

Case File / Name: SUB-0059-2022 DSLC - THE ALEXAN City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This 14.99 acre site zoned CX-7-CU and CX-12 CU (Z-1-21) is located on the south

side of Edwards Mill Road west of the intersection of Homewood Banks Drive

Edwards Mill Road at 5060 Edwards Mill Road.

REQUEST: This is a two lot conventional subdivision. Proposed lots 1 (12.68 acres) and 2

(0.63 acres) will be separated by proposed public street right-of-way.

DESIGN

ADJUSTMENT(S)/

ALTERNATES, ETC: ASR-0102-2022: DSLC - Administrative Site Review [ASR]/Administrative Site

Review

FINDINGS: City Administration finds that this request, with the below conditions of

approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated August 8, 2024 by McAdams.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☑ <u>SITE PERMITTING REVIEW</u> - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

- 1. All proposed retaining walls need to be numbered and the bw/tw elevations added to each end and the most extreme point shown on the grading plan. Retaining walls >10' and within 30' of a right of way must demonstrate compliance to 7.2.8 D in the UDO.
- As to avoid a resubmittal, all fire hydrants shall be shown behind the sidewalk as to adhere to standard detail W-5 and be on the water main side of the road. This must be shown updated on the first SPR submittal.

Engineering

3. The full widening, alignment and pedestrian connections along Edwards Mill Road have not been fully addressed and the developer has been made aware. There is the potential for additional widening and updates to create a compliant street section. This includes a pedestrian refuge as noted in the TIA and any associated utility relocates or access updates due to widening for a turn lane, pedestrian refuge and median. Further discussion on pedestrian connections to the Edwards Mill Road transit stop and right of way and discussion on transit stop itself.

Stormwater

4. The State of North Carolina shall approve any proposed disturbance within the riparian buffer prior to the issuance of any grading or site permit (UDO 9.2.3.E).



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- 5. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
- 6. A 100-year floodplain analysis shall be submitted and approved by the Engineering Services Department prior to the issuance of any grading or site permit (UDO 9.3).
- 7. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).
- 8. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).

Urban Forestry

- 9. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a demolition permit or grading permit, whichever comes first.
- 10. Submit a final tree conservation plan that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required (UDO 9.1.5).

☑ <u>LEGAL DOCUMENTS</u> - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

Ø	Right of Way Deed of Easement Required
V	Slope Easement Deed of Easement Required

Ø	Utility Placement Deed of Easement Required
Ø	Stormwater Maintenance Covenant Required

☑ <u>RECORDED MAP(S)</u> - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

General

- A demolition permit shall be issued and this building permit number shown on all maps for recording.
- Prior to recordation of a subdivision or recombination for the Property, whichever shall first occur, the Property owner shall cause to be recorded in the Wake County Registry a restrictive covenant that allocates AM and PM trip generation in peak hours upon the Property to all lots of record comprising the Property. (Z-1-21, #11)
- For clarification please add notes to demolition plan sheet regarding the removal of all existing parking with the ASR proposal. This is needed to clarify that this subdivision and proposed demolition will still comply with the standards of maximum parking (7.1.2)



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Engineering

- 4. A fee-in-lieu for those public improvements not fully completed (TBD) is paid to the City of Raleigh (UDO 8.1.10).
- 5. A 5' utility placement easement deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
- 6. A public infrastructure surety shall be provided to City of Raleigh Transportation Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.
- 7. A public street right-of-way deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
- 8. A slope easement deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

Public Utilities

 Infrastructure Construction Plans (concurrent submittal) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.

Stormwater

 The riparian buffers, in accordance with the preliminary plan and the State of North Carolina regulations, shall be shown on plats for recording along with required buffer statement (Recorded Map Checklist).



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- 11. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
- 12. The maximum allocated impervious area for all applicable lots in the subdivision should be identified on all maps for recording.
- 13. If demolition causes a land disturbance of more than 12,000 sf, a mass grading permit will be required. (UDO 9.4.6)
- 14. The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office (UDO 9.2.2.G).
- 15. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
- 16. The flood prone areas, as approved by the City Stormwater Engineer and shown on the preliminary plan, shall be shown on the recorded map (UDO 9.3.3.G).

Urban Forestry

- 17. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1). This development proposes 1.333 acres of tree conservation area.
- 18. A fee-in-lieu of planting for 9 street trees is paid to the City of Raleigh (UDO 8.1.10).
- 19. A public infrastructure surety for 66 street trees shall be provided to City of Raleigh Transportation Development Engineering Division (UDO 8.1.3) in the amount of 125% of the improvement cost for the City of Raleigh infrastructure.

☑ <u>BUILDING PERMITS</u> - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

Stormwater

- 1. The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office (UDO 9.2.2.G).
- All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
- 3. Impervious restrictions for each lot must be recorded on a plat prior to building permit issuance.



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Urban Forestry

- 4. A tree impact permit must be obtained for the approved streetscape tree installations in the right-of-way. This development proposes 66 street trees along Stony Crest Road.
- 5. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1).

The following are required prior to issuance of building occupancy permit:

General

- 1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
- 2. Final inspections of all tree conservation areas and right of way street trees by Urban Forestry Sta
- 3. All street lights and street signs required as part of the development approval are installed.
- 4. Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.

Stormwater

- 5. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).
- As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

EXPIRATION DATES: If significant construction has not taken place on a project after preliminary subdivision approval, that approval may "sunset" and be declared void, requiring re-approval before permits may be issued. To avoid allowing this preliminary approval to "sunset", the following must take place by the following dates:

3-Year Sunset Date: October 2, 2027

Record at least ½ of the land area approved.

5-Year Sunset Date: October 2, 2029

Record entire subdivision.

I hereby certify this administrative decision.

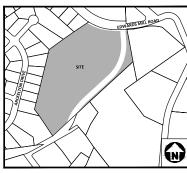
Signed: Keegan McDonald Date: 10/02/2024

Development Services Dir/Designee

Staff Coordinator: Michael Walters



	TYPE - SITE DATE TABLE to all developments)
	S INFORMATION
Gross site accessor 14.99	
Zoning districts (if more than one, provide ecreage a	(mill) over our a cry to cu
and an income the second	- CONCOR CANADOS
Overlay district NVA	Inside City Smits 7 2 Yes No
Conditional Use District (CUD) Clear # 2- 81-21,	Sound of Adjustment (DOA) Case # A-
STORIWA	ATER INFORMATION
Exacting Improvious Surface: Agree 4-52 Square-Foot (75.09)	Proposed Impervious Surface: Street, 412 Source Feet, 187,005
Name Coar Defler Ven. No.	Sursec First Pine
Is this a food hazard area? Ye'rier Norlf yes, please provide the following Allows colls: Not. Proof study. Not. SEAN Allay Panel P. 2720710005 & 172067500K.	
	FLOTS AND DENSITY
Total E of Sourchoose kids: Detected	Americal
Total # of single-family lots:	
Proposed density for each zoning district (UDO 1.5.	Erg
Total # of open space and/or common area lots:	
Total If of requested lots 2	
	ATURE BLOCK
departed in this application will be mailtained to all of herewith, and in accordance with the provisions and in CMASE Daystes and respond to activisation comments, resubmit pio curacify) in any public meeting regarding this regulation.	isci is curdonning to all application requirements applicable with its application is subject to the filling calendar and automate policy
Sonter	Onto: 2022, 12, 06
Frinted Name David M Boyelle	
Signature:	Date:
Privated Name:	
40-0-0-0-0-0-0-0	application to SitePer evill rate give one
Priesta Estat your completion	



VICINITY MAP



THE ALEXAN

PRELIMINARY SUBDIVISION PLAN

5060 EDWARDS MILL ROAD RALEIGH, NORTH CAROLINA, 27612

PROJECT NUMBER: TCR-22002 PROJECT CASE #: SUB-0059-2022

> REVISED: MARCH 21, 2023 REVISED: JULY 13, 2023 REVISED: OCTOBER 20, 2023 REVISED: FEBRUARY 8, 2024 REVISED: MAY 31, 2024 REVISED: AUGUST 8, 2024

Adopted: 8/23/20) 368 2/C 825 (0)	Effective 929200
Edwards Mi approximatel	II Road and Creedmoor Road (NC-5	timately 0.6 miles east of the intersection of 0), being Wake County PIN 0795399646 fixed Use-7 Steries-Conditional Use (CX-7 real Use (CX-12-CU).
Cond	itions dated: May 28, 2021	
	ek 8598, Page 1173 of the Wake C	ake County PIN 0795399646 (deed recorder ounty Registry) shall be referred to as th
		ential dwelling units upon the Property. uses upon the Property shall be limited to
4)	Office uses upon the Property shall be for the purpose of obtaining building hear trips generated on the proper equivalent to 850 units of Mid-Ris- square feet of High-Turnover (Si-Do ITE Trip Generation Manual Hatest o	
	and Emergency Shelter B; cemeter establishment; airfield or landing strip If any building upon the Property exc required vehicular parking spaces fi	ed upon the Preperty: Emergency Shelter A y; dermitoey, fratemity, or sonority; adult r; bar, nightetub, tavern, lounge. ceds five steries in height, at least 75% of the er that particular building shall be within a
7)	parking structure. The height of any building within the exceed six (6) stories.	portion of the Property zoned CX-7 shall no
8)	Where upper stories of structured part they must be sereened so that cars Sloped ramps cannot be discernible it	ing are located at the perimeter of a building are not visible from adjacent public streets rom adjacent public streets. Architectural or ide parked vehicles and shield lighting from
	between any building within 200' of a New buildings-within 200' of a publ	rking with a single drive aisle is permitted public street and the public street. ic street shall have a street-facing entrance on the public sidewalk to the main entrance
11	Prior to recordation of a subdivision shall first occur, the Property owner s	or recombination for the Property, whicheve half cause to be recorded in the Wake Count flocutes AM and PM trip generation in peal record comprising the Property.

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IMPERVIOUS AREA TABLE		
	ALLOWABLE	PROPOSED
LOT 1	6.90 AC.	6.86 AC.
LOT 2	0.00 AC.	0.00 AC.
R/W	1.15 AC.	1.15 AC.

CONTRACTOR SHALL NOTIFY "NC911" (811) OR (1-900-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT MY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC911". REPORT MY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.

SITE ADDRESS:	5060 EDWARDS MILL ROAD
	RALEIGH, NC 27612
PIN (& DEEDED ACREAGE):	0795399646 [14.99 AC.]
SITE AREA:	EXISTING EXISTING LOT - 652,788 SF / 14.99 AC
	PROPOSED LOT 1 - 552,126 SF / 12.68 AC LOT 2 - 27,386 SF / 0.63 AC
	ROW DEDICATION - 73,276 SF/ 1.68 AC
ZONING:	CX-7-CU: COMMERCIAL MIXED USE (Z-01-21) CX-12-CU: COMMERCIAL MIXED USE (Z-01-21)
EXISTING USE:	MULTI-UNIT LIVING
PROPOSED USE:	LOT 1: MULTI-UNIT LIVING LOT 2: OPEN LOT
RIVER BASIN:	NEUSE
WATERSHED: AREA IN FLOODWAY/FLOODPLAIN:	NA 1.09 AC.
FLOODPLAIN/FIRM PANEL:	3720079500K 3720079600K
IMPERVIOUS SURFACE:	DOSTING IMPERVIOUS SURPACE: 1375-039 5° ALO AC AC DOSTING IMPERVIOUS SURPACE TO BE REMOVED: PROPOSED IMPERVIOUS SURPACE TO REMAIN: 146,645 5°,33.7 AC PROPOSED IMPERVIOUS: TOTAL REPOSED IMPERVIOUS: 1397,103 5°,43.2 AC
VEHICULAR PARKING SUMMARY:	MAXIMUM PARKING ILDT I ENSTING BLOSS) 21 -BEIDCOM, PL 3 -SPUINE - 3 DINTS - 75 SPACES EX -BEIDCOM, PL 3 SPUINET - 15 UNITS - 25 SPACES EX -BEIDCOM, PL 2.5 SPUINET - 14 UNITS - 25 SPACES TOTAL MAXIMUM SPACES ALLOWED - 183 SPACES EXISTING PARKING (TO BE REMOVED WITH ASS) - 399 SPACES EXISTING PARKING TO BE REMOVED - 50 SPACES INC. 3 ADAY
	EXISTING PARKING TO REMAIN w/ PSP (TO BE REMOVED WITH ASR 149 SPACES
ACCESSIBLE PARKING SUMMARY:	REQUIRED ADA PARKING TOTAL PARKING REMAINING - 149 SPACES REQUIRED ADA PARKING - S TOTAL w/ 1 BEING VAN ADA
	5 TOTAL W/ 2 BEING VAN ADA
BICYCLE PARKING SUMMARY:	REQUIRED PARKING
	N/A
	PROVIDED PARKING
	N/A
OPEN SPACE	N/A
PREVIOUS APPROVALS	REZONING: Z-01-21
TOTAL EXISTING LOTS	1
TOTAL PROPOSED LOTS	2
BLOCK PERIMETER	BLOCK PERIMETER EXEMPTION PER UDO SEC. 8.3.2.a.1.ix - ADIACEN LOTS ARE LESS THAN 2 ACRES IN SIZE WITH RESIDENTIAL BUILDING TYPES.
CROSS ACCESS	CROSS ACCESS EXEMPTION PER UDO SEC. 8.3.5.D.5.a - ADJACENT L ARE LESS THAN 2 ACRES IN SIZE WITH RESIDENTIAL BUILDING TYPE

SHEET INDEX

C0.00	PROJECT NOTES
C1.00	OVERALL EXISTING CONDITIONS
C1.01	EXISTING CONDITIONS AREA "A"
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C1.03	EXISTING CONDITIONS AREA "C"
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C1.05	DEMOLITION PLAN AREA "B"
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C4.00	OVERALL UTILITY PLAN
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C4.02	UTILITY PLAN AREA "B"
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C8.00	SITE DETAILS
C8.01	UTILITY DETAILS
C8.02	STORM DRAINAGE DETAILS
L2.00	TREE CONSERVATION PLAN
L2.01	TREE CONSERVATION CALCULATIONS
L5.00	LANDSCAPE PLAN

ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST VERSION OF THE CITY OF RALEIGH AND NCDOT STANDARDS, SPECIFICATIONS AND DETAILS

ATTENTION CONTRACTORS

The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Public Works Deportment at (191) 398—2409, and the Public Utilities Deportment at (191) 398—2509 at least the public Utilities Deportment at (191) 398—2509 at least the public Utilities profer to beginning any of their construction.

Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for inspection, install a Downstream Plug, have Permitted Plans on the Jobalte, or any other Violation of City of Roleigh Standards will result in a <u>Flane and Possible Exclusion</u>, from future work in the City of Roleigh.





phone 919. 361. 5000 fax 919. 361. 2269 license number: C-0293, C-187

CONTACT

DAVID BOYETTE boyette@mcadamsco.com

CLIENT

TRAMMELL CROW RESIDENTIAL 4509 CREEDMOOR ROAD, SUITE 308 RALEIGH, NC 27612 PHONE-919, 876, 2103

PROJECT DIRECTORY

DEVELOPER

TRAMMELL CROW RESIDENTIAL 4509 CREEDMORE ROAD, SUITE 308 RALEIGH, NC 27612

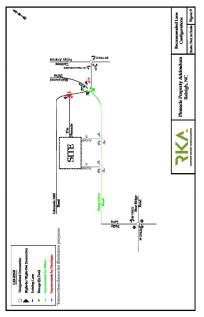
ARCHITECT DWELL DESIGN STUDIO 8200 GREENSBORO DRIVE, SUITE 650 MCLEAN, VA, 22102 PHONE: 571. 253. 6950



PRELIMINARY
SUBDIVISION PLAN FOR:

THE ALEXAN
RALEIGH, NORTH CAROLINA 27603
PROJECT NUMBER: TCR-22002

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



SITE PLAN NOTES

- NON-ALEY LUDGE DEVICENS MAY MITERIOR A THEFE HO LUGGE THAN 20 FEET FROM THE MITERIOR CONTROL THE METERS CHAIN OF THE TREAT HAVE AND. THE MANNEY CHAIN CHAIN
- WITHIN THE AREA DETRIED SIGHT TRIANGES SHOWN ON THESE PLANS, THERE SHALL BE NO SIGHT OBSTRUCTING OR PARTLY OBSTRUCTING WALL, FENCE, SON, FOLIAGE BERMS, OR PARKED VEHICLES BETWEEN THE HEIGHTS OF 24 NICHES AND 8 FEET RAVOUR THE CURB BLUE LEVATION OR THE HEADERST TRAVEL WAY IF NO CURB LIME EXISTS, RETER TO SECTION 6.12 OF THE LATEST VERSION OF THE RALEIG STREET DESIGN MANUAL, FOR ADDITIONAL DETAILS.
- 3. MULTIWAY STOP CONTROL WILL NOT BE USED AT ANY PUBLIC STREET INTERSECTION WITHOUT AN ENGINEERING STUDY TO PROVIDE DATA TO CITY OF RALEIGH TRANSPORTATION DIVISION THAT THE MULTIWAY STOP INSTALLATION WARRANTS CAN BE MET AND ORDINANCED BY CITY COUNCIL APPROVAL
- ALL CONSTRUCTION SHALL CONFORM TO THE LATEST CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS AS APPLICABLE.
- 5. ALL DIMENSIONS SHOWN ON SITE PLAN ARE MEASURED TO FACE OF CURB UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALI PIPING PRIOR TO CONCEAUMENT, DRAWINGS SHALL BE GIVEN TO THE ENGINEER UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE OWNER.
- EXISTING IMPROVEMENTS DAMAGED DURING CONSTRUCTION SHALL BE REPLACED/RESTORED TO THEIR ORIGINAL COMBITION AND TO THE SATISFACTION OF THE OWNER, BY THE CONTRACTOR RESPONSIBLE FOR
- THE CONTRACTOR SHALL NOTE THAT THE DRAWINGS MAY NOT SHOW EVERY OFFSET, TRANSITION, FITTING ETC. THAT MAY BE REQUIRED THE CONTRACTOR SHALL INSTALL SUCH STANDARD APPURTENANCES AS REQUIRED TO CLOSELY FOLLOW THE GRADES AND ALIGNMENTS DEPICTED ON THE PLANS.
- CONTRACTOR SHALL HOTHY "HOST!" (SIT) OR (1-800-832-4249) AT LEAT 3 FALL BUSINESS DAYS PRORT TO BEGINNING CONSTRUCTION OF COLONARY TO HAVE DOSTROL VILLIES LOCATED. CONTROL SHALL CONTACT ANY LOCAL UTLITES THAT PROVIDE THERE OWN LOCATOR SERVICES INDEPENDENT OF "NCOT!". REPORT ANY DISCREPANCES TO THE CENDERS MALECHAETY.
- 10. CONTRACTOR IS RESPONSIBLE FOR COORDINATING CONSTRUCTION ACTIVITIES WITH THE APPROPRIA UTILITY COMPANIES FOR ANY REQUIRED RELOCATIONS (I.E. POWER POLES, TELEPHONE PEDESTALS METERS, ETC.).
- . PRIOR TO BEGINNING CONSTRUCTION BEYOND EROSION CONTROL MEASURES, THE GENERAL CONTRACTOR SHALL SCHEDULE AND ATTEND A PRE-CONSTRUCTION CONFERENCE WITH THE CITY OF RALEIGH PUBLIC
- 12. ALL DIMENSONS AND GRACES SHOWN ON THE PLANS SHALL BE FIELD VERFIED BY THE CONTRACTOR PROR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENABLES IF ANY IDSCREPANCES DISST PROR TO PROCEEDING WITH CONSTRUCTION, FOR NICESSEARY PLAN OR GRADE CHANCES. NO EXTRA CAMPENSATION SHALL BE PAID TO CONTRACTOR FOR MY YORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NITERICATION FLOR THE BED WITH STATEMENT PLANS IN THE PLANS IN
- ACCESSIBLE RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF RALEIGH UNIFIED DEVELOPMENT ORDINANCE (UDO) DETAILS.
- A LLI SDEWALS THAT CONNECT TO THE PUBLIC RIGHT-OF-WAY MUST BE ACCESSIBLE TO PERSONS WHO ARE BIRD, HAVE LOW MOSO AND PEOPLE WITH MOBILITY DISABILITIES, PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDISTRIAN EXISTING ROUTES AND ALTERNATE PEDISTRIAN EXISTING ROUTES WHO HAVE ALTERNATE PEDISTRIAN EXISTING ROUTES WHO HAVE THE PUBLIC ROWTS OF WAY ARE CONSTRUCTED (PRODUCT). AND STANDARDS FOR ACCESSIBLE DESIGN AND THE MARKAL OF UNIFORM THAT CONTROL CHARGE (MEXIST) (MEXISTING ROUTES).
- 5. TYPICAL PAVEMENT SECTION DETAILS ARE SHOWN WITHIN THIS SET AND INTENDED TO BE A MINIMUM PAVEMENT SECTION REQUIREMENT. THE CURRENT GEOTECHNICAL REPORT SHALL OVER-ROB ALL TYPICAL PAVEMENT SECTIONS SHOWN IF THE GEOTECHNICAL REDINER DEVEL A HEAVER SECTION IS REQUIRED.
- 16. EQUIPMENT AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED PROVIDED APPROVAL HAS BEEN OBTAINED FROM THE OWNER IN WRITING PRIOR TO ORDERING OR INSTALLATION. THE CONTRACTOR SHALL WAVE ANY CLAMF FOR ADDITIONAL COST RELATED TO SUBSTITUTION OF ALTERNATE EQUIPMENT.
- 17. IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO THE LATEST VERSION OF THE RALEIGH STREET DESIGN MANUAL AND CONTACT PUBLIC WORKS STAFF FOR FURTHER GUIDANCE.
- 18. ALL SIGNAGE ASSOCIATED WITH THE PUBLIC STREET SYSTEM SHALL ADHERE TO MUTCO STANDARDS AND SPECIFICATIONS.

TRAFFIC CONTROL NOTES

- THE CONTRACTOR SHALL CONDUCT ALL WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION).
- PRIOR TO START OF WORK, A PRE CONSTRUCTION MEETING MUST BE SETUP WITH THE CONTRACTOR AND THE CITY OF RALEIGH TRANSPORTATION FIELD SERVICES STAFF. CONTACT ENGINEERING INSPECTIONS AT 919-999-4090 TO SET UP THE MEETING.
- . A TEMPORARY STREET CLOSURE REQUEST MUST BE SUBMITTED AT LEAST A MINIMUM OF TWO WEEKS PRIOR TO THE START OF WORK. SEE "RIGHT-OF-WAY CLOSURES" ON WWW.RALEICHNC.GOV. SEND THE RIGHT-OF-WAY OBSTRUCTION PERMIT REQUEST TO RIGHT-OF-WAY SERVICESORALEICHNC.GOV.
- THE CONTRACTOR SHALL HAVE A COMPLETE SET OF CONTRACT DOCUMENTS AS WELL AS ALL PERMITS, APPROVALS AND EASEMENTS ON THE JOB SITE AT ALL TIMES.
- THE CONTRACTOR SHALL REPAIR ALL DAMAGED DRIVEWAYS, DRIVEWAY PIPES, CURB AND GUTTER, SIDEWALKS AND STREETS TO EXISTING CONDITION OR BETTER.
- SECREMAKS MUST BE ACCESSIBLE TO PERSONS WHO ARE VISUALLY IMPARED AND PEOPLE WITH MOBILITY DISABILITIES. EUSTRING PEDESTRIAN ROUTES AND ALTERNATE PEDESTRIAN ROUTES, DURING CONSTRUCTION, MLL BE REQUIRED TO BE COMPUTED WITH 1991 THE PEOPLE OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEMOES (MITCE).

PAVEMENT MARKING NOTES

- ALL PAVEMENT MARKINGS SHOWN IN THESE PLANS FOR CITY OF RALEIGH MAINTAINED STREETS ARE SUBJECT TO FINAL APPROVAL FROM PUBLIC WORKS TRANSPORTATION OPERATIONS DIVISION. CONTRACTOR SHALL CONTACT TRANSPORTATION OPERATIONS AT 199-996-3030 FOC COORDINATION AND FINAL APPROVAL PRIOR TO PLACEMENT OF ANY PAREMENT MARKINGS. MARKINGS WITHIN NCDOT RIGHT-OF-WAYS SHALL BE IN COMPURANCE WITH MOROOT STANDARDS AND SEPECHACIONS.
- ALL SIGNS & PAVEMENT MARKINGS ASSOCIATED WITH THE PUBLIC STREET SYSTEM WILL REQUIRE APPROVAL BY CITY COUNCIL TO BE ORDINANCED FOR ENFORCEMENT.
- ALL PAVEMENT MARKINGS SHALL BE PLACED PER THE NCDOT DIVISION 12 STANDARD DETAILS. BICYCLE LANE MARKINGS SHALL BE PLACED PER CITY OF RALEIGH STANDARD BICYCLE FACILITIES DETAILS.

GRADING NOTES

- . ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION, CONTRACTOR SHALL NOTIFY THE DIGNEER IF ANY DISCREPANCIES DISST PRIOR TO PROCEEDING WITH CONSTRUCTION, FOR NECESSAY PLAN OR GRADE CHANGES, NO EXTRA COMPOSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSION OR GRADES SHOWN INCORPECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GRADE.
- 2 OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSIN) STANDARDS FOR EXCLATIONS, FINAL RULE 2007P PART 1926, SUPPART 17 APPLIES TO ALL DICAM/INDON EXCEDING THE C) FET IN DEPTH. EXCAVATION EXCEEDING THE CITY (20) FET IN DEPTH REQUIRES THE DESIGN OF A RESHOT SAFETY SYSTEM BY A REOSTRED PROFESSIONAL EXORMER, PROVIDED BY CONTRACTOR RESPONSIBLE FOR EXCLAVATION.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS AS APPLICABLE.
- CONSTRUCTION, MAINTENANCE AND REMOVAL OF ALL EROSION CONTROL DEVICES ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. TIMING OF REMOVAL SHALL BE COORDINATED WITH THE EROSION CONTROL INSPECTOR.
- SOIL UNDER BUILDINGS, PAVED AREAS AND WITHIN SLOPES GREATER THAN 3:1 (H:V) SHALL BE APPROVED, PLACED AND COMPACTED AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER.
- CONTRACTOR SHALL DETERMINE LOCATIONS FOR SPILL CURB TO PROVIDE POSITIVE DRAINAGE TO STORM STRUCTURES THROUGHOUT THE SITE. NO "BIRDBATHS" SHALL BE CREATED WITHIN THE CURB AND GUTTER OR ASPHALT PAYED AREAS.

