



# Administrative Approval Action

**Case File / Name: SUB-0059-2022  
DSLCL - THE ALEXAN**

**City of Raleigh  
Development Services Department**  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2492  
currentplanning@raleighnc.gov  
www.raleighnc.gov

- LOCATION:** This 14.99 acre site zoned CX-7-CU and CX-12 CU (Z-1-21) is located on the south side of Edwards Mill Road west of the intersection of Homewood Banks Drive Edwards Mill Road at 5060 Edwards Mill Road.
- REQUEST:** This is a two lot conventional subdivision. Proposed lots 1 (12.68 acres) and 2 (0.63 acres) will be separated by proposed public street right-of-way.
- DESIGN ADJUSTMENT(S)/ALTERNATES, ETC:** ASR-0102-2022: DSLCL - Administrative Site Review [ASR]/Administrative Site Review
- FINDINGS:** **City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated August 8, 2024 by McAdams.**

## CONDITIONS OF APPROVAL and NEXT STEPS:

*This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:*

**SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

***The following items are required prior to approval of Site Permitting Review plans:***

**General**

1. All proposed retaining walls need to be numbered and the bw/tw elevations added to each end and the most extreme point shown on the grading plan. Retaining walls >10' and within 30' of a right of way must demonstrate compliance to 7.2.8 D in the UDO.
2. As to avoid a resubmittal, all fire hydrants shall be shown behind the sidewalk as to adhere to standard detail W-5 and be on the water main side of the road. This must be shown updated on the first SPR submittal.

**Engineering**

3. The full widening, alignment and pedestrian connections along Edwards Mill Road have not been fully addressed and the developer has been made aware. There is the potential for additional widening and updates to create a compliant street section. This includes a pedestrian refuge as noted in the TIA and any associated utility relocates or access updates due to widening for a turn lane, pedestrian refuge and median. Further discussion on pedestrian connections to the Edwards Mill Road transit stop and right of way and discussion on transit stop itself.

**Stormwater**

4. The State of North Carolina shall approve any proposed disturbance within the riparian buffer prior to the issuance of any grading or site permit (UDO 9.2.3.E).



# Administrative Approval Action

**Case File / Name: SUB-0059-2022  
DSLCL - THE ALEXAN**

**City of Raleigh  
Development Services Department**  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2492  
currentplanning@raleighnc.gov  
www.raleighnc.gov

5. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
6. A 100-year floodplain analysis shall be submitted and approved by the Engineering Services Department prior to the issuance of any grading or site permit (UDO 9.3).
7. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).
8. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).

### Urban Forestry

9. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a demolition permit or grading permit, whichever comes first.
10. Submit a final tree conservation plan that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required (UDO 9.1.5).

**LEGAL DOCUMENTS** - Email to [legaldocumentreview@raleighnc.gov](mailto:legaldocumentreview@raleighnc.gov). Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Right of Way Deed of Easement Required
<input checked="" type="checkbox"/>	Slope Easement Deed of Easement Required

<input checked="" type="checkbox"/>	Utility Placement Deed of Easement Required
<input checked="" type="checkbox"/>	Stormwater Maintenance Covenant Required

**RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

***The following items must be approved prior to recording the plat:***

### General

1. A demolition permit shall be issued and this building permit number shown on all maps for recording.
2. Prior to recordation of a subdivision or recombination for the Property, whichever shall first occur, the Property owner shall cause to be recorded in the Wake County Registry a restrictive covenant that allocates AM and PM trip generation in peak hours upon the Property to all lots of record comprising the Property. (Z-1-21, #11)
3. For clarification please add notes to demolition plan sheet - regarding the removal of all existing parking with the ASR proposal. This is needed to clarify that this subdivision and proposed demolition will still comply with the standards of maximum parking (7.1.2)



# Administrative Approval Action

Case File / Name: SUB-0059-2022  
DSLCL - THE ALEXAN

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2492  
currentplanning@raleighnc.gov  
www.raleighnc.gov

## Engineering

4. A fee-in-lieu for those public improvements not fully completed (TBD) is paid to the City of Raleigh (UDO 8.1.10).
5. A 5' utility placement easement deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
6. A public infrastructure surety shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.
7. A public street right-of-way deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
8. A slope easement deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

## Public Utilities

9. Infrastructure Construction Plans (concurrent submittal) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.

## Stormwater

10. The riparian buffers, in accordance with the preliminary plan and the State of North Carolina regulations, shall be shown on plats for recording along with required buffer statement (Recorded Map Checklist).



