

Preliminary Subdivision Application

Planning and Development

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



INSTRUCTIONS: This form is used when submitting a Preliminary Subdivision (UDO Section 10.2.5). Please check the appropriate review type and include the plan checklist document. Please email all documents and your preliminary subdivision plans to SiteReview@raleighnc.gov.

DEVELOPMENT TYPE (UDO Section 2.1.2)			
<u>Conventional Subdivision</u>	Compact Development	Conservation Development	Cottage Court
NOTE: Subdivisions may require City Council approval if in a Metro Park Overlay or Historic Overlay District			
GENERAL INFORMATION			
Scoping/sketch plan case number(s):			
Development name (subject to approval):			
Property Address(es):			
Recorded Deed PIN(s):			
What is your project type?	Single family Apartment	Townhouse Non-residential	Attached houses Other: _____

CURRENT PROPERTY OWNER/DEVELOPER INFORMATION	
NOTE: Please attach purchase agreement when submitting this form	
Company:	Owner/Developer Name and Title:
Address:	
Phone #:	Email:
APPLICANT INFORMATION	
Company:	Contact Name and Title:
Address:	
Phone #:	Email:

Continue to page 2 >>

DEVELOPMENT TYPE + SITE DATE TABLE
(Applicable to all developments)

ZONING INFORMATION

Gross site acreage: 14.99 ac

Zoning districts (if more than one, provide acreage of each): CX-7-CU & CX-12-CU

Overlay district: n/a	Inside City limits? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Conditional Use District (CUD) Case # Z- 01-21	Board of Adjustment (BOA) Case # A-

STORMWATER INFORMATION

Existing Impervious Surface: Acres: <u>4.02</u> Square Feet: <u>175,091</u>	Proposed Impervious Surface: Acres: <u>4.52</u> Square Feet: <u>197,100</u>
Neuse River Buffer <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Is this a flood hazard area? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
If yes, please provide the following: Alluvial soils: <u>n/a</u> Flood study: <u>n/a</u> FEMA Map Panel #: <u>3720079500K & 3720079600K</u>	

NUMBER OF LOTS AND DENSITY


Total # of townhouse lots:	Detached	Attached
Total # of single-family lots:		
Proposed density for each zoning district (UDO 1.5.2.F):		
Total # of open space and/or common area lots:		
Total # of requested lots: <u>2</u>		

SIGNATURE BLOCK

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

I, David M Boyette will serve as the agent regarding this application, and will receive and respond to administrative comments, resubmit plans and applicable documentation, and will represent the property owner(s) in any public meeting regarding this application.

I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.

Signature: 	Date: <u>2022.08.22</u>
Printed Name: <u>David M Boyette</u>	
Signature:	Date:
Printed Name:	

Please email your completed application to SiteReview@raleighnc.gov.



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DEVELOPMENT TYPE (UDO Section 2.1.2)
 Conventional Subdivision Compact Development Conservation Development Cottage Court

GENERAL INFORMATION
 Scoping/sketch plan case number(s): n/a
 Development name (subject to approval): The Alexan
 Property Address(es): 5060 Edwards Mill Road
 Recorded Deed PIN(s): 0795399646

What is your project type?
 Single family Townhouse Attached houses
 Apartment Non-residential Other: Subdivision

CURRENT PROPERTY OWNER/DEVELOPER INFORMATION
 NOTE: Please attach purchase agreement when submitting this form.
 Company: Trammell Crow Residential | Owner/Developer Name and Title: Robbie Brooks, Managing Director
 Address: 4509 Creedmoor Road, Suite 308, Raleigh, NC 27612
 Phone #: 202.290.0541 | Email: rbrooks@tcrc.com

APPLICANT INFORMATION
 Company: McAdams | Contact Name and Title: David Boyette, Project Manager
 Address: One Glenwood Ave., Suite 201, Raleigh, NC 27603
 Phone #: 919.244.9528 | Email: boyette@mcadamsco.com

Continue to page 2 >>

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raleighnc.gov

DEVELOPMENT TYPE • SITE DATE TABLE
 (Applicable to all developments)

ZONING INFORMATION
 Gross site acreage: 14.99 ac
 Zoning districts (if more than one, provide acreage of each): CX-7-CU & CX-12-CU
 Overlay district: n/a Inside City limits? Yes No
 Conditional Use District (CUD) Case # Z: 01-21 Board of Adjustment (BOA) Case # A-

STORMWATER INFORMATION
 Existing Impervious Surface: Acres: 4.02 Square Feet: 175,091
 Proposed Impervious Surface: Acres: 4.52 Square Feet: 197,100
 Neuse River Buffer: Yes No Wetlands: Yes No
 Is this a flood hazard area? Yes No
 If yes, please provide the following:
 Alluvial soils: n/a
 Flood study: n/a
 FEMA Map Panel #: 3720079500K & 3720079600K