STORM DRAINAGE NOTES

- 1. ALL STORM DRAINAGE PIPES SHOWN SHALL BE CLASS III REINFORCED CONCRETE (RCP) UNLESS NOTED
- 2. ALL STORM DRAINAGE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH STANDARDS.
- 3. ALL CONCRETE SHALL WEET A MINIMUM 3000 PSI COMPRESSIVE STRENGTH.
- 4 ALL PIPE IN STORM DRAIN STRUCTURES SHALL BE STRUCK EVEN WITH INSIDE WALL.
- ALL PIPE JOINTS SHALL BE MADE WITH PREFORMED JOINT SEALER, WHICH CONFORMS TO AASHTO SPECIFICATION M-198 FOR TYPE B FLEXIBLE PLASTIC GASKETS UNLESS OTHERWISE NOTED.
- THE INTERIOR SURFACES OF ALL STORM DRAINAGE STRUCTURES SHALL BE POINTED UP AND SMOOTHED TO AN ACCEPTABLE STANDARD, USING MORTAR MIXED TO MANUFACTURER'S SPECIFICATIONS.
- 7. ALL BACKFIL EHALL BE NON-PLASTIC IN NATURE, FREE FROM ROOTS, VEGETATION MATER, WASTE CONSTRUCTION MATERIA, OR OTHER GREGOTOMAGE MATERIA, AS DO MITEMIA, SHALL BE CAPACIFE OF BRING COMPACTED BY MECHANICAL MEANS AND SHALL HAVE NO TENDERCY TO FLOW OR BEHAVE IN A PLASTIC MANNER UNDER THE TAMPING BLOWS OF PROOF ROLLING.
- MATERIALS DEEMED BY THE OWNER'S REPRESENTATIVE OR GEOTECH AS UNSUITABLE FOR BACKFILL PURPOSES SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL.
- 9. BANYILLING OF TRENDIES SHALL BE ACCOMPUSHED IMMEDIATELY ATTER PIPE IS LIB. THE FILL AROUND THE PIPE SHALL BE THOROUGH, YOUNDACTED TO 95 % OF THE MAXMAU DRY DENSITY OBTAINABLE WITH THE STANDARD PROCTOR TEST. THE TOP EIGHT (6) WORLD SHALL BE COMPACTED TO 100 PERCENT STANDARD PROCTOR.
- 10. UNDER NO CIRCUMSTANCES SHALL WATER BE ALLOWED TO RISE IN UNBACKFILLED TRENCHES AFTER PIPE HAS BEEN PLACED.
- 11. ALL CONCRETE PIPE AND PRECAST STORM STRUCTURES SHALL MEET NCDOT STANDARDS AND STAMPED ACCORDINGLY BY MANUFACTURER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING ALL PIPE AND STRUCTURES FOR CRACKS OR BREAKS PRIOR TO INSTALLATION. ANY DAMAGED ITEMS SHALL NOT BE INSTALLED.
- "KNOCK-OUT" BOXES OR HDPE PIPE SHALL NOT BE ALLOWED WITHIN PUBLIC RIGHT-OF-WAYS UNLESS APPROVED IN WRITING BY CITY OF RALEIGH STORMWATER DEPARTMENT.

RETAINING WALL NOTES

- THE RETAINING WALL ALIGNMENT SHOWN ON THESE PLANS DEFICES THE LOCATION OF THE FRONT FACE
 OF THE RETAINING WALL AT THE TOP OF THE WALL THE CONTRACTOR IS RESPONSIBLE FOR ENGINEN
 RETAINING WALLS ARE NOT LOCATED IN ANY STREAM BUFFERS. AND THEIR CONSTRUCTION DOES NOT
 ENGROUGH INTO MAY ADJACENT PROPERTIES DUE TO MAY BRATTER INCORPORATED IN THE DESIGN OF THE
 WALLS.
- RETAINING WALLS ARE TO BE DESIGN-BUILD PROJECTS BY THE CONTRACTOR. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN FINAL CONSTRUCTION DRAWNOS FROM A REGISTERED EN AND GAN ALL REQUIRED PERMITS NECESSARY FOR THE CONSTRUCTION OF THE RETAINING WALLS.
- RETAINING WALLS SHALL BE ASSUMED TO BE BACKFILLED WITH OFF-SITE BORROW MATERIAL OR PROVIDE TO THE OWNER WITH COMPINATION FROM THE CROSSED FILL UNLESS THE CONTRACTOR CAN PROVIDE TO THE OWNER WITH COMPINATION FROM THE PROPERTY WALL BEST ONLY AVAILABLE ON-SITE SOLS OWN BE USED.
- THE TOP AND BOTTOM OF WALL ELEVATIONS SHOWN ON THESE PLANS IDENTIFY PRISHED GRADE ELEVATIONS CON.Y. THE EXTENT THAT THE RETAINING WALL WILL BE EXTENDED BELOW GRADE TO THE POOTING OR ABOVE GRADE TO THE OTHER CAP BLOCK COURSE SHALL BE BENTIFED ON THE RETAINING WALL CONSTRUCTION DRAWNOSS.
- 5. ALL RETAINING WALLS OVER 30" HIGH SHALL HAVE A SAFETY FENCE (DESIGN BY OTHERS).
- ANY PART OF ANY RETAINING WALL THAT EXTENDS INTO THE RIGHT-OF-WAY WILL REQUIRE AN ENCROACHMENT AGREEMENT. ENCROACHMENT AGREEMENTS FOR RETAINING WALLS SHALL BE APPROVED PRIOR TO CONSTRUCTION DRAWNG APPROVAL.
- ANY TIEBACK SYSTEMS FOR THE RETAINING WALLS SHALL NOT BE ALLOWED WITHIN PUBLIC RIGHT-OF-WAY.
- STORMWATER RUN-OFF SHALL BE DIRECTED AWAY FROM RETAINING WALLS. ANY RUN-OFF FLOWING TO AND OVER A RETAINING WALL SHALL BE KEPT TO AN ABSOLUTE MINIMUM AND BROUGHT TO THE ATTENTION OF THE WALL DESIGNER PRIOR TO THEIR DESIGN.

CITY OF RALEIGH PUBLIC UTILITIES STANDARD UTILITY NOTES (AS APPLICABLE)

 ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION). 2. UTILITY SEPARATION REQUIREMENTS:

a) A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANTARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SIGN AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DENNING WATER IN ADEQUATE LYBRAL SEPARATION CONNOT BE ANALYSE, FERROIS SHARIFY SEWER PRES SHALL BE SPECIFIED & MSTALLED TO MAINTAINES SPECIFICATIONS, HORSEN, THE WINNING SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR SO' FROM A PUBLIC WELL).

b) WHEN INSTALLING WAITER &/OR SEMER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10°. IF THIS SEPARATION CANNOT BE MANTAINED DUE TO EXISTING CONDITIONS, THE VARATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WAITER MAIN AT LEAST 18° ABOVE THE TOP OF THIS SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DEECTOR. ALL DESTANCES ARE MEASURED FROM OUTSIDE DIMMETER 10 OTISSED DIMMETER 10 OTISSED DIMMETER.

c) WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERWAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10" ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERIALS SPECIFICATIONS.

d) 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.

e) MANTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS, MARTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANTARY SEWER & RCP STORM DRAIN CROSSINGS, WHERE ADEQUATE SEPARATIONS CAMON'S BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49).

f) ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.

ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.

CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT, ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADMANCE NOTICE TO THE CITY OF RAUGHOIP UBBLIC UTILITIES DEPARTMENT.

3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS, 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.

IT IS THE DIVELOPER'S RESPONSIBILITY TO ABUNDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USERN WEIGHT OF REMOVED AND THE ASSOCIATION OF RELIGIOUS DEPOSITION OF REMOVED AND THE SERVICES OF REMOVED AND THE SERVICE FROM NOW OF SERVICE FROM NOW OF SERVICE FROM NOW OF SESSION OF SERVICE FROM NOW OF SERVICE FR

. Install 3/4" copper* water services with meters located at row or within a 2'x2" waterline easement immediately adjacent, <u>Note</u>. It is the applicant's responsibility to properly size the water service for each connection to provide adgolate flow a pressure.

INSTALL 4" PVC* SEWER SERVICES © 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.

PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0° ABOVE THE NEXT UPSTREAM MANHOLE.

NCDOT / RALROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.

12. GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOO PROGRAM COORDINATOR PRORT TO ISSUANCE OF A BUILDING PERMIT, CONTACT TIM BEASLEY AT (919) 250–7825 OR TIMOTHY.BEASLEY/BRALEIGHNG.GOV FOR MORE INFORMATION.

13. CONSIDERATION CORREST, PROTECTION EXCESS. ARE EXCURED THESE, ON SECRET OF FACTA INJURIES WHICH AND APPROACH OF THE MULTI-OPERATION FORCE WITH STATEMENT OF THE MULTI-OPERATION FORCE WITH STATEMENT IN CONTINUE. THE STATEMENT IN CONTINUE THE STATEMENT OF THE MULTI-OPERATION. THE STATEMENT OF T

ADDITIONAL UTILITY NOTES:

- . ALL WATER MAINS, SERVICES AND FIRE SERVICES GREATER THAN 2" DIAMETER ARE TO BE DUCTILE IRON PIPE. 2" & SMALLER DOMESTIC SERVICES MUST BE TYPE K SOFT COPPER (WITHOUT FITTINGS) TO THE WATER METER.
- ALL SEWER MAINS SHALL BE EITHER PVC OR DUCTILE IRON PIPE AS SHOWN ON THE PLANS, ALL PIPE MATERIAL SHALL MEET CITY OF RUBGH STANDAGS AND SPECIFICATIONS AS DETRIED IN THE LATEST ISSUE OF THE PUBLIC UTILITIES HANDBOOK AND/OR UNIFIED DEVLOPMENT ORDINANCE (UID).
- ALL FIRE HYDRANTS ALONG PUBLIC R/W LINES SHALL HAVE A 3'WX3'L CITY OF RALEIGH WATERLINE EASEMENT ONTO ADJACENT PROPERTY.
- 4. ALL SANTARY ESPER INTERCEPTOR LINES (18" AND LARGEN), AS WELL AS MANHOLES AND ITTIMOS ASSOCIATIO WITH THE INTERCEPTOR LINE, SANLE BE INTERNALLY LINED WITH PROTECTOR 401 OR APPROVED EQUAL, TO PREVENT HYDROCEN SULPIDE CORROSION, SEE THE CURRENT CITY OF RALEGH PUBLIC UTILITIES DEPAYMENT HANDGOOK FOR APPROVED COMINIONS AND APPLICATION METHODS.
- EXISTING UTILITIES SHOWN ARE BASED ON FIELD SURVEYS AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SMALL VERRY CONDITIONS PRIOR TO BEGINNING CONSTRUCTION. ANY DISCREPANCES BETWEEN ACTUAL FIELD CONDITIONS AND THE PLANS SMALL BE REPORTED TO THE PROMISER HAMPDATELY.
- ALL WATER AND SEWER MAINS WITHIN PUBLIC EASEMENTS OR RIGHTS-OF-WAY TO BE OWNED, OPERATED, AND MAINTAINED BY THE CITY OF RALEIGH.
- ALL WATER AND SEWER MAINS NOT WITHIN PUBLIC EASEMENTS OR RIGHTS-OF-WAY TO BE PRIVATELY OWNED, OPERATED, AND MAINTAINED BY THE PROPERTY OWNER.
- ALL UTILITY SLEEVES SHALL BE SCHEDULE 40 PVC AND INSTALLED WITH 2' MINIMUM COVER. BOTH ENDS SHALL BE CAPPED AND MARKED.

