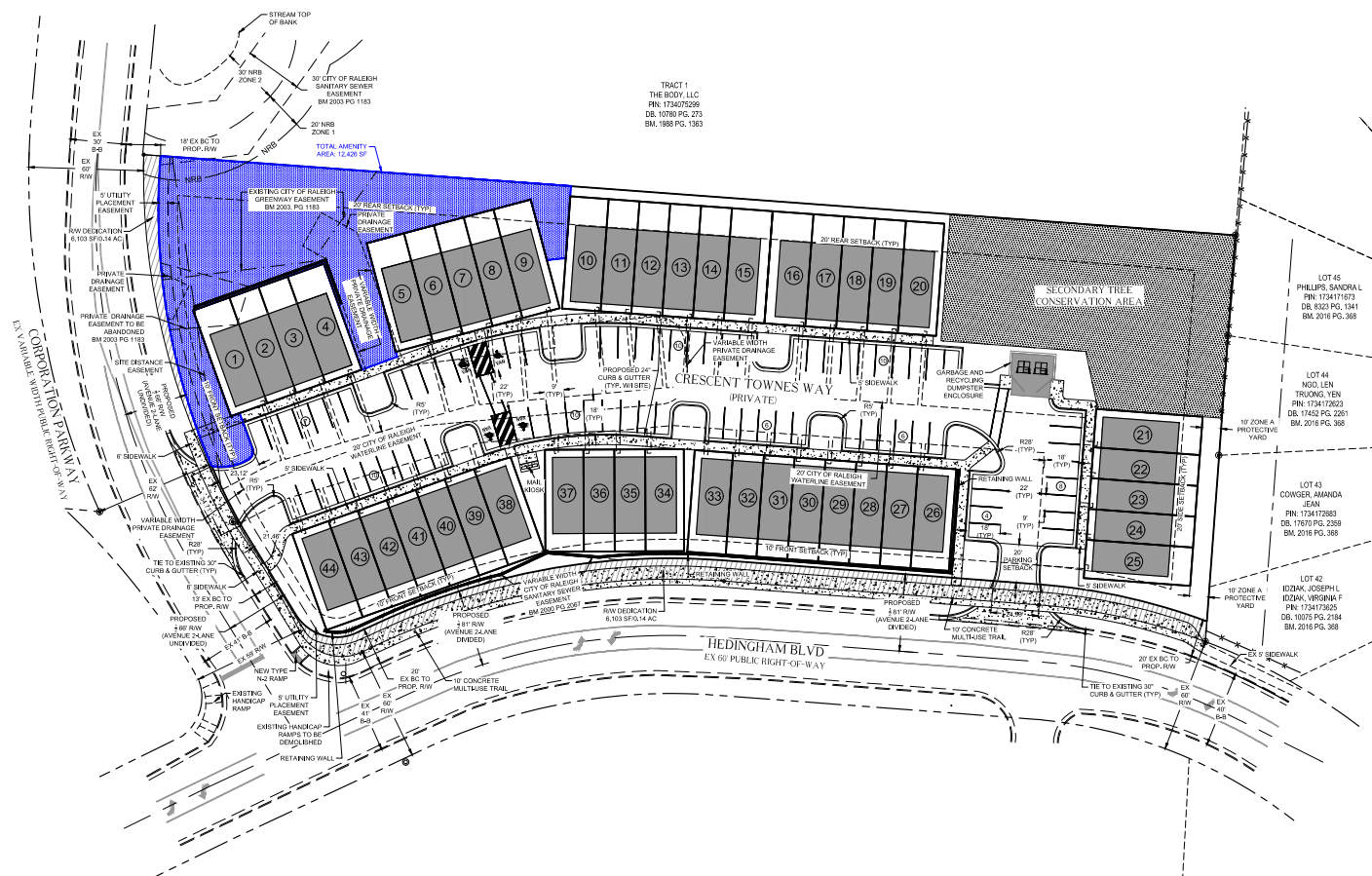
CE-2

Date Issued: 08/18/2022



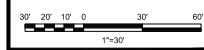
TOWNHOME LOT IMPERVIOUS

EACH TOWNHOME LOT SHALL HAVE A
MAXIMUM IMPERVIOUS ALLOCATION
(MIA) OF 850 SQUARE FEET.



LEGEND

BM	BOOK OF MAPS
DB	DEED BOOK
PC	PAGE
N/F	NOW OR FORMERLY
R/W	RIGHT OF WAY
EIP	EXISTING IRON PIPE
EN	EXISTING ENCL. NAIL
ECM	EXISTING CONCRETE MONUMENT
RS	IRON PIPE SET
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RCP	REINFORCED CONCRETE PIPE
PP	POWER POLE
QU	QUAY ANCHORS
IV	PROPOSED INSERTION VALVE
EH	EXISTING FIRE HYDRANT
PH	PROPOSED FIRE HYDRANT
EW	EXISTING WATER VALVE
PHW	PROPOSED WATER VALVE
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EHB	EXISTING HOT BOX
PHB	PROPOSED HOT BOX
EMH	EXISTING MANHOLE
PHM	PROPOSED MANHOLE
BL	BOUNDARY LINE
RL	RIGHT OF WAY LINE
EL	EASEMENT LINES
OL	OVERHEAD ELECTRICAL LINES
WL	EXISTING WATER LINE
PHWL	PROPOSED WATER LINE
SSL	EXISTING SANITARY SEWER LINE
PHSSL	PROPOSED SANITARY SEWER LINE
SL	EXISTING STORM DRAINAGE LINE
PHSL	PROPOSED STORM DRAINAGE LINE