NUMBER OF LOTS AND DENSITY
 Total # of townhouse lots: Detached Attached
 Total # of single-family lots:
 Proposed density for each zoning district (UDO 1.5.2.F):
 Total # of open space and/or common area lots:
 Total # of requested lots: 2

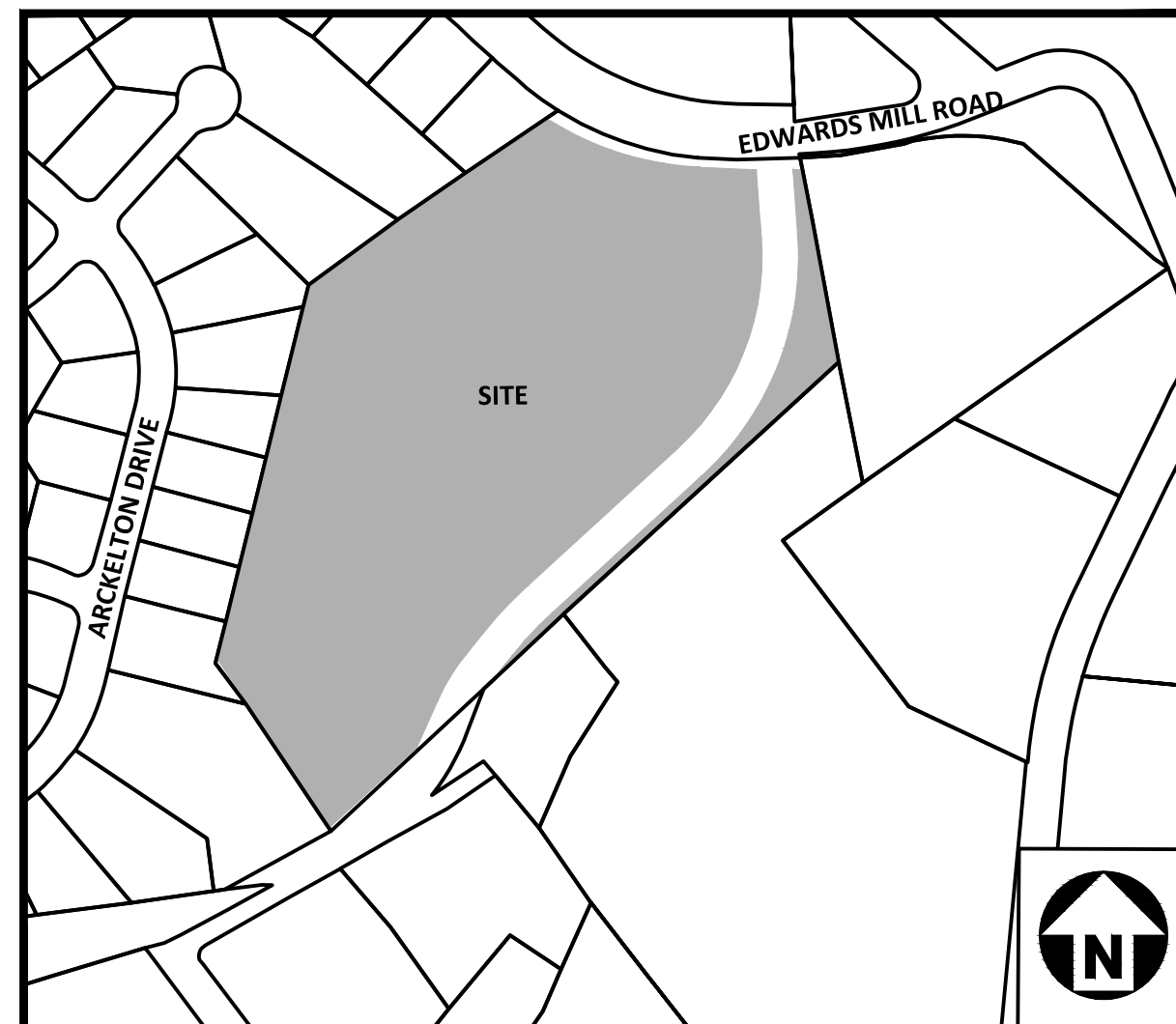
SIGNATURE BLOCK
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 I have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.
 Signature: [Signature] Date: 2022.08.22
 Printed Name: David M. Boyette
 Signature: _____ Date: _____
 Printed Name: _____

Page 2 of 2 REVISED 08.19.21
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THE ALEXAN

PRELIMINARY SUBDIVISION PLAN 5060 EDWARDS MILL ROAD RALEIGH, NORTH CAROLINA, 27612 PROJECT NUMBER: TCR-22002 PROJECT CASE #: SUB-XXXX-2022 DATE: AUGUST 22, 2022