# Administrative Approval Action

Case File / Name: SUB-0059-2022  
DSLCL - THE ALEXAN

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2492  
currentplanning@raleighnc.gov  
www.raleighnc.gov

11. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
12. The maximum allocated impervious area for all applicable lots in the subdivision should be identified on all maps for recording.
13. If demolition causes a land disturbance of more than 12,000 sf, a mass grading permit will be required. (UDO 9.4.6)
14. The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office (UDO 9.2.2.G).
15. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
16. The flood prone areas, as approved by the City Stormwater Engineer and shown on the preliminary plan, shall be shown on the recorded map (UDO 9.3.3.G).

## Urban Forestry

17. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1). This development proposes 1.333 acres of tree conservation area.
18. A fee-in-lieu of planting for 9 street trees is paid to the City of Raleigh (UDO 8.1.10).
19. A public infrastructure surety for 66 street trees shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 125% of the improvement cost for the City of Raleigh infrastructure.

**BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

***The following items must be approved prior to the issuance of building permits:***

## Stormwater

1. The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office (UDO 9.2.2.G).
2. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
3. Impervious restrictions for each lot must be recorded on a plat prior to building permit issuance.

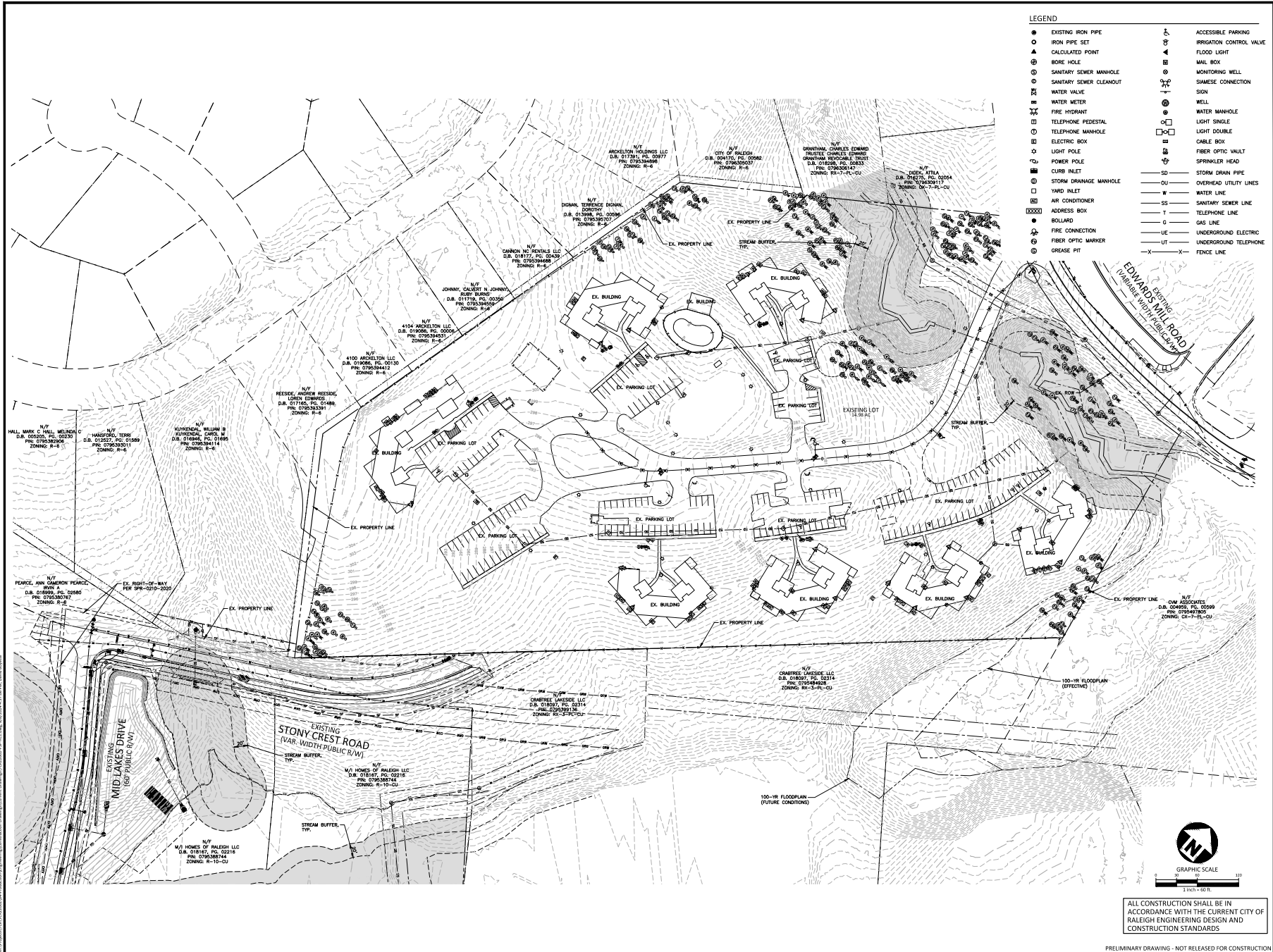












**LEGEND**

●	EXISTING IRON PIPE	⊕	ACCESSIBLE PARKING