Revisions

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1	CITY OF RALEIGH COMMENTS	11/18/22
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Drawing Title:

SITE LAYOUT PLAN

Sheet Number:

CE-3.0

Date Issued: 08/18/2022



RDU
CONSULTING, PLLC

NC LICENSE P-2425
PHONE: 919-889-2614
EMAIL: JASON@RDU CONSULTING.COM
P.O. BOX 118
CLAYTON, NC 27338

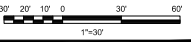
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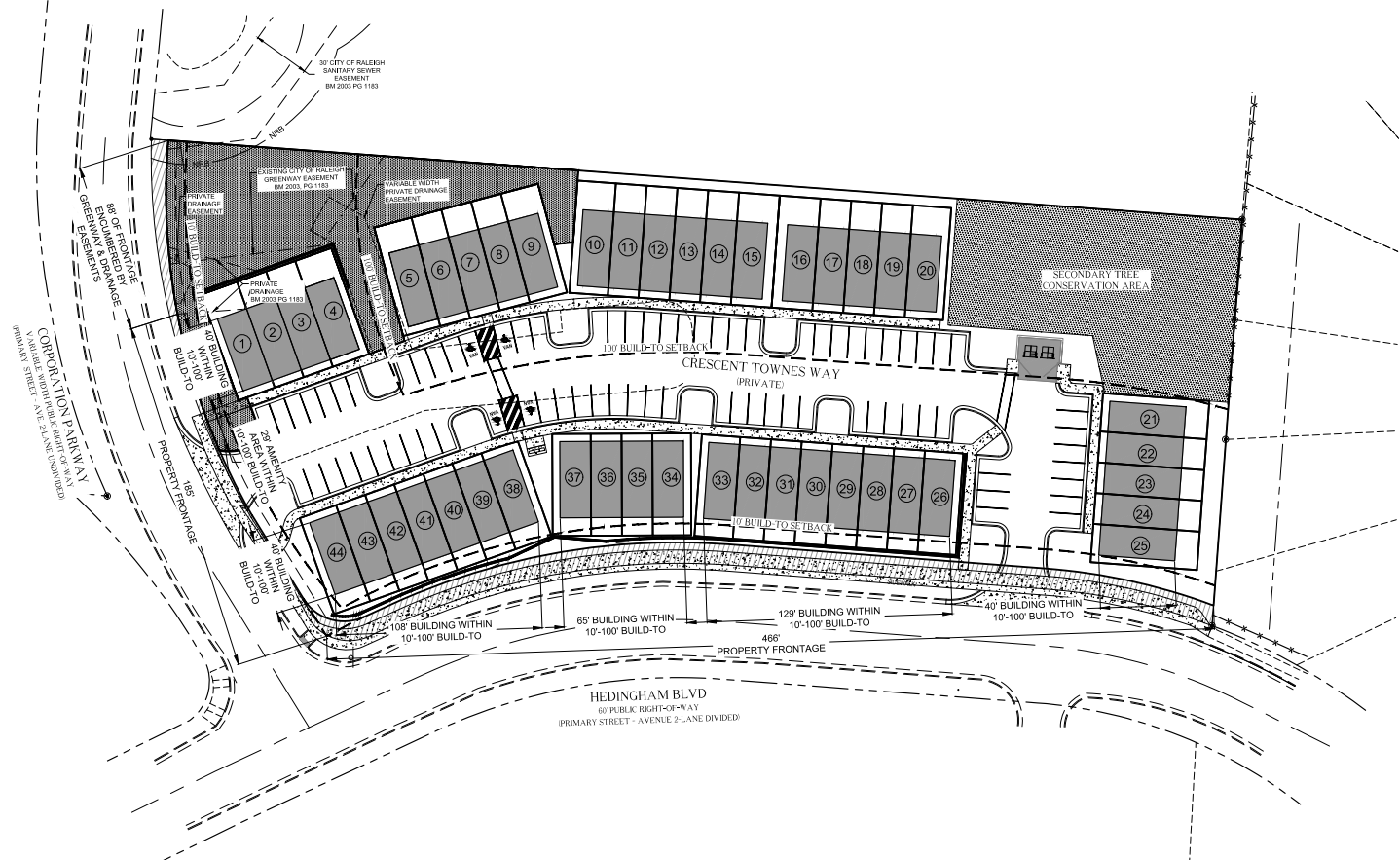
Drawing Title:

BUILD-TO PLAN

Sheet Number:

CE-3.1

Date Issued: 08/18/2022



BUILD-TO CALCULATIONS

HEDDINGHAM BOULEVARD AND CORPORATION PARKWAY APPEAR AS URBAN THOROUGHFARES ON THE CITY OF RALEIGH URBAN FORM MAP	
PL FRONTAGE BUILD-TO REQUIREMENTS:	PRIMARY STREET - 50% BUILDING WIDTH WITHIN 10'/100' BUILD-TO ZONE
REQUIRED BUILD-TO:	HEDDINGHAM BOULEVARD PRIMARY STREET FRONTAGE: 466' 50% BUILDING WIDTH WITHIN PRIMARY ST. BUILD-TO ZONE = 233' CORPORATION PARKWAY PRIMARY STREET FRONTAGE: 185' 50% BUILDING WIDTH WITHIN PRIMARY ST. BUILD-TO ZONE = 93'
PROVIDED BUILD-TO:	HEDDINGHAM BOULEVARD PRIMARY STREET FRONTAGE: 342' = 73.4% CORPORATION PARKWAY PRIMARY STREET FRONTAGE: 109' = 58.9%