SITE DATA:	
SITE ADDRESS:	5060 EDWARDS MILL ROAD RALEIGH, NC 27612
PIN (& DEEDED ACREAGE):	0795399646 (14.99 AC.)
SITE AREA:	EXISTING EXISTING LOT - 652,788 SF / 14.99 AC PROPOSED LOT 1 - 552,126 SF / 12.68 AC LOT 2 - 27,386 SF / 0.63 AC ROW DEDICATION - 73,276 SF / 1.68 AC
ZONING:	CX-7-CU: COMMERCIAL MIXED USE (Z-01-21) CX-12-CU: COMMERCIAL MIXED USE (Z-01-21)
EXISTING USE:	APARTMENT COMPLEX
PROPOSED USE:	LOT 1: APARTMENT COMPLEX LOT 2: OPEN LOT
RIVER BASIN:	NEUSE
WATERSHED:	NA
AREA IN FLOODWAY/FLOODPLAIN:	1.09 AC.
FLOODPLAIN/FIRM PANEL:	3720079500K 3720079600K
IMPERVIOUS SURFACE:	EXISTING IMPERVIOUS SURFACE: 175,091 SF / 4.02 AC EXISTING IMPERVIOUS SURFACE TO BE REMOVED: 28,446 SF / 0.65 AC PROPOSED IMPERVIOUS SURFACE TO REMAIN: 146,645 SF / 3.37 AC PROPOSED IMPERVIOUS: 50,455 SF / 1.16 AC TOTAL PROPOSED IMPERVIOUS: 197,100 SF / 4.52 AC
VEHICULAR PARKING SUMMARY:	REQUIRED PARKING N/A PROVIDED PARKING N/A
ACCESSIBLE PARKING SUMMARY:	REQUIRED PARKING N/A PROVIDED PARKING N/A
BICYCLE PARKING SUMMARY:	REQUIRED PARKING N/A PROVIDED PARKING N/A
OPEN SPACE	N/A
PREVIOUS APPROVALS	REZONING: Z-01-21
TOTAL EXISTING LOTS	1
TOTAL PROPOSED LOTS	2



VICINITY MAP
 1"=300'



Know what's below.
 Call before you dig.

CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.

SHEET INDEX

- C0.00 PROJECT NOTES
- C1.00 OVERALL EXISTING CONDITIONS
- C1.01 EXISTING CONDITIONS AREA "A"
- C1.02 EXISTING CONDITIONS AREA "B"
- C1.03 EXISTING CONDITIONS AREA "C"
- C1.04 DEMOLITION PLAN AREA "A"
- C1.05 DEMOLITION PLAN AREA "B"
- C1.06 DEMOLITION PLAN AREA "C"
- C2.00 OVERALL SITE PLAB
- C2.01 SITE PLAN AREA "A"
- C2.02 SITE PLAN AREA "B"
- C2.03 SITE PLAN AREA "C"
- C2.04 SUBDIVISION PLAN-EXISTING LOTS
- C2.05 SUBDIVISION PLAN-PROPOSED LOTS
- C3.00 GRADING PLAN AREA "A"
- C3.01 GRADING PLAN AREA "B"
- C3.02 GRADING PLAN AREA "C"
- C4.01 UTILITY PLAN AREA "A"
- C4.02 UTILITY PLAN AREA "B"
- C4.03 UTILITY PLAN AREA "C"
- C8.00 SITE DETAILS
- C8.01 UTILITY DETAILS
- C8.02 STORM DRAINAGE DETAILS
- L2.00 TREE CONSERVATION PLAN
- L5.00 LANDSCAPE PLAN

ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST VERSION OF THE CITY OF RALEIGH AND NCDOT STANDARDS, SPECIFICATIONS AND DETAILS.

ATTENTION CONTRACTORS

The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Public Works Department at (919) 996-2409, and the Public Utilities Department at (919) 996-4540 at least twenty four hours prior to beginning any of their construction.

Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for inspection, install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.



McADAMS

The John R. McAdams Company, Inc.
 One Glenwood Avenue
 Suite 201
 Raleigh, NC 27603
 phone 919. 823. 4300
 fax 919. 361. 2269
 license number: C-0293, C-187