○	IRON PIPE SET	⊕	IRRIGATION CONTROL VALVE
▲	CALCULATED POINT	⊕	FLOOD LIGHT
⊕	BORE HOLE	⊕	MAIL BOX
⊕	SANITARY SEWER MANHOLE	⊕	MONITORING WELL
⊕	SANITARY SEWER CLEANOUT	⊕	SIMASEE CONNECTION
⊕	WATER VALVE	⊕	SIGN
⊕	WATER METER	⊕	WELL
⊕	FIRE HYDRANT	⊕	WATER MANHOLE
⊕	TELEPHONE PEDESTAL	⊕	LIGHT SINGLE
⊕	TELEPHONE MANHOLE	⊕	LIGHT DOUBLE
⊕	ELECTRIC BOX	⊕	CABLE BOX
⊕	LIGHT POLE	⊕	FIBER OPTIC VAULT
⊕	POWER POLE	⊕	SPRINKLER HEAD
⊕	CURB INLET	⊕	STORM DRAIN PIPE
⊕	STORM DRAINAGE MANHOLE	⊕	OVERHEAD UTILITY LINES
⊕	BOLLARD	⊕	WATER LINE
⊕	ADDRESS BOX	⊕	SS SANITARY SEWER LINE
⊕	FIRE CONNECTION	⊕	TELEPHONE LINE
⊕	FIBER OPTIC MARKER	⊕	GAS LINE
⊕	GREASE PIT	⊕	UNDERGROUND ELECTRIC
		⊕	UNDERGROUND TELEPHONE
		⊕	FENCE LINE



**McADAMS**  
The John R. McAdams Company, Inc.  
621 Hillsborough Street  
Suite 500  
Raleigh, NC 27603  
phone 919.361.5000  
fax 919.361.2269  
license number: C-0293, C-187  
www.mcadamsco.com

**CLIENT**  
TRAMMELL CROW RESIDENTIAL  
4509 CREEDMOOR ROAD, SUITE 308  
RALEIGH, NC 27612  
PHONE: 919.876.3103

**TCR**  
TRAMMELL CROW RESIDENTIAL

**THE ALEXAN**  
PRELIMINARY SUBDIVISION PLAN  
5060 EDWARDS MILL ROAD  
RALEIGH, NORTH CAROLINA 27612

**REVISIONS**

1	DATE
2	03.21.2013 CSR 380 P&P COMMENT RESPONSES
3	07.13.2013 CSR 470 P&P COMMENT RESPONSES
4	10.20.2013 CSR 510 P&P COMMENT RESPONSES
5	02.06.2014 CSR 610 P&P COMMENT RESPONSES
6	03.21.2014 CSR 710 P&P COMMENT RESPONSES
7	08.08.2014 CSR 710 P&P COMMENT RESPONSES

**PLAN INFORMATION**

PROJECT NO.	TCR-22002
FILENAME	TCR22002-PSP-XC1
CHECKED BY	DB
DRAWN BY	JJ
SCALE	1" = 60'
DATE	08.22.2012

**OVERALL EXISTING CONDITIONS**  
**C1.00**

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS.