MCADAMS The John R. McAdams Company, Inc 621 Hillsborough Street

Suite 500 Raleigh, NC 27603 phone 919, 361, 5000 fay 919 361 2269

license number: C-0293, C-187

CLIENT

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TCR TRAMMELL CROW RESIDENTIAL

> THE ALEXAN
> RELIMINARY SUBDIVISION PLAN
> 5060 EDWARDS MILL ROAD
> RALEIGH, NORTH CAROLINA 27512 PR



REVISIONS

PLAN INFORMATION

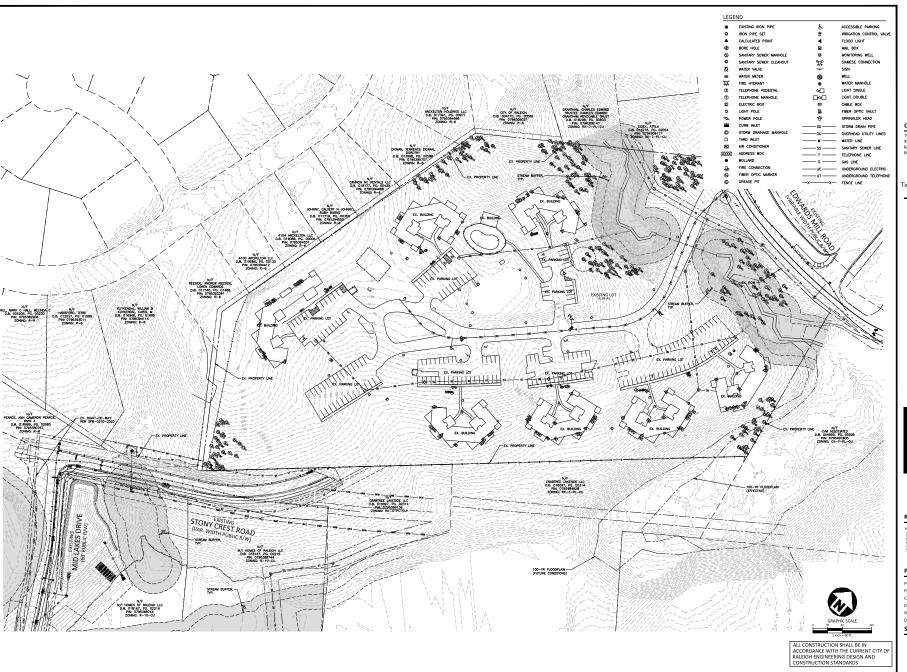
PROJECT NO. FILENAME TCR22002-PSP-N1 CHECKED BY DB DRAWN BY SCALE MTS DATE 08.22.2022

PROJECT NOTES

SHEET

C0.00

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION





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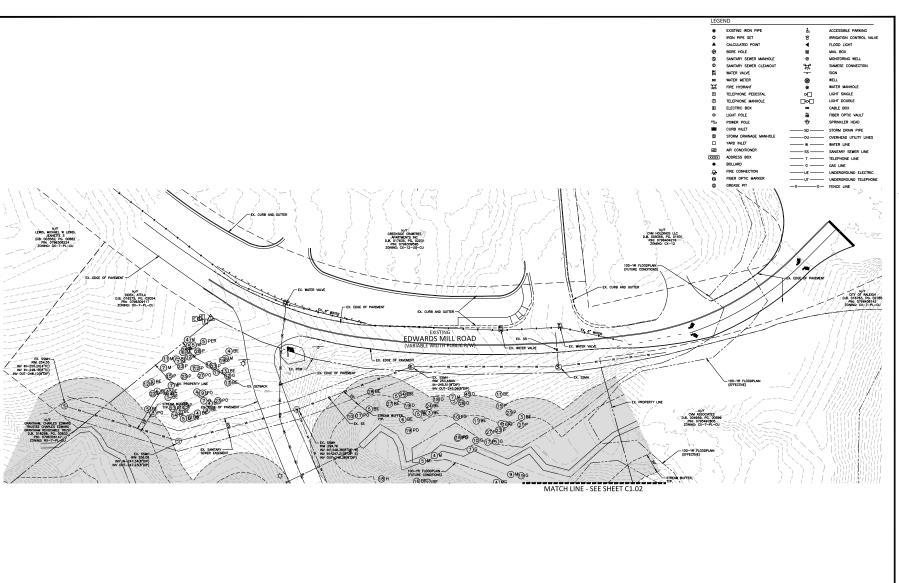
REVISIONS

PLAN INFORMATION

PROJECT NO. FILENAME TCR22002-PSP-XC1 CHECKED BY DB DRAWN BY SCALE 1" = 60" DATE 08.22.2022 SHEET

OVERALL EXISTING CONDITIONS

C1.00





ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS

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www.mcadamsco.com

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REVISIONS

NO.	DATE	
3	03.21.2023	COR 3RD PSP COMMENT RESPONSES
4	07.13.2023	COR 4TH PSP COMMENT RESPONSES
5	10.20.2023	COR 5TH PSP COMMENT RESPONSES
6	02.08.2024	COR 6TH PSP COMMENT RESPONSES
7	05.31.2024	COR 7TH PSP COMMENT RESPONSES
8	08.08.2024	COR 7TH PSP COMMENT RESPONSES

PLAN INFORMATION

PROJECT NO. TCR-22002
FILENAME TCR22002-PSP-XC1
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DRAWN BY JJ
SCALE 1*=30*
DATE 08.22.2022

SHEET

EXISTING CONDITIONS AREA 'A'

C1.01





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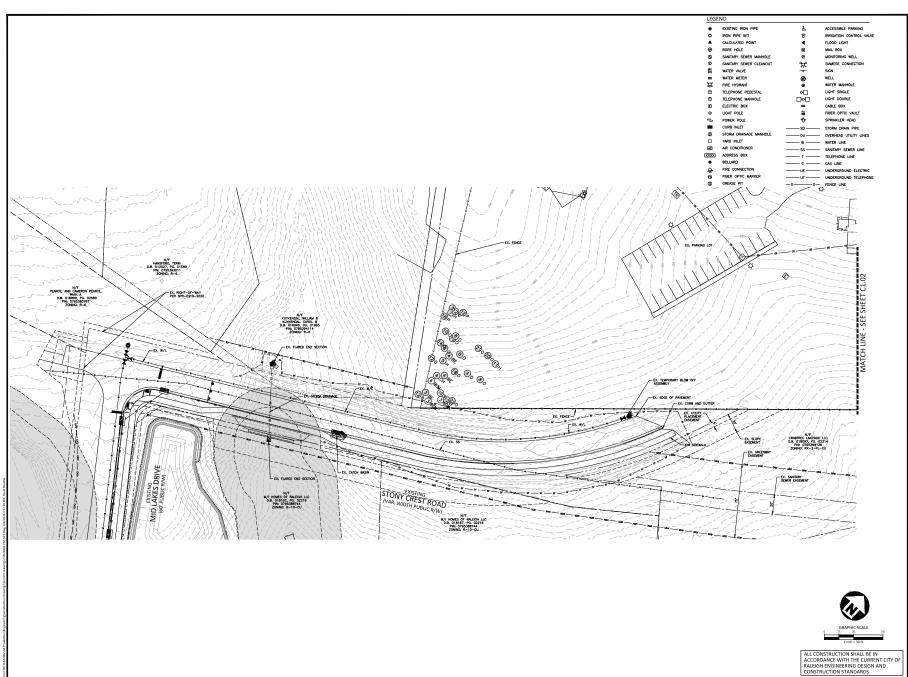
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PLAN INFORMATION

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EXISTING CONDITIONS AREA 'B'

C1.02





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PLAN INFORMATION

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EXISTING CONDITIONS AREA 'C'

C1.03



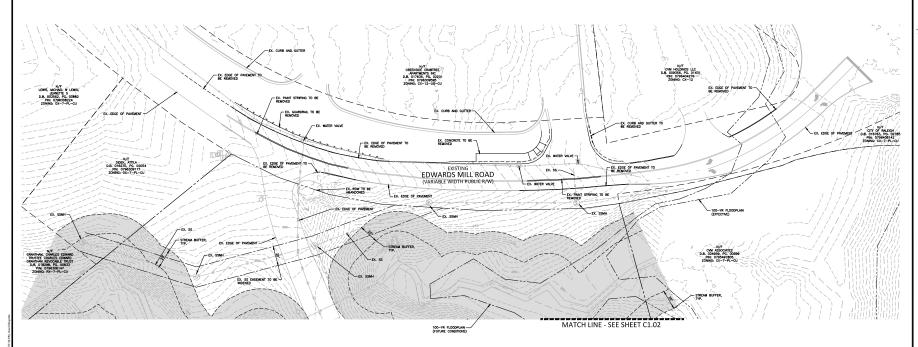
XTREE

TREE OR OTHER VEGETATION TO BE REMOVED

WINDERGROUND UTILITY TO BE REMOVED

AREA TO BE REMOVED (SIDEWALK, CURB AND GUTTER, STRUCTURES, ASPHALT, CONCRETE PAVING, ETC.)

NOTE: SEE PLAN FOR DETAILED DEMOLITION PROCEDURES, SEQUENCING AND SPECIFICATIONS.





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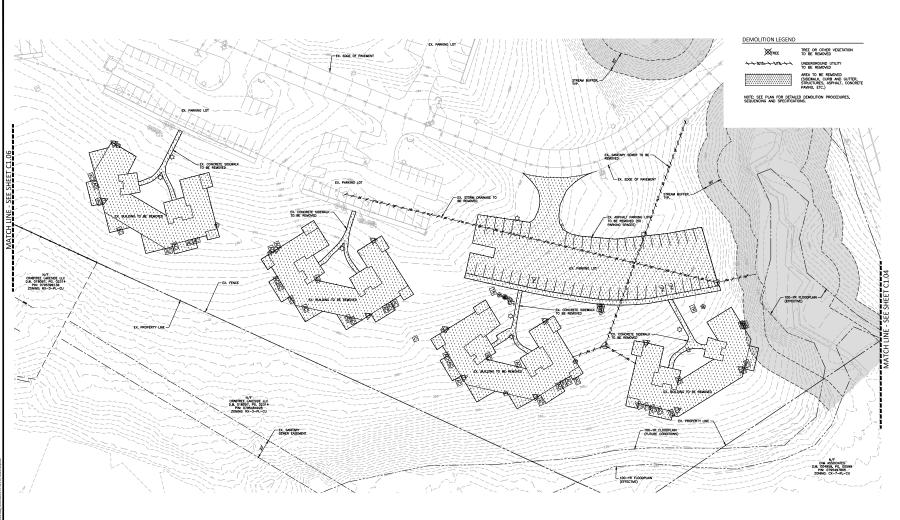
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PLAN INFORMATION

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DEMOLITION PLAN
AREA 'A'

C1.04





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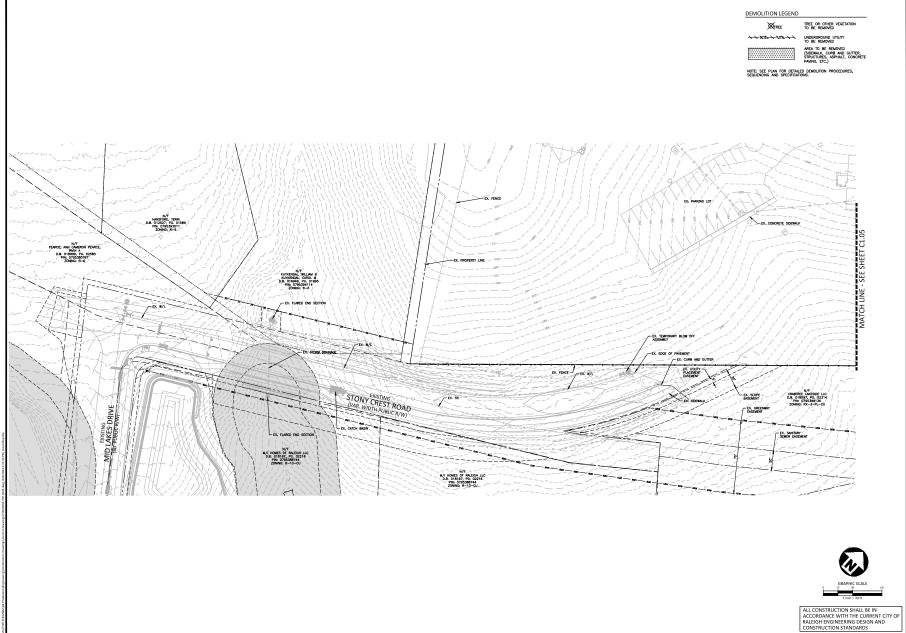
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PLAN INFORMATION

PROJECT NO. FILENAME CHECKED BY TCR22002-PSP-DM1 DRAWN BY SCALE 1" = 30" 08.22.2022 DATE SHEET

DEMOLITION PLAN
AREA 'B'

C1.05





CLIENT

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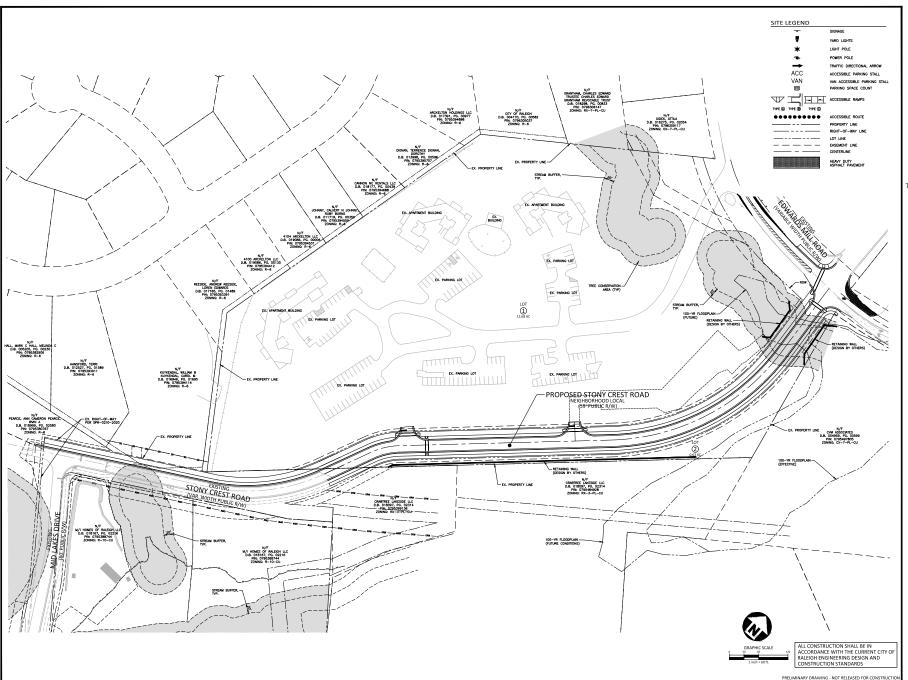
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PLAN INFORMATION