www.mcadamsco.com

CONTACT

DAVID BOYETTE
 boyette@mcadamsco.com
 PHONE: 919. 823. 4300

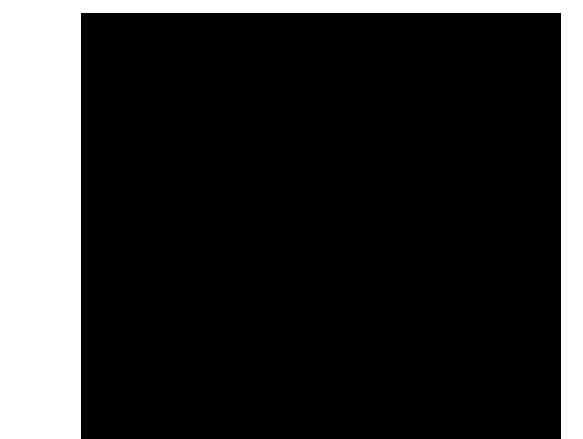
CLIENT

TRAMMELL CROW RESIDENTIAL
 4509 CREEDMOOR ROAD, SUITE 308
 RALEIGH, NC 27612
 PHONE: 919. 876. 3103

PROJECT DIRECTORY

DEVELOPER
 TRAMMELL CROW RESIDENTIAL
 4509 CREEDMORE ROAD, SUITE 308
 RALEIGH, NC 27612
 PHONE: 919. 876. 8310

ARCHITECT
 DWELL DESIGN STUDIO
 8200 GREENSBORO DRIVE, SUITE 650
 MCLEAN, VA, 22102
 PHONE: 571. 253. 6950

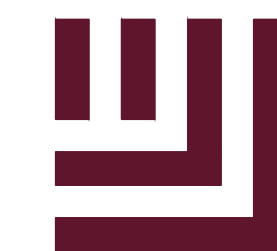


REVISIONS

NO. DATE

PRELIMINARY SUBDIVISION PLAN FOR:

THE ALEXAN
 RALEIGH, NORTH CAROLINA 27603
 PROJECT NUMBER: TCR-22002



McADAMS

The John R. McAdams Company, Inc.
2905 Meridian Parkway
Durham, NC 27713

phone 919. 361. 5000
fax 919. 361. 2269
license number: C-0293, C-187

www.mcadamsco.com

CLIENT

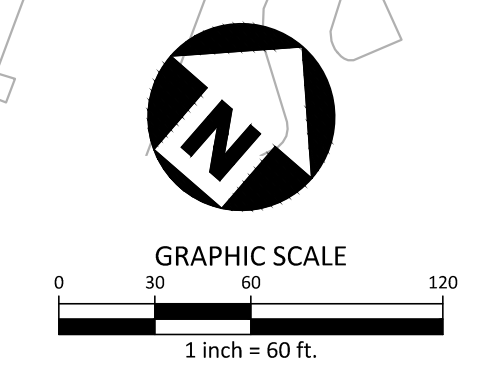
TRAMMELL CROW RESIDENTIAL
4509 CREEDMOOR ROAD, SUITE 308
RALEIGH, NC 27612
PHONE: 919. 876. 3103

TCR
TRAMMELL CROW RESIDENTIAL

THE ALEXAN
PRELIMINARY SUBDIVISION PLAN
5060 EDWARDS MILL ROAD
RALEIGH, NORTH CAROLINA 27612

SITE LEGEND

- SIGNAGE
- YARD LIGHTS
- LIGHT POLE
- POWER POLE
- TRAFFIC DIRECTIONAL ARROW
- ACCESSIBLE PARKING STALL
- VAN ACCESSIBLE PARKING STALL
- PARKING SPACE COUNT
- ACCESSIBLE RAMPS
- ACCESSIBLE ROUTE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- LOT LINE
- EASEMENT LINE
- CENTERLINE
- HEAVY DUTY ASPHALT PAVEMENT



ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

REVISIONS

NO.	DATE

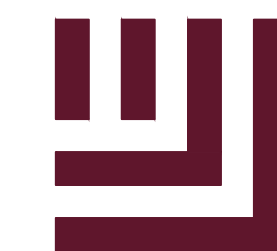
PLAN INFORMATION

PROJECT NO.	TCR-22002
FILENAME	TCR22002-S1
CHECKED BY	DB
DRAWN BY	JJ
SCALE	1" = 60'
DATE	08.22.2022

SHEET

OVERALL SITE PLAN
C2.00

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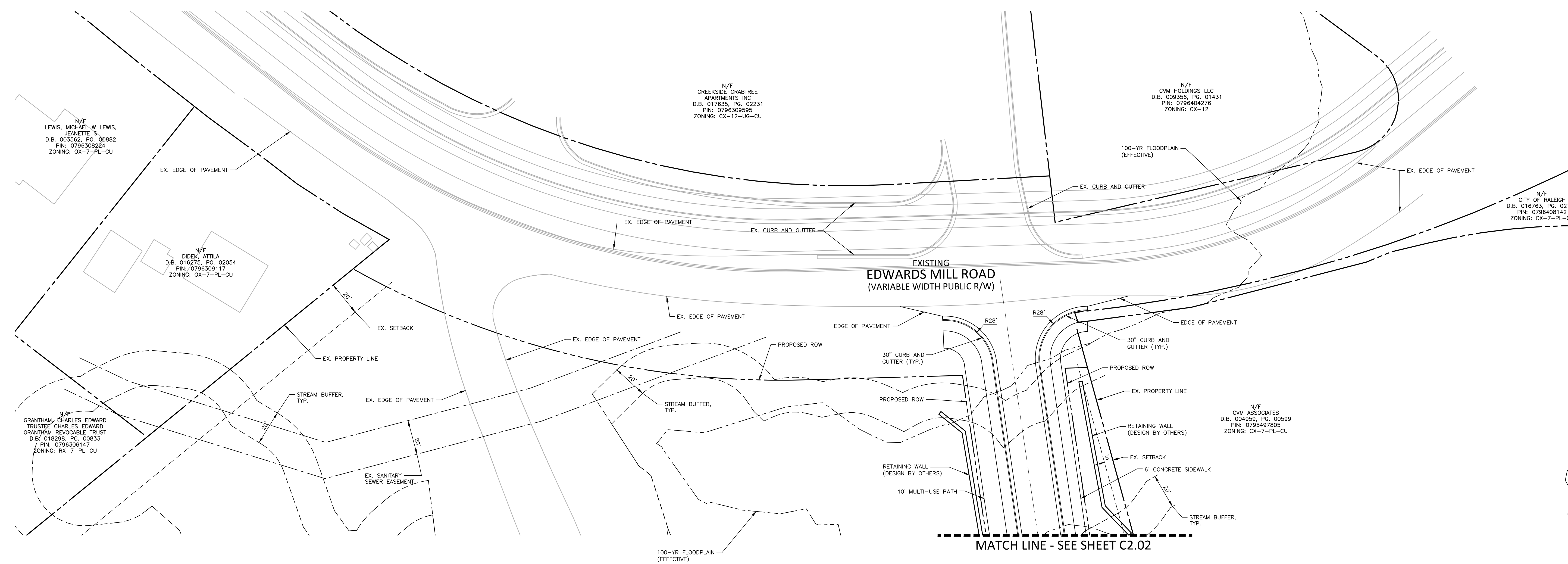
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TRAMMELL CROW RESIDENTIAL

THE ALEXAN
PRELIMINARY SUBDIVISION PLAN
5060 EDWARDS MILL ROAD
RALEIGH, NORTH CAROLINA 27612



SITE LEGEND	
	SIGNAGE
	YARD LIGHTS
	LIGHT POLE
	POWER POLE
	TRAFFIC DIRECTIONAL ARROW
	ACCESSIBLE PARKING STALL
	VAN ACCESSIBLE PARKING STALL
	PARKING SPACE COUNT
	ACCESSIBLE RAMPS
	ACCESSIBLE ROUTE
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	LOT LINE
	EASEMENT LINE
	CENTERLINE
	HEAVY DUTY ASPHALT PAVEMENT



N/F
LEWIS, MICHAEL W. LEWIS,
JEANETTE S.
D.B. 003362, PG. 00882
PIN: 0796308224
ZONING: OX-7-PL-CU

N/F
CREKESIDE CRABTREE
APARTMENTS INC
D.B. 017635, PG. 02231
PIN: 0796309595
ZONING: CX-12-UG-CU

N/F
CVM HOLDINGS LLC
D.B. 009356, PG. 01431
PIN: 0796404276
ZONING: CX-12

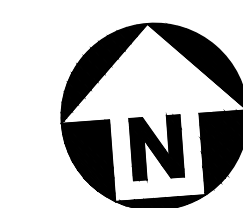
N/F
CITY OF RALEIGH
D.B. 016763, PG. 02785
PIN: 0796408142
ZONING: OX-7-PL-CU

N/F
DIDEK, ATTILA
D.B. 016275, PG. 02054
PIN: 0796309117
ZONING: OX-7-PL-CU

N/F
GRANTHAM, CHARLES EDWARD
TRUSTEE CHARLES EDWARD
GRANTHAM REVOCABLE TRUST
D.B. 018298, PG. 00833
PIN: 0796306147
ZONING: RX-7-PL-CU

N/F
CVM ASSOCIATES
D.B. 004959, PG. 00599
PIN: 0795497805
ZONING: CX-7-PL-CU

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GRAPHIC SCALE
0 15 30 60
1 inch = 30 ft.

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PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

REVISIONS

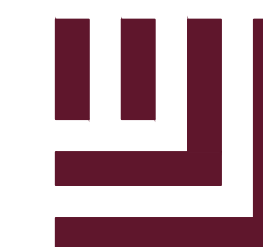
NO. DATE

PLAN INFORMATION

PROJECT NO. TCR-22002
FILENAME TCR22002-S1
CHECKED BY DB
DRAWN BY JJ
SCALE 1" = 30'
DATE 08.22.2022

SHEET

SITE PLAN AREA 'A'
C2.01



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CLIENT

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PHONE: 919. 876. 3103

TCR

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THE ALEXAN
PRELIMINARY SUBDIVISION PLAN
5060 EDWARDS MILL ROAD
RALEIGH, NORTH CAROLINA 27612