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



**McADAMS**

The John R. McAdams Company, Inc.  
621 Hillsborough Street  
Suite 500  
Raleigh, NC 27603  
phone 919.361.5000  
fax 919.361.2269  
license number: C-0293, C-187  
www.mcadamsco.com

**CLIENT**

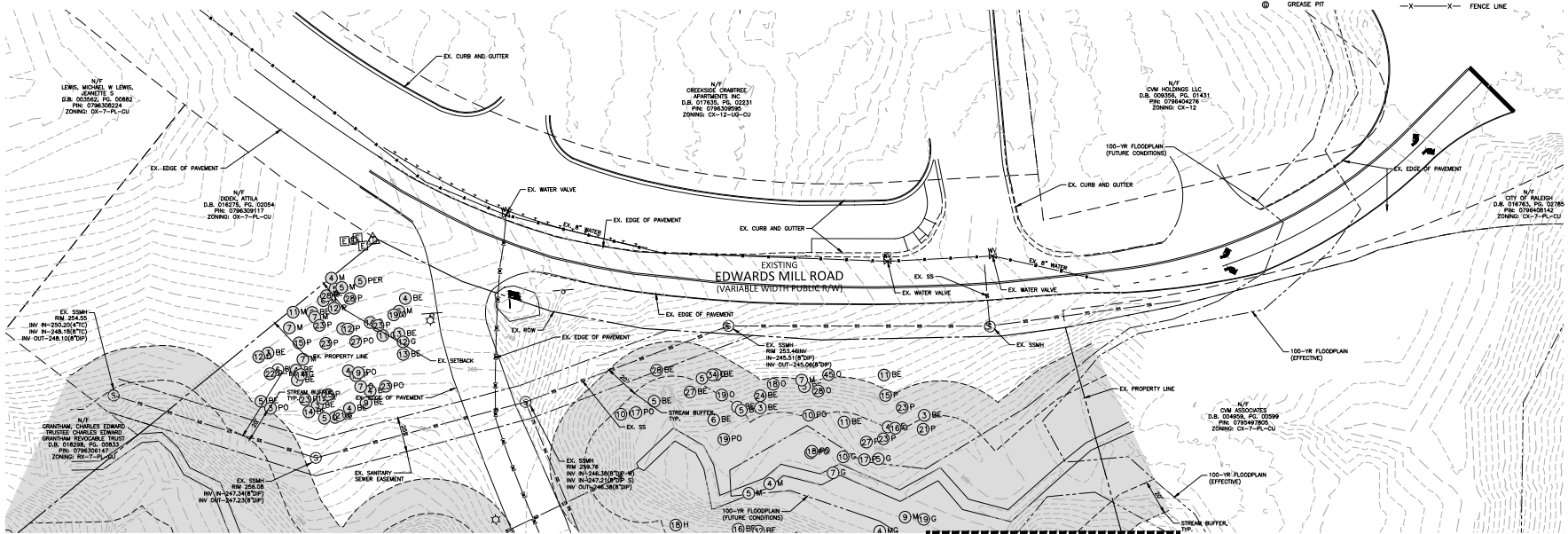
TRAMMELL CROW RESIDENTIAL  
4509 CREEDEMOR ROAD, SUITE 308  
RALEIGH, NC 27612  
PHONE: 919.876.3103

**TCR**  
TRAMMELL CROW RESIDENTIAL

**THE ALEXAN**  
PRELIMINARY SUBDIVISION PLAN  
5060 EDWARDS MILL ROAD  
RALEIGH, NORTH CAROLINA 27612

**LEGEND**

- EXISTING IRON PIPE
- IRON PIPE SET
- ▲ CALCULATED POINT
- ◊ BORE HOLE
- ⊙ SANITARY SEWER MANHOLE
- ⊙ SANITARY SEWER CLEANOUT
- ⊙ WATER VALVE
- ⊙ WATER METER
- ⊙ FIRE HYDRANT
- ⊙ TELEPHONE PEDESTAL
- ⊙ TELEPHONE MANHOLE
- ⊙ ELECTRIC BOX
- ⊙ LIGHT POLE
- ⊙ POWER POLE
- ⊙ CURB INLET
- ⊙ STORM DRAINAGE MANHOLE
- ⊙ YARD INLET
- ⊙ AIR CONDITIONER
- ⊙ ADDRESS BOX
- BOLLARD
- ⊙ FIRE CONNECTION
- ⊙ FIBER OPTIC MARKER
- ⊙ GREASE PIT
- ⊙ ACCESSIBLE PARKING
- ⊙ IRRIGATION CONTROL VALVE
- ⊙ FLOOD LIGHT
- ⊙ MAIL BOX
- ⊙ MONITORING WELL
- ⊙ SMOKE CONNECTION
- ⊙ SIGN
- ⊙ WELL
- ⊙ WATER MANHOLE
- ⊙ LIGHT SINGLE
- ⊙ LIGHT DOUBLE
- ⊙ CABLE BOX
- ⊙ FIBER OPTIC MANHOLE
- ⊙ SPRINKLER HEAD
- SD — STORM DRAIN PIPE
- OU — OVERHEAD UTILITY LINES
- W — WATER LINE
- SS — SANITARY SEWER LINE
- T — TELEPHONE LINE
- G — GAS LINE
- UE — UNDERGROUND ELECTRIC
- UT — UNDERGROUND TELEPHONE
- X — X — FENCE LINE