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DEMOLITION PLAN AREA 'C'

C1.06





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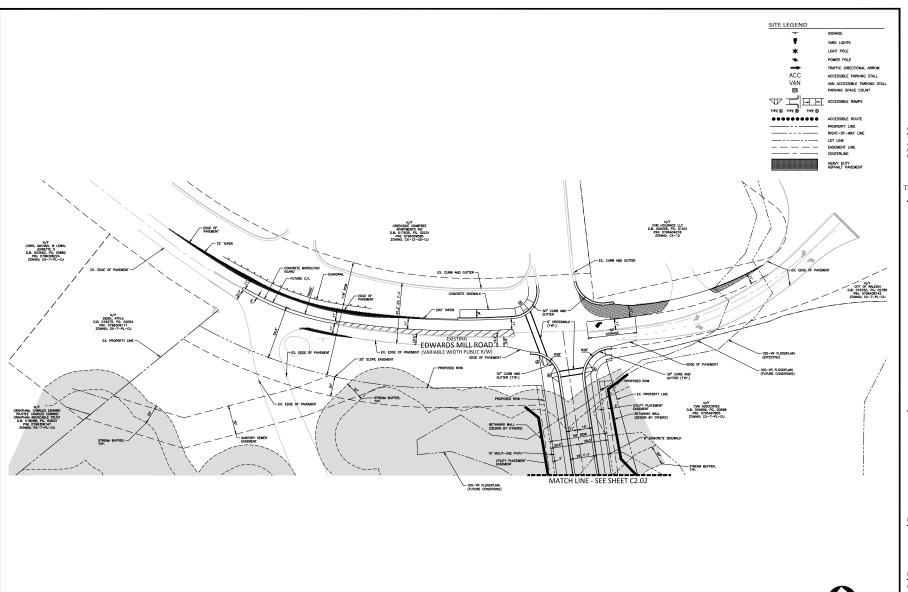
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8	08.08.2024	COR 7TH PSP COMMENT RESPONSES

PLAN INFORMATION

PROJECT NO. FILENAME TCR22002-S1 CHECKED BY DB DRAWN BY SCALE 1" = 60" 08.22.2022 DATE SHEET

OVERALL SITE PLAN





ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCT



The John R. McAdams Company, Inc. 621 Hillsborough Street Suite 500 Raleigh, NC 27603 phone 919. 361. 5000 fax 919. 361. 2269 license number: C-0293, C-187

CLIENT

TRAMMELL CROW RESIDENTIAL 4509 CREEDMOOR ROAD, SUITE 308 RALEIGH, NC 27612 PHONE: 919. 876. 3103

TCR
TRAMMELL CROW RESIDENTIAL

THE ALEXAN
PRELIMINARY SUBDIVISION PLAN
5060 EDWARDS MILL ROAD
RALEIGH, NORTH CAROLINA 27612



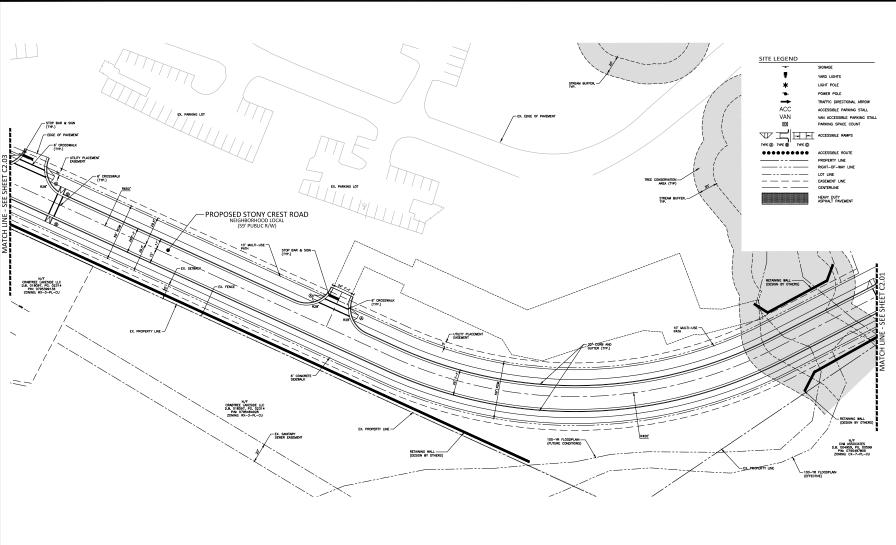
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NO.	DATE	
3	03.21.2023	COR 3RD PSP COMMENT RESPONSES
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8	08.08.2024	COR 7TH PSP COMMENT RESPONSES

PLAN INFORMATION

PROJECT NO. FILENAME TCR22002-S1 CHECKED BY DB DRAWN BY SCALE 1" = 30" DATE 08.22.2022 SHEET

SITE PLAN AREA 'A'





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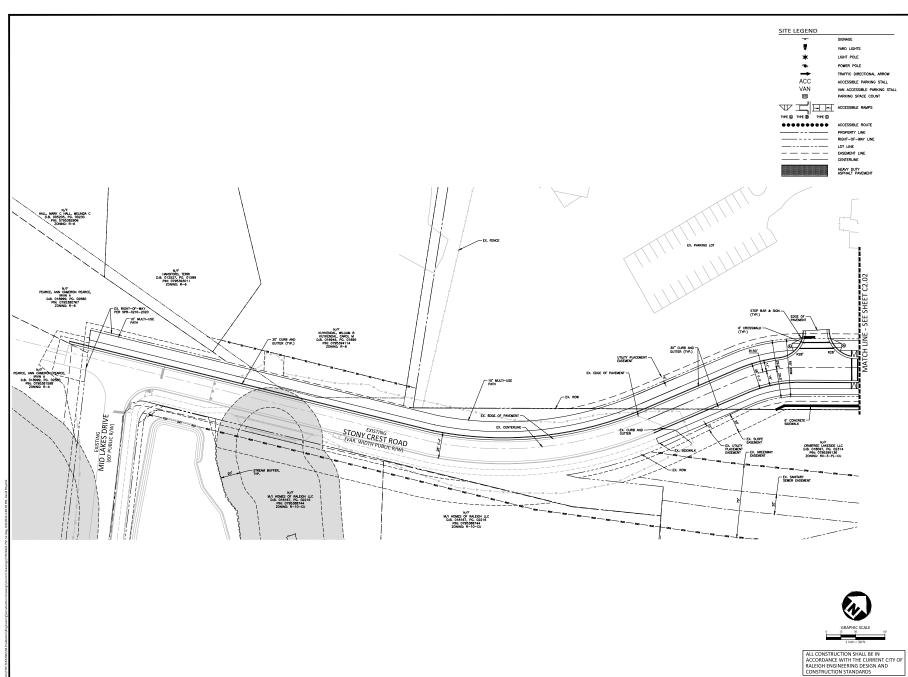
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8	08.08.2024	COR 7TH PSP COMMENT RESPONSES

PLAN INFORMATION

PROJECT NO. FILENAME TCR22002-S1 CHECKED BY DB DRAWN BY SCALE 1" = 30" 08.22.2022 DATE SHEET

SITE PLAN AREA 'B'





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5060 EDWARDS MILL ROAD
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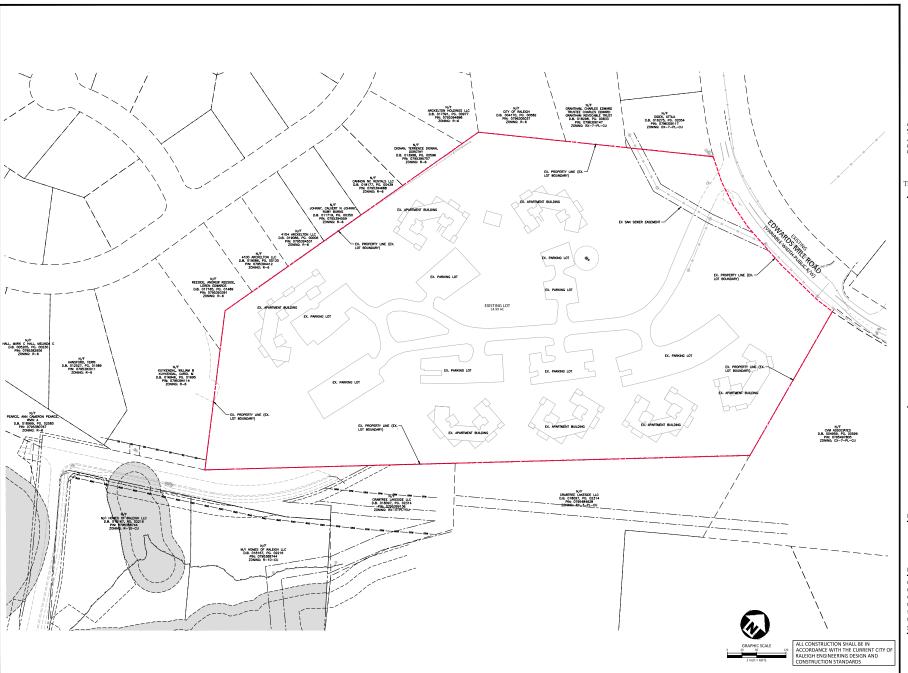
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8	08.08.2024	COR 7TH PSP COMMENT RESPONSES

PLAN INFORMATION

PROJECT NO. FILENAME TCR22002-S1 CHECKED BY DB DRAWN BY SCALE 1" = 30" DATE 08.22.2022 SHEET

SITE PLAN AREA 'C'





CLIENT

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PRELIMINARY SUBDIVISION PLAN
5060 EDWARDS MILL ROAD
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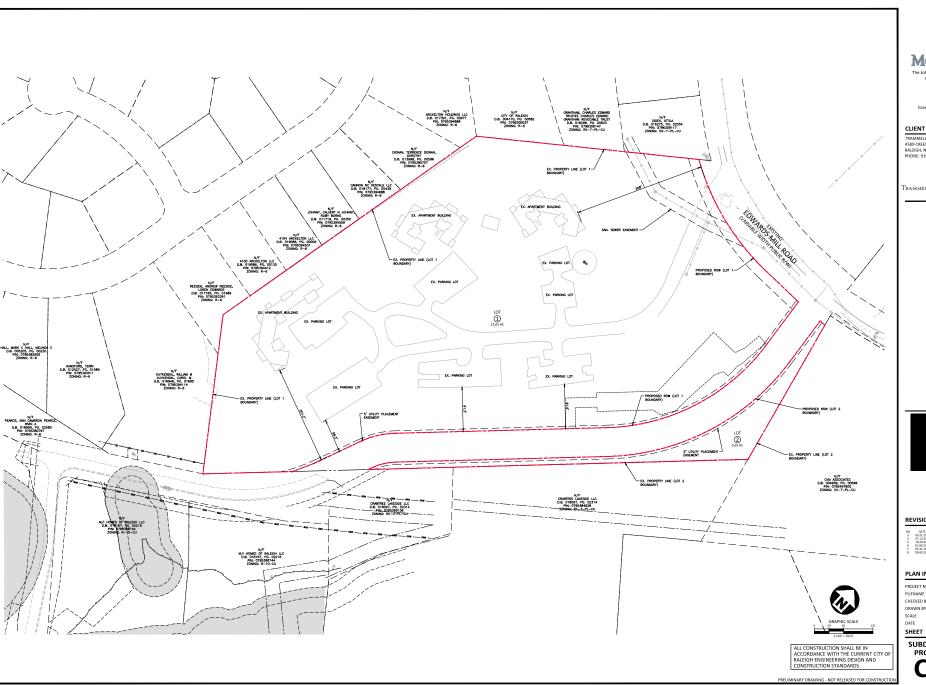
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PLAN INFORMATION

