

Case File / Name: SUB-0058-2022 DLSC - Crescent Townes City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This 2.67 acre site zoned CX-3 PL CU (Z-13-21) is located on the northwest corner

of the intersection of Hedingham Blvd and Corporation Pkwy at 1751 Corporation

Pkwy.

REQUEST: A townhome subdivision consisting of 44 residential lots and one HOA/Community

lot.

DESIGN

ADJUSTMENT(S)/

ALTERNATES, ETC: N/A

FINDINGS: City Administration finds that this request, with the below conditions of

approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated December 20, 2022 by RDU

Consulting, PLLC.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☑ <u>SITE PERMITTING REVIEW</u> - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

 A copy of a Will/Ability to serve letter from the private hauler who will be collecting the recycling and the yard waste indicating they are able to service the development shall be transposed onto the plans

Stormwater

- 2. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
- 3. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
- A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).

Urban Forestry

- 5. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.
- 6. Submit a final tree conservation plan that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required (UDO 9.1.5).



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☑ <u>LEGAL DOCUMENTS</u> - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

| Ŋ | Stormwater Maintenance Covenant Required |
|---|---------------------------------------------|
| V | Utility Placement Deed of Easement Required |

| Ø | Other Requirements |
|---|-------------------------------------------|
| Ø | Right of Way Deed of Easement Required |

☑ <u>RECORDED MAP(S)</u> - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

General

- 1. Street names for this development shall be approved by the Raleigh GIS Division and by Wake County.
- 2. Provide documentation indicating a Property Owner's Association has been established for the subject development.

Engineering

- 3. A 5' utility placement easement deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
- 4. A public street right-of-way deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
- A sight distance easement shall be approved by the Transportation Department for recording in the Wake County Registry and shown on a plat approved for recordation.



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Public Utilities

6. Infrastructure Construction Plans (concurrent submittal) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.

Stormwater

- 7. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).
- 8. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
- 9. The maximum allocated impervious area for all applicable lots in the subdivision should be identified on all maps for recording.
- All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
- 11. If demolition causes a land disturbance of more than 12,000 sf, a mass grading permit will be required. (UDO 9.4.6)
- 12. The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office (UDO 9.2.2.G).

Urban Forestry

- 13. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1). This development proposes 0.27 acres of tree conservation area.
- 14. A public infrastructure surety for 17 street trees shall be provided to City of Raleigh Transportation Development Engineering Division (UDO 8.1.3) in the amount of 125% of the improvement cost for the City of Raleigh infrastructure.

☑ <u>BUILDING PERMITS</u> - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

Engineering

 A public infrastructure surety shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.



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Public Utilities

A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

Stormwater

3. Impervious restrictions for each lot must be recorded on a plat prior to building permit issuance.

Urban Forestry

4. Tree impact permits must be obtained for the approved streetscape tree installations in the rights of way. This development proposes 6 street trees along Corporation Parkway and 11 street trees along Hedingham Boulevard for a total of 17 street trees.

The following are required prior to issuance of building occupancy permit:

General

- 1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
- 2. Final inspection of tree conservation area and rights of way street trees by Urban Forestry Staff.

Stormwater

 As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

EXPIRATION DATES: If significant construction has not taken place on a project after preliminary subdivision approval, that approval may "sunset" and be declared void, requiring re-approval before permits may be issued. To avoid allowing this preliminary approval to "sunset", the following must take place by the following dates:

| 3-Year Sunset Date: 1 | February 8, 2026 |
|--------------------------|------------------------|
| Record at least ½ of the | he land area approved. |
| 5-Voar Sunset Date: F | February 8, 2028 |

I hereby certify this administrative decision.

Record entire subdivision.

| Signed: | Daniel L. Stegall | Date: | 02/08/2023 |
|---------|-----------------------------------|-------|------------|
| | Development Services Dir/Designee | _ | |

Staff Coordinator: Michael Walters



SITE DATA

GROSS SITE AREA

ZONING DISTRICT

XISTING USE

PROPOSED USE:

TREET CLASSIFICATION

XISTING STREETSCAPE

PROPOSED STREETSCAPE

BUILD-TO REQUIREMENTS:

PROVIDED BUILD TO

PROVIDED PARKING:

REQUIRED TCA:

AMENITY AREA REQUIRED:

RIGHT-OF-WAY DEDICATION: NET SITE AREA WAKE COUNTY PIN I

1751 CORPORATION PARKW

TOWNHOME BUILDING TYPE

CORPORATION PARKWAY - AVENUE 2-LANE UNDIVIDED HEDINGHAM BOULEVARD - AVENUE 2-LANE DIVIDED

HEDINGHAM ~3.5' TREE LAW ~5.0' SIDEWALK

PL FRONTAGE: PRIMARY STREET - 50% BUILDING WIDTH WITHIN 107/100' BUILD-TO ZONE

79 SPACES INCLUDING 4 VAN HANDICAP ACCESSIBLE SPACES

TOTAL: 11,621 SF (10%)
PEDESTRIAN ACCESSIBLE AMENITY AREA: 5.811 SF (5%)

TOTAL: 12,426 SF (10.7%) PEDESTRIAN ACCESSIBLE AMENITY AREA: 12,426 SF (10.7%)

110,102 SF (2.528 AC) X 10% = 11,010 SF (0.25 AC)

A NEIGHBORHOOD TRANSITIONAL YARD IS REQUIRED ALONG THE NORTHERN PROPERTY ADJOINING THE EXISTING RESIDENTIAL PARCELS. IN ACCORDANCE WITH UDD SEC. 3.5., A ZONE A: PROTECTIV YARD SHALL BE PROVIDED ALONG THE NORTHERN PROPERTY LINE WHERE TCA IS NOT PROPOSED.