MATCH LINE - SEE SHEET C1.02

C:\Users\jrt\OneDrive\Documents\Projects\Alexan\Drawings\T20002\PSF\JC1.dwg, 10/20/24, 4:53:18 PM, David Bostrom

**REVISIONS**

NO.	DATE	DESCRIPTION
1	03.21.2023	CSR 380 PSF COMMENT RESPONSES
2	07.13.2023	CSR 470 PSF COMMENT RESPONSES
3	10.20.2023	CSR 510 PSF COMMENT RESPONSES
4	02.06.2024	CSR 610 PSF COMMENT RESPONSES
5	05.31.2024	CSR 710 PSF COMMENT RESPONSES
6	08.08.2024	CSR 710 PSF COMMENT RESPONSES

**PLAN INFORMATION**

PROJECT NO: TCR-22002  
 FILENAME: TCR22002-PSF-JC1  
 CHECKED BY: DB  
 DRAWN BY: JJ  
 SCALE: 1" = 30'  
 DATE: 08.22.2022

**SHEET**

**EXISTING CONDITIONS**  
AREA 'A'

**C1.01**



GRAPHIC SCALE  
1" = 30'

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS.

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION





**McADAMS**

The John R. McAdams Company, Inc.  
621 Hillsborough Street  
Suite 500  
Raleigh, NC 27603  
phone 919.361.5000  
fax 919.361.2269  
license number: C-0293, C-187  
www.mcadamsco.com