REVISIONS

NO. DATE

PLAN INFORMATION

PROJECT NO. TCR-22002
FILENAME TCR22002-S1
CHECKED BY DB
DRAWN BY JJ
SCALE 1" = 30'
DATE 08.22.2022

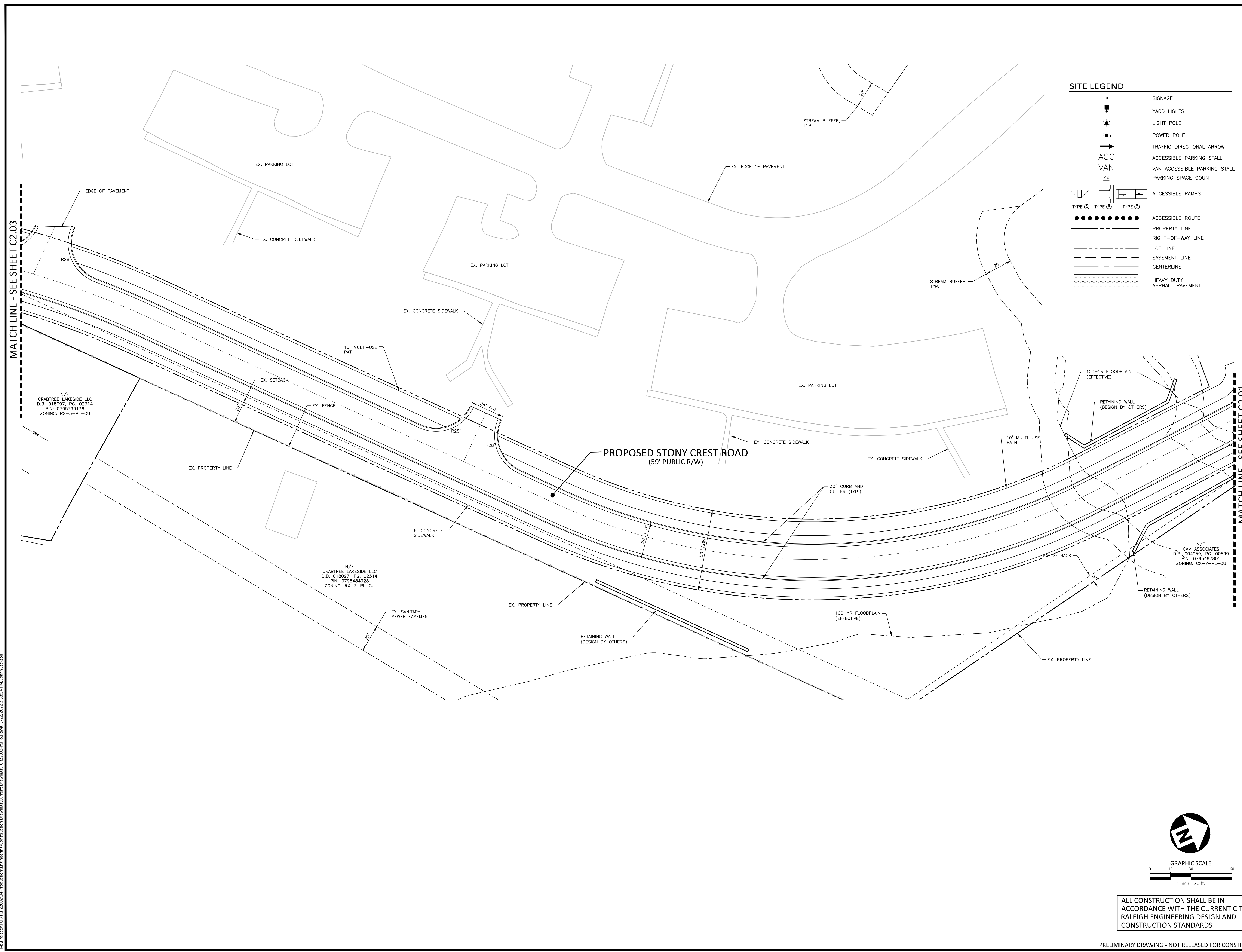
SHEET

SITE PLAN AREA 'B'

C2.02

SITE LEGEND

- SIGNAGE
- YARD LIGHTS
- LIGHT POLE
- POWER POLE
- TRAFFIC DIRECTIONAL ARROW
- ACCESSIBLE PARKING STALL
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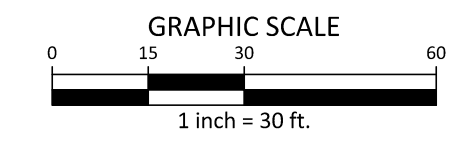
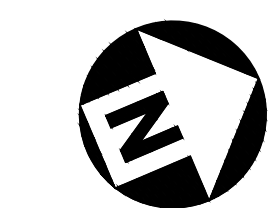
MATCH LINE - SEE SHEET C2.03