HEDINGHAM BOULEVARD PRIMARY STREET FRONTAGE: 342' = 73.4% CORPORATION PARKWAY PRIMARY STREET FRONTAGE: 109' = 58.9%

*FEE-IN-LIEU FOR

PORTIONS NOT CONSTRUCTED

2.668 AC/116,205 SF

CX-3-PL-CU

VACANT

CORPORATION TOWNHOMES

PRELIMINARY SUBDIVISION PLANS SUB-0058-2022 RALEIGH, NORTH CAROLINA

AUGUST 18, 2022 REVISED NOVEMBER 16, 2022 REVISED DECEMBER 20, 2022

Z-13-21 CONDITIONS OF APPROVAL

- The following principal uses will be prohibited: prison, jail, detention center, emergency medical office, urgent care center, veterinary clinic, adult establishment as defined by N.C. Gen. Stat. §14-202-1 (b(t)), whiche fuel sales (excluding vehicle charging stations), hospital, shoroling range (both indoor and outdoor), water park, moter track (both indoor and outdoor), paylady loan business, drive-thru restaurant, barringhtacklusterwillowing (as defined by UDO Section 6-1.0B), commercial care wash, whiche sales, commercial whiche repair. USE SHALL BE RESIDENTIAL.

 (BY 1744 TERM 18 CHARLE FLORENTIAL.

 (BY 1744 TERM 1945 TERM 1944 TERM 1945 TERM 1
- LISE SHALL BE RESIDENTIAL
- USE SHALL BE RESIDENTIAL.

 All parking and polestrian area lighting, as described in Section 7.4.5 of the UDO, within 30' of the northern property line (PIN 1734171673, Deed Book 08323, Page 01341; PIN 1734172623, Deed Book 017 632, Page 02259; PIN 1734172683, Deed Book 01767, Page 2143 shall use full conf light futures.

 ULGHTING IS PROPOSED WITHIN 30' OF THE NORTHERN PROPERTY LINE.

 Within 100' of the northern property line (PIN 1734171673, Deed Book 08229, Page 01341; PIN 1734172823, Deed Book 07 432, Page 02261; PIN 1734172835, Deed Book 07 432, Page 02261; PIN 1734172835, Deed Book 07 432, Page 02369; PIN 1734173825, PIN 173417
- No principal buildings within 20" of the northern properly line (PIN 1734171673, Deed Book 003323, Page 01341; PIN 1734171673, Deed Book 107407, Page 013417, PIN 17341746785, Deed Book 017670, Page 102589; PIN 1734173685, Deed Book 017670, Page 102589; PIN 1734173685, Deed Book 017670, Page 02164) will be permitted. NO PROPOSED PRINCIPAL BUILDINGS ARE WITHIN 20" OF THE NORTHERN PROPERTY LINE.

DEVELOPER:

CONCEPT 8 HOLDINGS. LLC

307 S. Salem St. Suite 200 Apex. NC 27502 919-601-5078 shawn@concepteight.com

CIVIL ENGINEER:

NC LICENSE P-2425

PHONE: 919-889-2614 EMAIL: JASON@RDUCONSULTING.COM P.O. BOX 418 CLAYTON, NC 27528

HORIZONTAL DATUM: NAD83 VERTICAL DATUM: NAVD88

NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING, BUT NOT JUNTED TO: CLEARING, GROBING, FENCING, AND THE INSTALLATION OF RETAINING, WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA, WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH

NOTE: Subdivisions may require City Council approval if in a Meiro Park Overlay or Historic Overlay Distric 1751 Corporation Parkway DEVELOPMENT TYPE + SITE DATE TABLE