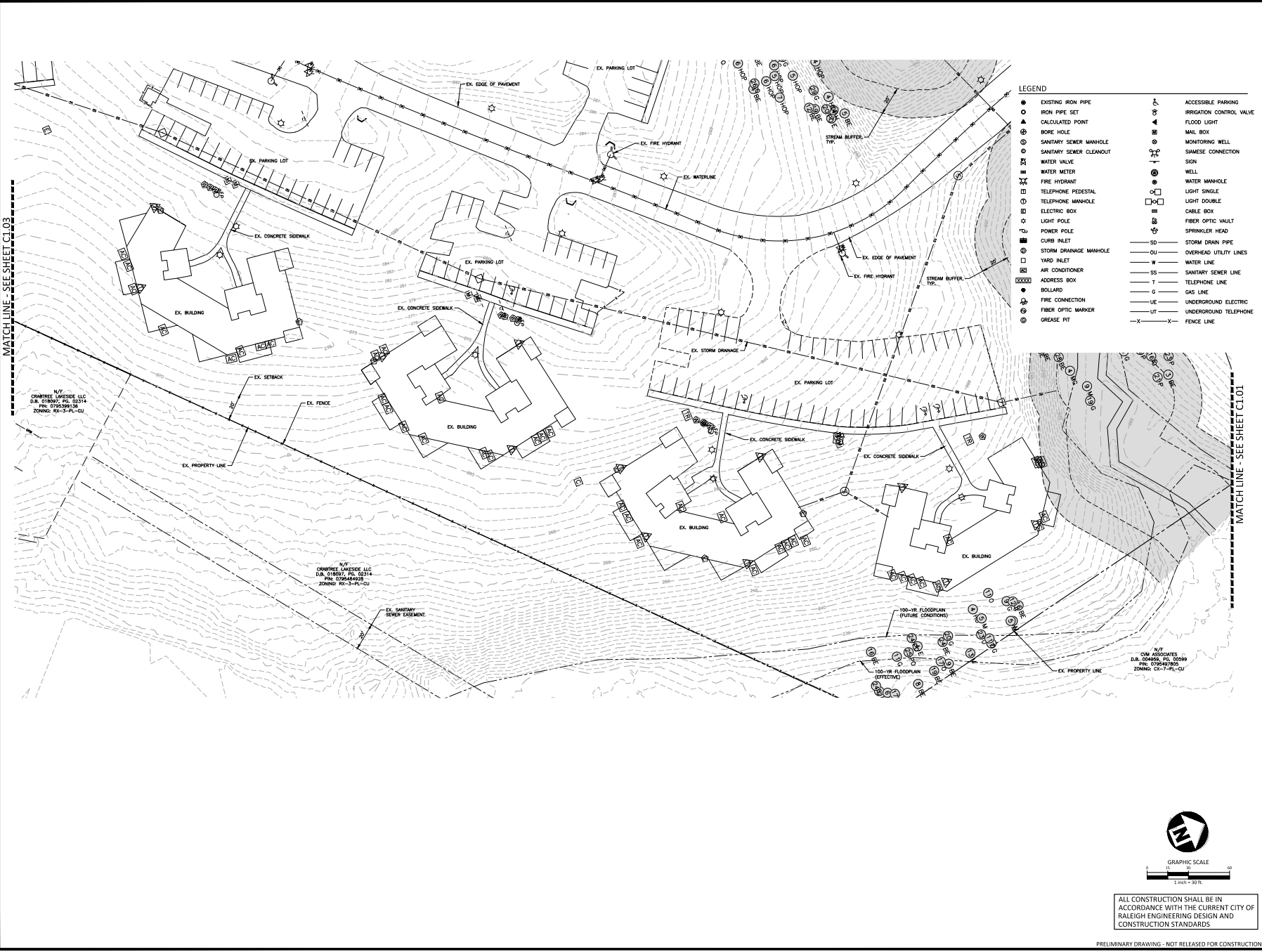
**CLIENT**

TRAMMELL CROW RESIDENTIAL  
4509 CREEDMOOR ROAD, SUITE 308  
RALEIGH, NC 27612  
PHONE: 919.876.3103

**TCR**

TRAMMELL CROW RESIDENTIAL

**THE ALEXAN**  
PRELIMINARY SUBDIVISION PLAN  
5060 EDWARDS MILL ROAD  
RALEIGH, NORTH CAROLINA 27612



**LEGEND**

- EXISTING IRON PIPE
- IRON PIPE SET
- ▲ CALCULATED POINT
- ⊙ BORE HOLE
- ⊕ SANITARY SEWER MANHOLE
- ⊖ SANITARY SEWER CLEANOUT
- ⊗ WATER VALVE
- ⊘ WATER METER
- ⊙ FIRE HYDRANT
- ⊕ TELEPHONE PEDESTAL
- ⊖ TELEPHONE MANHOLE
- ⊗ ELECTRIC BOX
- ⊘ LIGHT POLE
- ⊙ POWER POLE
- ⊕ CURB INLET
- ⊖ STORM DRAINAGE MANHOLE
- ⊗ YARD INLET
- ⊘ AIR CONDITIONER
- ⊙ ADDRESS BOX
- ⊕ BOLLARD
- ⊖ FIRE CONNECTION
- ⊗ FIBER OPTIC MARKER
- ⊘ GREASE PIT
- ⊙ ACCESSIBLE PARKING
- ⊖ IRRIGATION CONTROL VALVE
- ⊗ FLOOD LIGHT
- ⊘ MAIL BOX
- ⊙ MONITORING WELL
- ⊖ SHIMMIE CONNECTION
- ⊗ SIGN
- ⊘ WELL
- ⊙ WATER MANHOLE
- ⊖ LIGHT SINGLE
- ⊗ LIGHT DOUBLE
- ⊘ CABLE BOX
- ⊙ FIBER OPTIC VAULT
- ⊖ SPRINKLER HEAD
- ⊗ STORM DRAIN PIPE
- ⊘ OVERHEAD UTILITY LINES
- ⊙ WATER LINE
- ⊖ SANITARY SEWER LINE
- ⊗ TELEPHONE LINE
- ⊘ GAS LINE
- ⊙ UNDERGROUND ELECTRIC
- ⊖ UNDERGROUND TELEPHONE
- ⊗ FENCE LINE

MATCH LINE - SEE SHEET C1.03

MATCH LINE - SEE SHEET C1.01

N/T  
CHARITRE LANDSIDE LLC  
D.B. 018097, PG. 02214  
P.N. 0750309138  
ZONING: RK-3-PL-CU

N/T  
CHARITRE LANDSIDE LLC  
D.B. 018097, PG. 02214  
P.N. 0750309138  
ZONING: RK-3-PL-CU

N/T  
CW ASSOCIATES  
D.B. 024895, PG. 00999  
P.N. 0794847002  
ZONING: CX-7-PL-CU

**REVISIONS**

NO.	DATE	DESCRIPTION
1	03.21.2013	CSR 380 P&P COMMENT RESPONSES
2	07.15.2013	CSR 474 P&P COMMENT RESPONSES
3	10.20.2013	CSR 574 P&P COMMENT RESPONSES
4	02.06.2014	CSR 674 P&P COMMENT RESPONSES
5	05.31.2014	CSR 774 P&P COMMENT RESPONSES
6	08.08.2014	CSR 774 P&P COMMENT RESPONSES

**PLAN INFORMATION**

PROJECT NO.: TCR-22002  
 FILENAME: TCR22002-PPS-XC1  
 CHECKED BY: DB  
 DRAWN BY: JJ  
 SCALE: 1" = 30'  
 DATE: 08.22.2012

**SHEET**

**EXISTING CONDITIONS**

AREA 'B'  
**C1.02**



ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS.