PROJECT NO. TCR-22002 FILENAME TCR22002-S1 CHECKED BY DB DRAWN BY SCALE 1" = 60" 08.22.2022 DATE SHEET

SUBDIVISION PLAN-EXISTING LOTS C2.04





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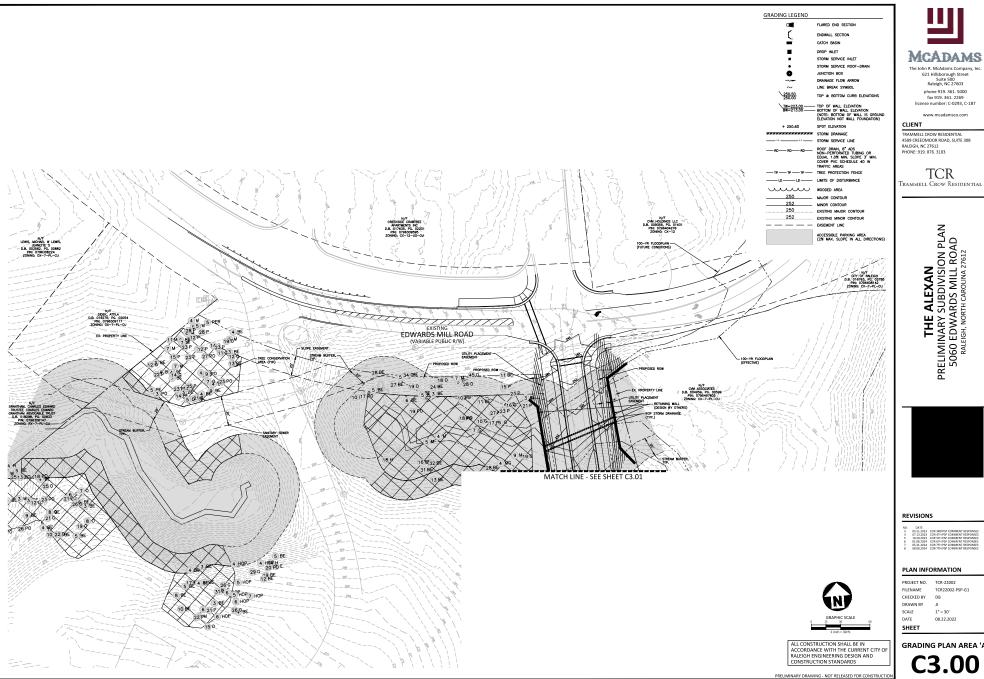


REVISIONS

PLAN INFORMATION

PROJECT NO. TCR-22002 FILENAME TCR22002-S1 CHECKED BY DB DRAWN BY SCALE 1" = 60" 08.22.2022 DATE

SUBDIVISION PLAN-PROPOSED LOTS
C2.05





THE ALEXAN
PRELIMINARY SUBDIVISION PLAN
5060 EDWARDS MILL ROAD
RALEIGH, NORTH CAROLINA 27612



REVISIONS

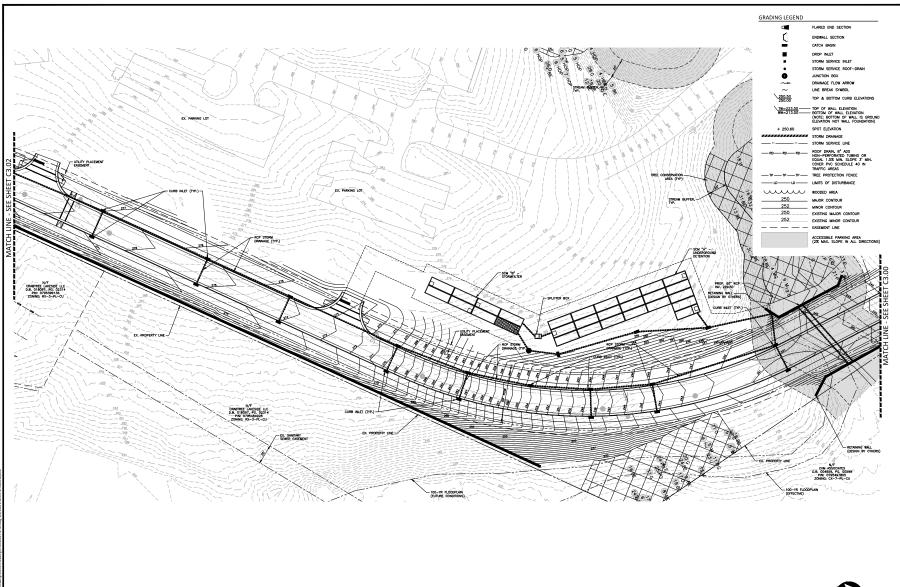
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PLAN INFORMATION

PROJECT NO. FILENAME TCR22002-PSP-G1 CHECKED BY DRAWN BY SCALE 1" = 30" DATE 08.22.2022

SHEET

GRADING PLAN AREA 'A'





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5060 EDWARDS MILL ROAD
RALEIGH, NORTH CAROLINA 27612

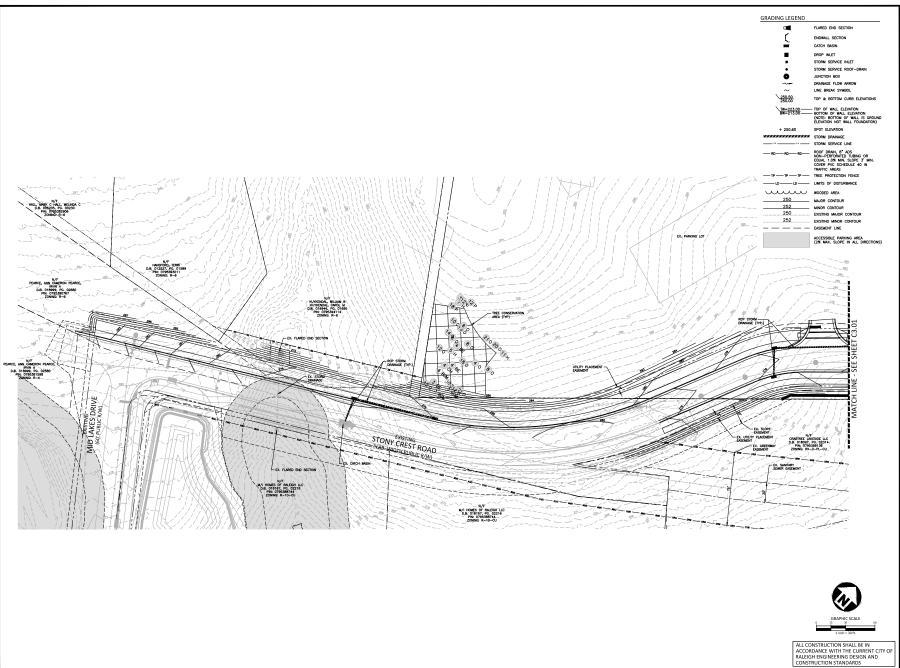
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PLAN INFORMATION

PROJECT NO. FILENAME TCR22002-PSP-G1 CHECKED BY DRAWN BY SCALE DATE

1" = 30" 08.22.2022 SHEET

GRADING PLAN AREA 'B'





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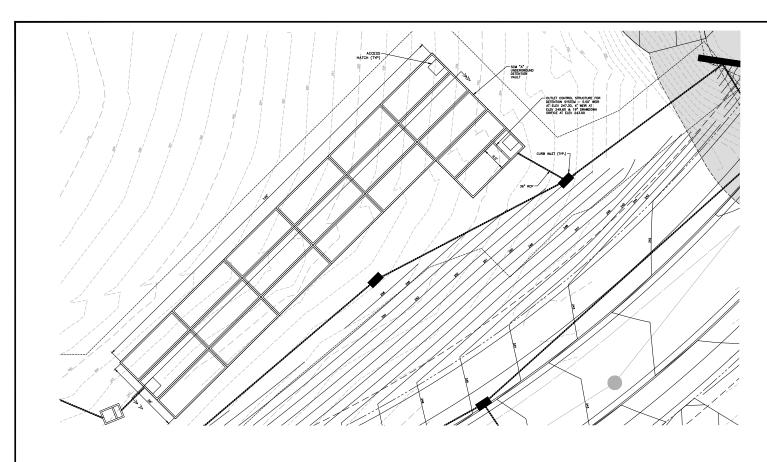
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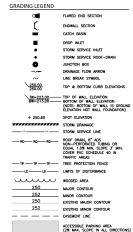
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DATE SHEET

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUC

GRADING PLAN AREA 'C'







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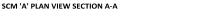
PLAN INFORMATION

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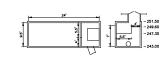
SHEET SCM DETAILS - SCM A

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS C3.03

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

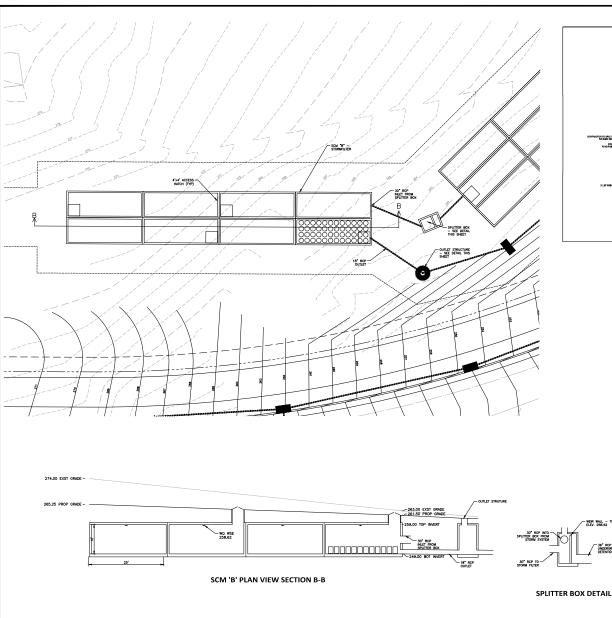


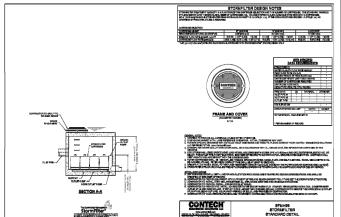


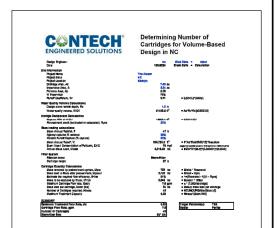


SCM 'A' OUTLET CONTROL STRUCTURE











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5060 EDWARDS MILL ROAD
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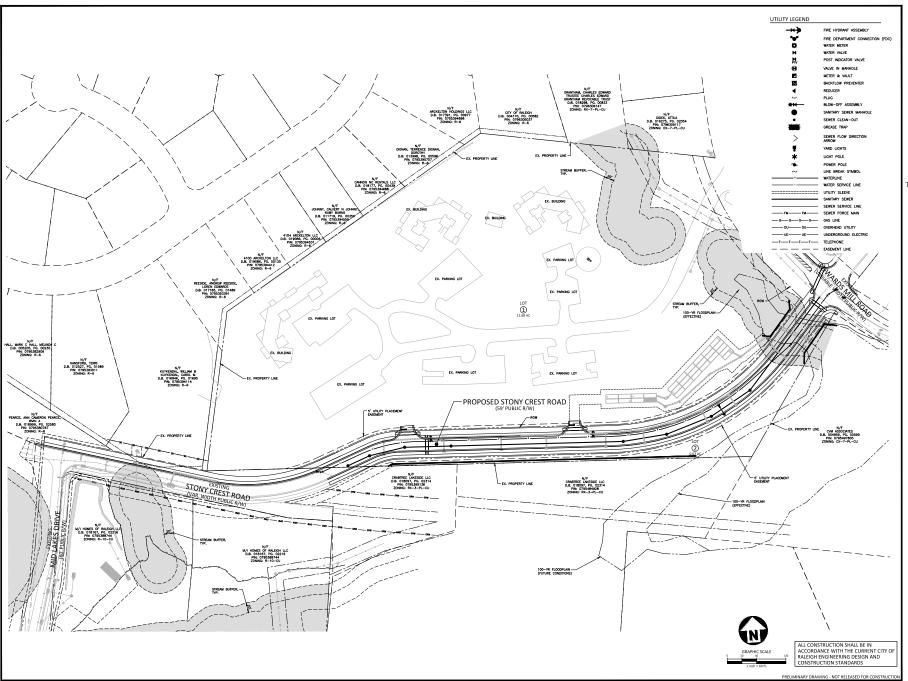
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PLAN INFORMATION

FILENAME TCR22002-PSP-G1 CHECKED BY DRAWN BY SCALE 1" = 10" DATE 08.22.2022 SHEET

SCM DETAILS - SCM B





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5060 EDWARDS MILL ROAD
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REVISIONS

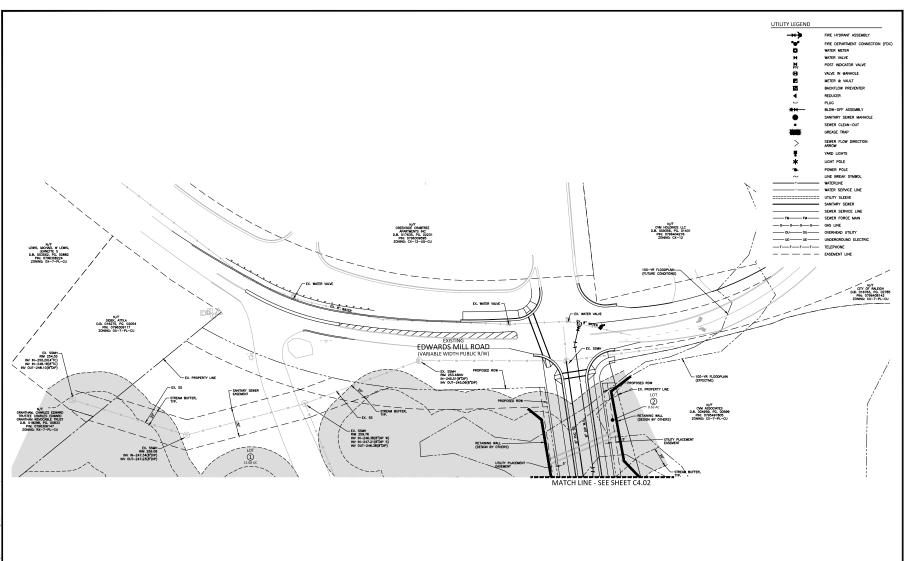
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PLAN INFORMATION