MATCH LINE - SEE SHEET C2.01

N/F
CRABTREE LAKESIDE LLC
D.B. 018097, PG. 02314
PIN: 0795399136
ZONING: RX-3-PL-CU

N/F
CRABTREE LAKESIDE LLC
D.B. 018097, PG. 02314
PIN: 0795484928
ZONING: RX-3-PL-CU

N/F
CMI ASSOCIATES
D.B. 004959, PG. 00599
PIN: 0795497805
ZONING: CX-7-PL-CU



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PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

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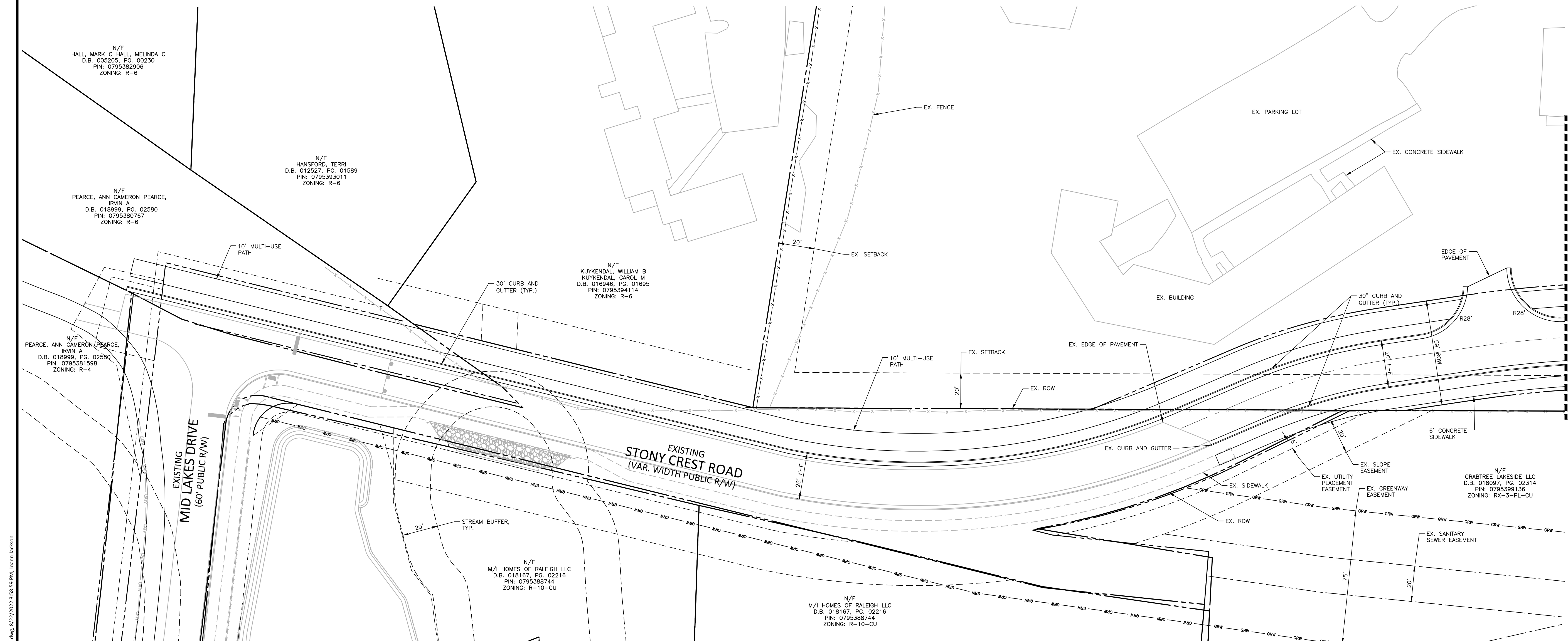
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5060 EDWARDS MILL ROAD
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SITE LEGEND

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PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

REVISIONS

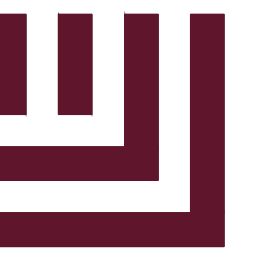
NO. DATE

PLAN INFORMATION

PROJECT NO. TCR-22002
FILENAME TCR22002-S1
CHECKED BY DB
DRAWN BY JJ
SCALE 1" = 30'
DATE 08.22.2022

SHEET

SITE PLAN AREA 'C'
C2.03



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RALEIGH, NC 27612
PHONE: 919. 876. 3103