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION





**McADAMS**

The John R. McAdams Company, Inc.  
621 Hillsborough Street  
Suite 500  
Raleigh, NC 27603  
phone 919.361.3600  
fax 919.361.2269  
license number: C-0293, C-187  
www.mcadamsco.com

**CLIENT**

TRAMMELL CROW RESIDENTIAL  
4509 CREEDMOOR ROAD, SUITE 308  
RALEIGH, NC 27612  
PHONE: 919.876.3103

**TCR**  
TRAMMELL CROW RESIDENTIAL

**THE ALEXAN**  
PRELIMINARY SUBDIVISION PLAN  
5060 EDWARDS MILL ROAD  
RALEIGH, NORTH CAROLINA 27612



**REVISIONS**

NO.	DATE	DESCRIPTION
1	03.21.2013	CDR 3RD PDP COMMENT RESPONSES
2	07.13.2013	CDR 4TH PDP COMMENT RESPONSES
3	10.20.2013	CDR 5TH PDP COMMENT RESPONSES
4	02.06.2014	CDR 6TH PDP COMMENT RESPONSES
5	05.13.2014	CDR 7TH PDP COMMENT RESPONSES
6	08.06.2014	CDR 7TH PDP COMMENT RESPONSES

**PLAN INFORMATION**

PROJECT NO: TCR-22002  
FILENAME: TCR22002-PPSP-XC1  
CHECKED BY: DB  
DRAWN BY: JJ  
SCALE: 1" = 30'  
DATE: 08.22.2012

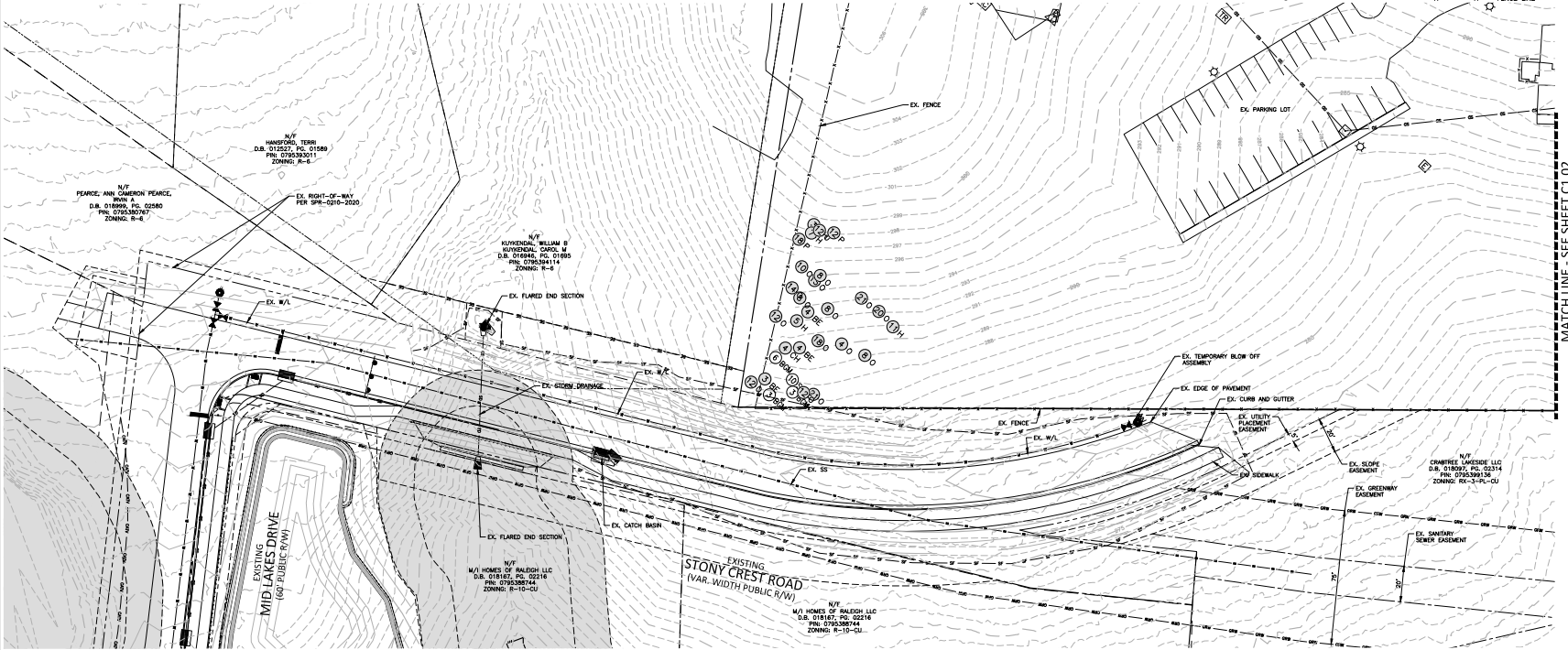
**SHEET**

**EXISTING CONDITIONS**  
AREA 'C'

**C1.03**

**LEGEND**

●	EXISTING IRON PIPE	⊠	ACCESSIBLE PARKING
○	IRON PIPE SET	⊠	IRRIGATION CONTROL VALVE
▲	CALCULATED POINT	⊠	FLOOD LIGHT
○	BORE HOLE	⊠	MAIL BOX
⊙	SANITARY SEWER MANHOLE	⊙	MONITORING WELL
⊙	SANITARY SEWER CLEANOUT	⊙	SIAMENSE CONNECTION SIGN
⊙	WATER VALVE	⊙	WELL
⊙	WATER METER	⊙	WATER MANHOLE
⊙	FIRE HYDRANT	⊙	LIGHT SINGLE
⊙	TELEPHONE PEDESTAL	⊙	LIGHT DOUBLE
⊙	TELEPHONE MANHOLE	⊙	CABLE BOX
⊙	ELECTRIC BOX	⊙	FIBER OPTIC VALVE