PROJECT NO. FILENAME TCR22002-PSP-U1 CHECKED BY DRAWN BY SCALE 1" = 60" 08.22.2022 DATE SHEET

OVERALL UTILITY PLAN

C4.00





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THE ALEXAN
PRELIMINARY SUBDIVISION PLAN
5060 EDWARDS MILL ROAD
RALEIGH, NORTH CAROLINA 27612



REVISIONS

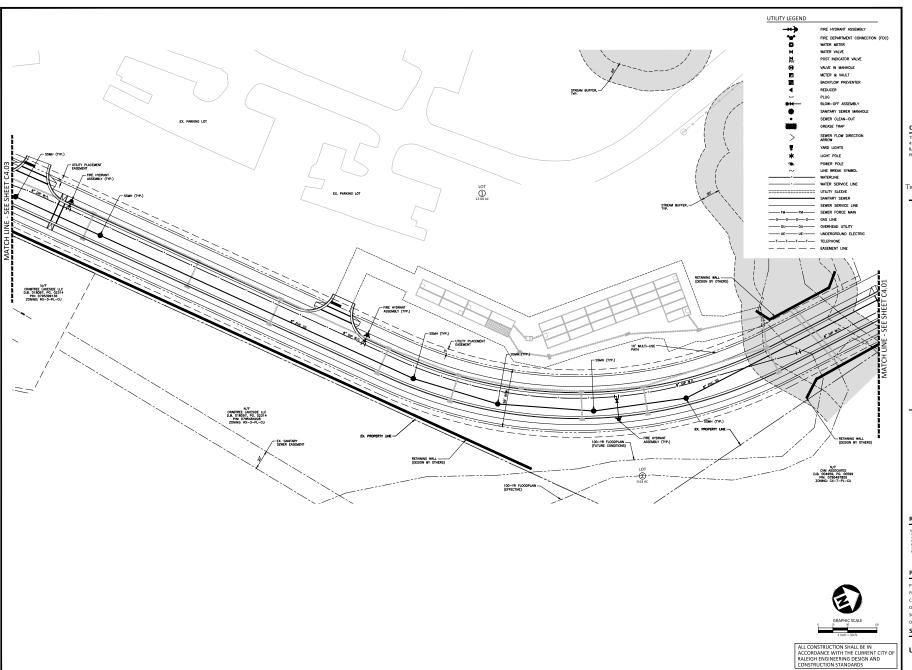
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PLAN INFORMATION

PROJECT NO. FILENAME TCR22002-PSP-U1 CHECKED BY DB DRAWN BY SCALE 1" = 30" DATE 08.22.2022

SHEET

UTILITY PLAN AREA 'A' C4.01





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THE ALEXAN
PRELIMINARY SUBDIVISION PLAN
5060 EDWARDS MILL ROAD
RALEIGH, NORTH CAROLINA 27612



REVISIONS

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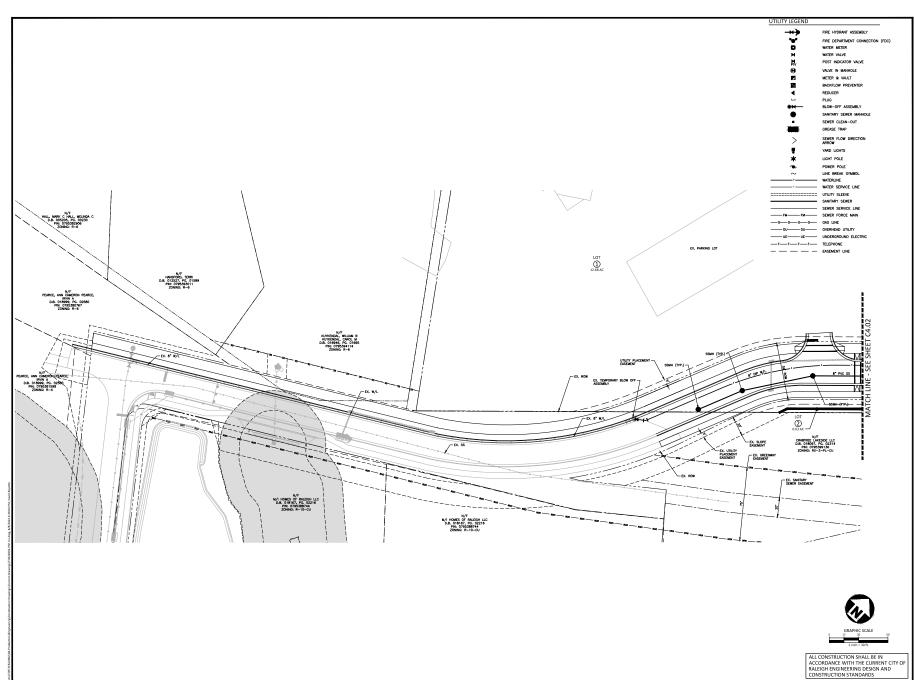
PLAN INFORMATION

PROJECT NO. FILENAME TCR22002-PSP-U1 CHECKED BY DB DRAWN BY SCALE 1" = 30" 08.22.2022 DATE

SHEET

UTILITY PLAN AREA 'B' C4.02

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5060 EDWARDS MILL ROAD
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REVISIONS

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PLAN INFORMATION

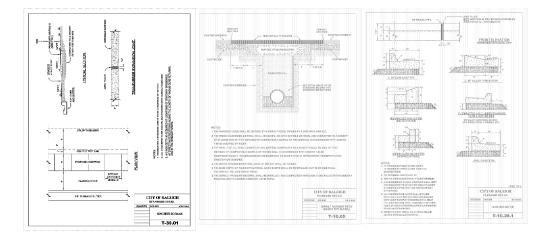
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SCALE DATE SHEET

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUC

UTILITY PLAN AREA 'C'

C4.03





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REVISIONS

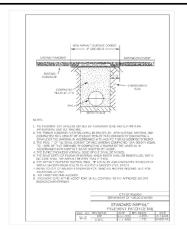
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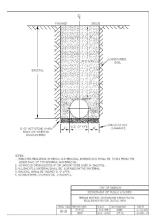
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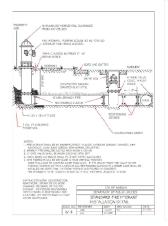
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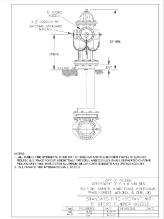
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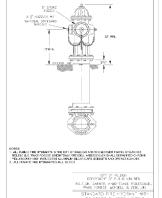
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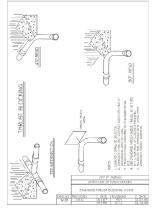


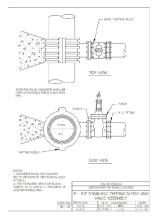


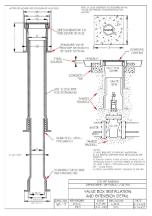












THE ALEXAN
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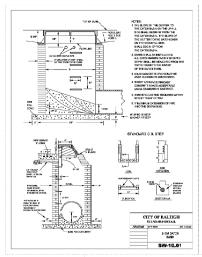
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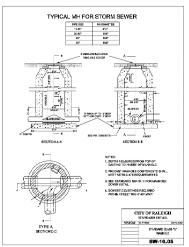
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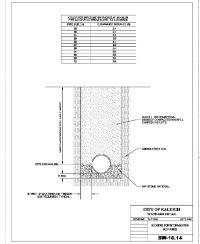
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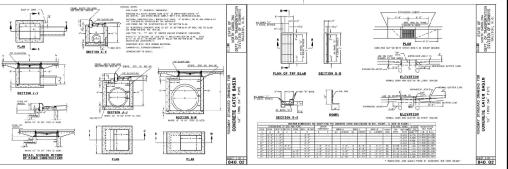
UTILITY DETAILS

C8.01











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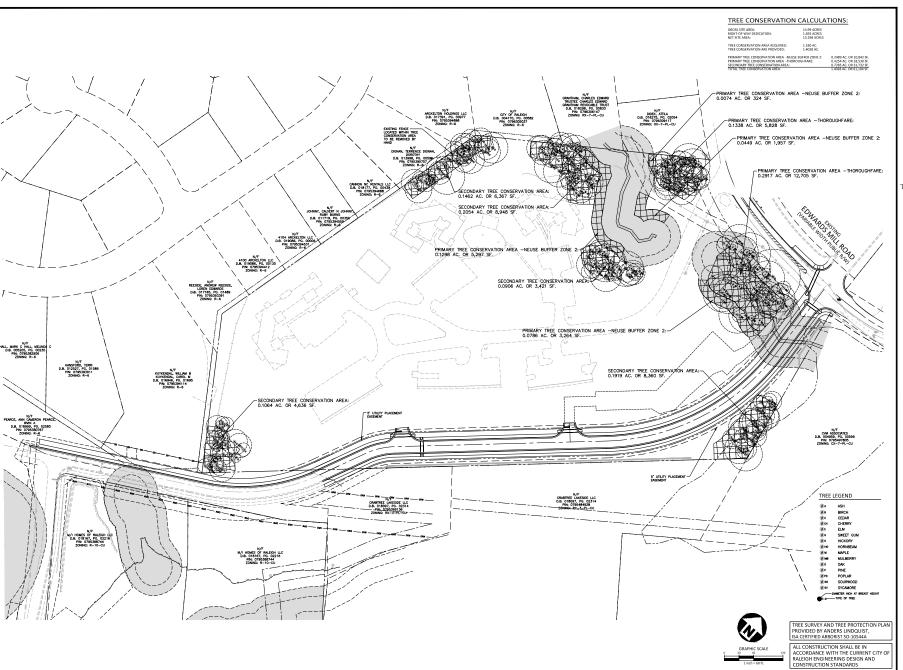


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PLAN INFORMATION

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PLAN INFORMATION

PROJECT NO. FILENAME TCR22002-TC1 CHECKED BY DRAWN BY SCALE 1" = 60" DATE 08.22.2022 SHEET

TREE CONSERVATION

L2.00

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUC

	Plic	: 1			P	llott 2				oit 3i			Plot 4			Plott 5		T	Pliot 6			Plot 7			Pilot B			Plot 9			Plat 10	ji .
		1800 3		-		1900				1379-8	iF.		2202	3F		2444	SF.		3468		T	2810			3214	:35		2962	SF.			77 8"
			185	+-			Eater				Esta			561			851			1.000	+		1367			5 617			Elem	 		Lasi
Species	1	181	14/190	54	poden	D-138-1	Ama	193	pindes	120381-1	Aura	Spocies	D138H	Armi	Species	DEH	Alaren.	Species	DEF	Alama.	Species	DEH	,4.10 a	Specien	DBH	Arms.	Spracion	DEH	Ann	Sportim	CIEIH	.Parce
BE		- 5	0.1	1 3		1.6	1.4	CI BE		- 6	40.520	G	11.	0,66	811	3	E: 08	13E	3	10,000	BE	194	1007	B.E.	1	0.00		6	0.20	911		1.6 1.40
G		- 6	0.2	Dig		3	(0.1)	6 83		- 8	10.38	G .	-11	0.019	(1)	- 6	E) 18	13E	- 6	10,03	BE	- 1	0.005	B.E.		0.06		18	1.73	80		31 5.20
G		7	0.2	185	PSINI	5	0.1	E E		3	(0.06)	D)	11.	0.86	40.1	4	E: 08	13E	5	0.14	BE	- 1	0.005	BE		0.08	FO	19	1.30	80		22 5.90
G		8	0.3	20	r.					:37	1.98	Did.			4011	9	E-14		5	0.14	ΒE	-4	0.001	EE.		0.00B			3.10	М		q 0.00
Dat .		:19	1.9	1	morras, ma		2.3			20	32.110	0	24	3.14	14	:12	6.79	186	- 6	0.25	DE	- 4	0.03	B.E.		0.30	TIME	NIL HESHINGS	43.93	м		g 0.14
Da1			0.2		Design of the			141		3	(1.08)		20	3.89		3	0:08	F	6	4133	100		0.14	H.C.		0.44				201		1.0 0.50
p.		31.	E-15					1/4		5.	HL:141	0	- 6	0.20		20			311		1.4	- 5	0.14	Gi	1	CD68				900		1.2 0.751
P		:12	0.7					1/		6	(11.581)	P-	19	1.97		25	3.4	-5	6	0.29	1-		0.27	6	1	0.79				2931		
P		114-	1.0					10		:12:	0.79	P.	20	2:18		23	2.9	14	:10	0.158	i g	54	1,07	6		0.27					L HASPILLE	
p		115	1.3					10		34	1,001	PØ:	20	2.18					19	1.90	G	23	2941	hit	1	CLISH				HAS	ULAUF (SPANIA)	
P			1.7					190		31	(1.68)	PØ:	26	3.69	30,800, 6	FEULVICRE	197.3	10	32		F	123	0.73	101		0028						
			4.3					100		1151	11.961	7000	BUZBILL LUNEL	18.49				0	36	3,158	14		0.27	161		0L25						
31/3	IL AFER		126.0	9				PO	[]	15	1.961	803	LUREAL NORS	365.79				0		41.22	' C	121	0.73	101		0.25						
								PO	0	38	32.141							0	8	41.33	i a		0.14	(C)								
								190	1	20	32.14							0	8	41.33	i p	23	2.64			0.27						
									TOTALEAG		-4.383							(20)		2.40	l p	23	2.81	le .	1	0.78						
									Dischar, Articles		11815441								JUNEAU VALUE	15.05	l p	25	3(41	IF'	15	40.79						
																			LAMENAGE	1.941.55				IF'	11	11,23	!					
																								F	12	11,25						
																					8,4291.7	1802/14:30		P	25	2008						
																								P	- 20	-						
																								P	20	2988						