TCR

TRAMMELL CROW RESIDENTIAL

THE ALEXAN
PRELIMINARY SUBDIVISION PLAN
5060 EDWARDS MILL ROAD
RALEIGH, NORTH CAROLINA 27612



REVISIONS

NO. DATE

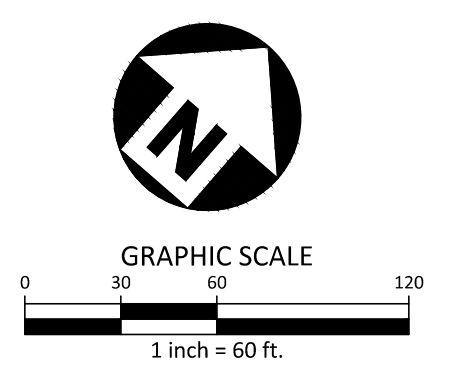
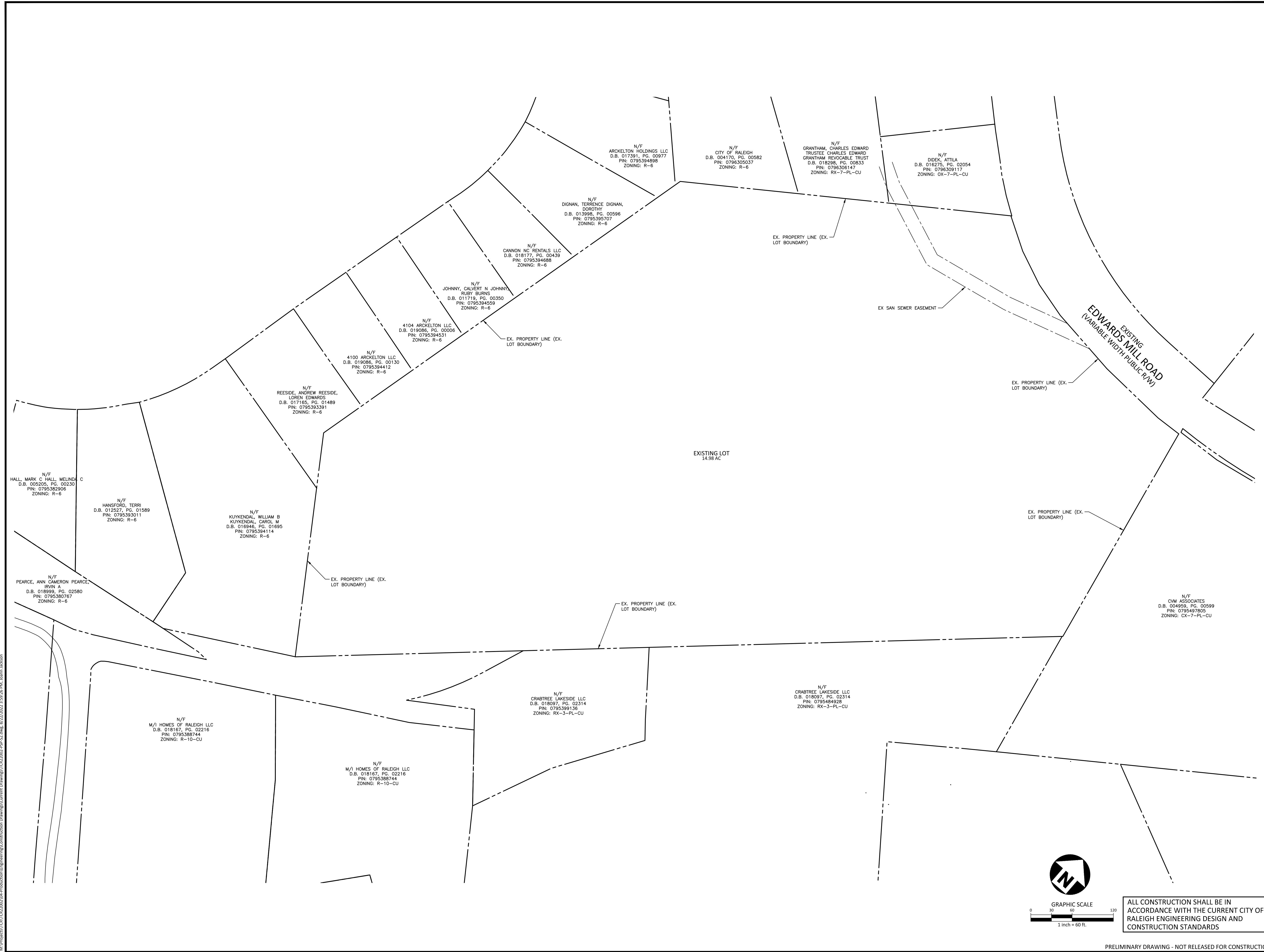
PLAN INFORMATION

PROJECT NO. TCR-22002
FILENAME TCR22002-S1
CHECKED BY DB
DRAWN BY JJ
SCALE 1" = 60'
DATE 08.22.2022

SHEET

**SUBDIVISION PLAN-
EXISTING LOTS**

C2.04



ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

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