Preliminary Subdivision Application

| Conditional Use District (CUD) Case # Z- 13-2021 | | | | |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|--|--|
| | Board of Adjustment (BOA) Case # A- | | | |
| | 1 | | | |
| STORMWAT | ER INFORMATION | | | |
| Existing Impervious Surface: | Proposed Impervious Surface: | | | |
| Acres: 500.40 Square Feet: 2,001.50 | Acres: 15/ AC Square Feet: 86.775 8F | | | |
| Neuse River Buffer Yes No | Weitands ✓ Yes No | | | |
| Is this a flood hazard area? Yes No if yes, please provide the following: Allovial soits: FEMA Map Panel #: | | | | |
| | OTS AND DENSITY | | | |
| Total # of townhouse lots: 44 Detached | Aftached | | | |
| Total # of single-family lots: #4 | | | | |
| Proposed density for each zoning district (UDO 1.5.2.F | V | | | |
| a redelesses net soils risk desert the risk of existing famour and any | 16.48UNITS/AC | | | |
| Total # of open space and/or common area lots: 1 | | | | |
| Total # of requested lots: 45 | | | | |
| | | | | |
| | | | | |
| | JRE BLOCK | | | |
| The undersigned indicates that the property owner(s) is a described in this application will be maintained in all resp- herealth, and in accordance with the provisions and regular 1, 3650 G. Medical and respond to administratory comments, resubmit plants owner(s) in any public rarefer greating this application. New have read, administratory and affirm that this project. | were of this application and that the proposed project lock in accordance with the plans and specifications submitted states of the Call Praisign Unified Evolutioned Contractor that the properties of the properties of the properties series as the agent regarding this expiration, and will receive and applicable documentation, and will represent the properties is conforming to all application requirements applicable with population in subject to the firty calendar and submittail profit policiation is subject to the firty calendar and submittail profit when the properties of | | | |
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Please small your completed application to SiteReview@raleignes.com

ge of each): CX-3-PL-CU

UDO SEC. 8.3.2.A BLOCK PERIMETER

Page 2 of 2

THEREFORE, IN ACCORDANCE WITH UDO 8.3.2.A.2.5, BLOCK PERIMETER IS NOT APPLICABLE DUE TO THE SITE AREA BEING 2.87 ACRES WHICH IS LESS THAN THE MIN. SITE AREA APPLICABILITY FOR CX-ZONING.

UDO SEC. 8.3.5.D.5.B.i CROSS ACCESS

IN ACCORDANCE WITH UDO 8.3.5.D CROSS ACCESS
REQUIREMENTS ARE NOT APPLICABLE TO THE PROPOSED
DEVELOPMENT DUE TO THE PRESENCE OF AN EXISTING
DETACHED BUILDING TYPE TO THE NORTH AND IMPROVEMEN WHICH EXCEED THE LAND VALUE OF THE PARCEL TO THE WES



CE-1 BOUNDARY AND TOPOGRAPHIC SURVEY SUBDIVISION PLAN CE-2 CE-3.0 SITE LAYOUT PLAN BUILD-TO PLAN CE-3.1 CE-3.2 SIGHT DISTANCE EXHIBIT CE-4 UTILITY PLAN CE-5.0 GRADING AND DRAINAGE PLAN CE-5.1 STORMWATER MANAGEMENT PLAN LA-1 LANDSCAPE PLAN L-1 LANDSCAPE PLAN - CODE BUFFERS L-2 CODE BUFFERS - DETAILS AND NOTES TC-1 TREE CONSERVATION











NC LICENSE P-2425 PHONE: 919-889-2614 EMAIL: JASON@RDUCONSULTING.COM P.O. BOX 418 CLAYTON, NC 27528



CONCEPT 8 HOLDINGS, LLC 307 S. SALEM ST. #200 APEX, NC 27502

CORPORATION **TOWNHOMES** (SUB-0058-2022)

PRELIMINARY SUBDIVISION

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DEED BOOK
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SUBDIVISION PLAN

CE-2







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PRELIMINARY SUBDIVISION

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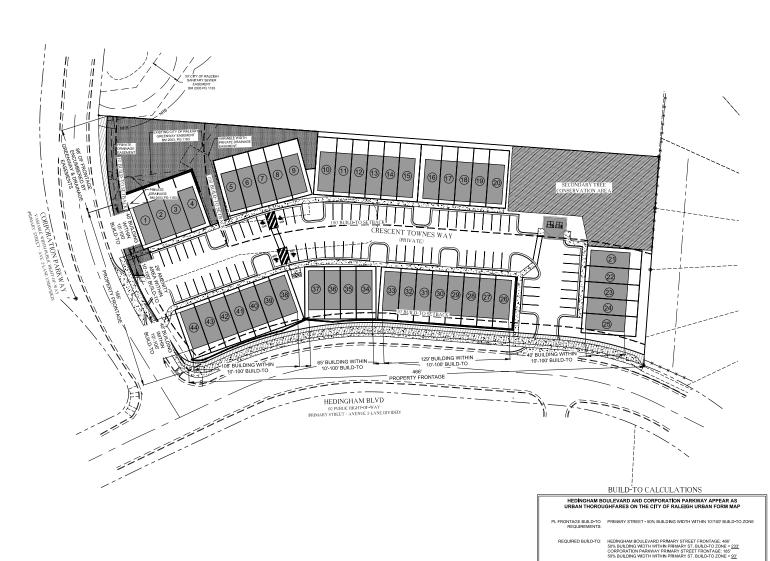
FROPOSED WATER

SITE LAYOUT PLAN

CE-3.0



PROVIDED BUILD-TO: HEDINGHAM BOULEVARD PRIMARY STREET FRONTAGE: 342 = 73.4% CORPORATION PARKWAY PRIMARY STREET FRONTAGE: 109' = 58.9%



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BUILD-TO PLAN

CE-3.1