	Plot 11			Plot 12			Plot 13			Plot 14			Plot 15			Plot 16			Plot 17	
	4476 SF 3112 SF			SF .		1995	S=		2653	SF		2573	SF		2017	S=		1990	SF .	
		Basal			Basal			Basal			Basal			Basal			Bagal			Basal
Species	DBH	Area	Species	DBH	Area	Species	D8H	Area	Species	DBH	Area	Species	DBH	Агва	Species	DBH	Area	Species	DBH	Area
BE	11			10			12	0.79		19			5			3	0.05		4	0.09
BE	28			1.7	1.58		19	1.97		24	3.14		8			3	0.05		4	0.09
BE	4			3	0.05		2	0.27		9			11.	0.66		3	0.05		4	0.09
G	10			4	60.09		29	4.58		17	1.58		24		BGM	- 5	0.20		5	0.14
G	16			4	0.09		14	1.07		20	2.18		27			12	0.78		10	0.55
G	19			5	0.14		4	0.09		9	0.44		6			12	0.78		12	0.79
G	3			6	0.20		5	0.14		4	0.09		17			21	2.40		13	0.92
G	7	0.27		8	0.35		7	0.27		13	0.92		25			10	0.55		14	1.07
М	9	0.44		26	3.89		20	2.18		4	0.09		L BASAL AREA	13.44		BASALAREA	4.86		18	1.77
MG	4	1.00		8	0.35		TAL BASALARSA	11.34		5	0.14		ALAREA'ACRE	227.50	BASA	LAREN ACRE	105.02		4	0.09
P	17		HOP	5	0.14	В	ASAL JUNEAVACRE	247.70	M	5	0.14							0	8	0.35
P	23		HOP	6	0.20				0	11	0.66								IL BASAL AREA	5.92
Р	27		HOP	6	0.20				0	17	1,58							BAS	ALAREN ACRE	129.59
	CTAL BASAL AREA		HOP	6	0.20				0	23	2.88									
	BASAL A REAVACRE	178.04	W	9	0.44					LBASAL AREA	16,23									
			0	15	1.23				BAS	ALAREN ACRE	266,55									
			0	26	93.69															
			0	31	5.24															
			Р	21	2.40															
			ρ	22	2.64															
				AL BASAL AREA	23.42															
			BAS	ALAREA ACRE	327.61															

Tree Conservation Plan Date Sheet UDO Article 9.1 Tree Conservation (Include applicable Information on the plan aftest)

Project Name: The Alexan	_	
Gross Sto Acres:	14.99	90
Right-of-way to be dedicated with lines project:	1.68	ec .
Het Sto Acres:	13.304	
	Number	Perso
	of Acres	gilm
UDO 6.1.4.A. Primary Tree Conservation Avens		
1. Primary Tree Conservation Area - 8HOD 1		
1. Primary Tree Conservation Area - 8HOD 2		
2. Primary Tree Conservation Area - Patiway Frontage		**
3. Primary Tree Conservation Area - CM		
4. Primary Tree Conservation Area - MPGD		et
5. Primary Tree Conservation Area - Champion Tree XX* don species		
6. Primary Tree Conservation Area - Neuse Buffer Zone 2	0.2761	e 2.06
7. Primary Tree Conservation Area - 48% Glopes		
8. Primary Tree Conservation Area -Thoroughtere	0.4256	es 3.20
Subtotal of Primary Tree Conservation Areas:	0.7016	_
	0.7016	_
Subsetal of Primary Tree Conservation Areas: UDO 8.1.A.D.2. Tree Conservation Area - Greenway	0.7016	_
Subtotal of Primary Tree Conservation Areas:	0.7016 0.630g	∞ <u>5.27</u> ×
Subsets of Prinsey Tree Conservation Areas: UDG 8.1.A.D.2 Tree Conservation Area - Greenway UDG 8.1.A.B.1.A. 8. b. Secondary Tree Conservation Areas	0.6308	± 5.27
Bubosed of Prinsey Tree Conservation Areas: USO 8.1.A.D.2 Tree Conservation Area - Greenway USO 8.1.A.B. 1. 8. Secondary Tree Conservation Areas (mixed partners before and their demands complemes areas) USO 8.1.A.B.1.A. 6. d. inchildred Tree Secondary Tree Conservation Areas	0.6308	± 5.27
Subside of Prinsey Tree Conservation Asset USO 81.43.5 The Conservation Area. Onemonity USO 81.43.5.8 & Recording Tree Conservation Area (mode) partners father set that situates complicate season (mode) partners father set that situates complicate season (mode) mode) (mode) (m	0.6308	± 5.27
Subsect of Prinsey Tree Cosservation Asset 100 S.1.A.D.2 Tree Cosservation Asset 100 S.1.A.D.2 Tree Cosservation Asset. Overseutly 100 S.1.A.S.1.E. & Recording Tree Conservation Areas (modula parties in their set from a femine completion areas) 100 S.1.A.S.1.E. & Lindividual Tree Secondary Tree Conservation Areas (modula militaria tree and militaria Secondary Tree Conservation Areas (modula militaria tree and militaria Secondaria militaria (modula militaria tree and militaria Secondaria militaria (modula militaria area of the delimite completion areas)	0.6308	± 5.27 ± 4.74
Bubsid of Prinsey Tree Cosservation Asset 100 51.AD3 Tree Cosservation Asset 100 51.AD3 Tree Cosservation Asset 100 51.AD3 Tree Cosservation Asset (middle patients before and tree Conservation Areas (middle patients before and tree Secondary Tree Conservation Areas (middle patients before and tree Secondary Tree Conservation Areas (middle patients before and tree department of the Conservation Areas Geological Architecture and the delemine completion areas) Geological and Execution Areas Areas TOTIAL ALL TREE COMMENTATION AREA PROVINCED	0.6308	± 5.27 ± 4.74
Subsect of Prinsey Tree Cosservation Annex 1000 bl.A.D.2 Tree Conservation Anne. Orsenvely. 1000 bl.A.D.2 Tree Conservation Anne. Orsenvely. 1000 bl.A.D.2.A.B. & Recording Tree Conservation Annex (module partners buffers and that otherwise complience annex). 1000 bl.A.D.2.A.B. & Brainfelds Tree Security Tree Conservation Annex (module tree Annex Tree Conservation Annex Many). 1000 bl.A.D.2.A.B. & Brainfelds Tree Security Tree Conservation Asset- TOTAL ALL TREE CONSERVATION AND AREA PROVIDED. 1000 bl.A.B. Witsenside Proceeding Oversig Consider.	0.6308	± 5.27 ± 4.74
Bublack of Prinsey Tree Cosservation Areas: 100 15 LADS Tree Conservation Area - Orestoning 100 15 LADS Tree Conservation Area - Orestoning 100 15 LADS LA B. Becondary Tree Conservation Areas (modula prinsers before and tree conservation Areas (modula childred Tree Secondary Tree Conservation Areas (modula childred Tree Secondary Tree Conservation Areas (modula childred Tree Secondary Tree Conservation Areas TOTAL ALL TREE COMMENTATION AREA PROVINCED 1000 15 LA Wisserstee Precision Oversity Desirion MANDO J. Viscolin CARL Intermed.	0.6308	± 5.27
Subsect of Prinsey Tree Cosservation Annex 1000 bit ADJ2 Tree Conservation Annex 1000 bit ADJ2 Tree Conservation Annex - Orservation 1000 bit ADJ2 Annex 1000 bit ADJ2 Bit ADJ2 1000	0.6308	≈ 5.27 ≈ 4.74 ≈ 10.0
Bubsack of Prinsey Tree Cosservation Areas: 100 S.1.A.D.3. The Cosservation Area—Onemony 100 S.1.A.D.3. The Cosservation Area—Onemony 100 S.1.A.D.3. A. S. Recording Tree Conservation Areas (modular patries buffer and the area of t	0.6308	≈ 5.27 ≈ 4.74 ≈ 10.0



MCADAMS

The John R. McAdams Company, Inc. 621 Hillsborough Street Suite S00 Raleigh, NC 27603 phone 919. 361. 5000 fax 919. 361. 7269 license number: C-0293, C-187

CLIENT

TRAMMELL CROW RESIDENTIAL 4509 CREEDMOOR ROAD, SUITE 308 RALEIGH, NC 27612 PHONE: 919. 876. 3103

TCR Trammell Crow Residential

THE ALEXAN
PRELIMINARY SUBDIVISION PLAN
5060 EDWARDS MILL ROAD
RALEIGH, NORTH CAROLINA 27612



REVISIONS

NO.	DATE	
3	03.21.2023	COR 3RD PSP COMMENT RESPONSE
4	07.13.2023	COR 4TH PSP COMMENT RESPONSES
5	10.20.2023	COR 5TH PSP COMMENT RESPONSES
6	02.08.2024	COR 6TH PSP COMMENT RESPONSES
7	05.31.2024	COR 7TH PSP COMMENT RESPONSES
8	08.08.2024	COR 7TH PSP COMMENT RESPONSES

PLAN INFORMATION

PROJECT NO. TCR-22002 FILENAME TCR22002-TC1 CHECKED BY DB DRAWN BY 1" = 60" SCALE 08.22.2022 DATE

SHEET TREE CONSERVATION

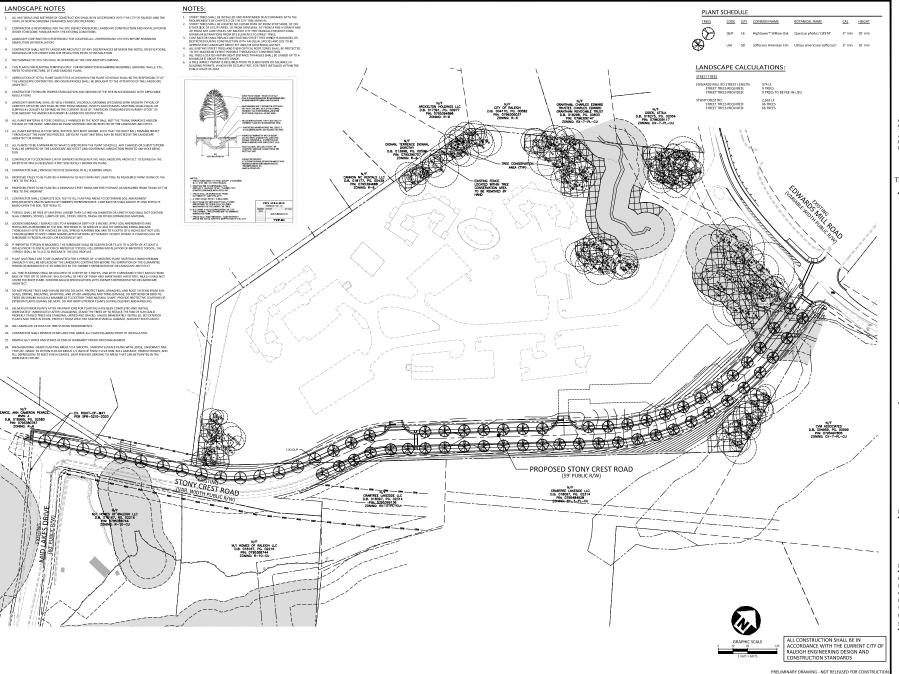
CALCULATIONS L2.01



TREE SURVEY AND TREE PROTECTION PLAN PROVIDED BY ANDERS LINDQUIST, ISA CERTIFIED ARBORIST SO:10544A

ALL CONSTRUCTION SHALL BE IN
ACCORDANCE WITH THE CURRENT CITY OF
RALEIGH ENGINEERING DESIGN AND
CONSTRUCTION STANDARDS

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION





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8	08.08.2024	COR 7TH PSP COMMENT RESPONSE

PLAN INFORMATION

PROJECT NO. FILENAME TCR22002-LS1 CHECKED BY DB DRAWN BY SCALE 1" = 60" 08.22.2022 DATE SHEET

LANDSCAPE PLAN

L5.00