⊙	LIGHT POLE	⊙	SPRINKLER HEAD
⊙	POWER POLE	—SD—	STORM DRAIN PIPE
⊙	CURB INLET	—DU—	OVERHEAD UTILITY LINES
⊙	STORM DRAINAGE MANHOLE	—W—	WATER LINE
⊙	YARD INLET	—SS—	SANITARY SEWER LINE
⊙	AIR CONDITIONER	—T—	TELEPHONE LINE
⊙	ADDRESS BOX	—G—	GAS LINE
⊙	BOLLARD	—UE—	UNDERGROUND ELECTRIC
⊙	FIRE CONNECTION	—UT—	UNDERGROUND TELEPHONE
⊙	FIBER OPTIC MARKER	—X—	FENCE LINE
⊙	GREASE FIT		



ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS.

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

C:\Users\james.mccoy\Documents\Projects\Alexan\Drawings\PPSP\PPSP-XC1.dwg, 8/22/12, 4:37:28 PM, David Bowman





**McADAMS**

The John R. McAdams Company, Inc.  
621 Hillsborough Street  
Suite 500  
Raleigh, NC 27603  
phone 919.361.5000  
fax 919.361.2269  
license number: C-0293, C-187  
www.mcadamsco.com

**CLIENT**

TRAMMELL CROW RESIDENTIAL  
4509 CREEDMOOR ROAD, SUITE 308  
RALEIGH, NC 27612  
PHONE: 919.876.3103

**TCR**  
TRAMMELL CROW RESIDENTIAL

**THE ALEXAN**  
PRELIMINARY SUBDIVISION PLAN  
5060 EDWARDS MILL ROAD  
RALEIGH, NORTH CAROLINA 27612



**REVISIONS**

NO.	DATE	DESCRIPTION
1	03.21.2013	CDR 3RD PFP COMMENT RESPONSES
2	07.15.2013	CDR 4TH PFP COMMENT RESPONSES
3	10.20.2013	CDR 5TH PFP COMMENT RESPONSES
4	02.06.2014	CDR 6TH PFP COMMENT RESPONSES
5	05.31.2014	CDR 7TH PFP COMMENT RESPONSES
6	08.06.2014	CDR 8TH PFP COMMENT RESPONSES

**PLAN INFORMATION**

PROJECT NO: TCR-22002  
FILENAME: TCR22002-PSP-DM1  
CHECKED BY: DB  
DRAWN BY: JJ  
SCALE: 1" = 30'  
DATE: 08.22.2012

**SHEET**

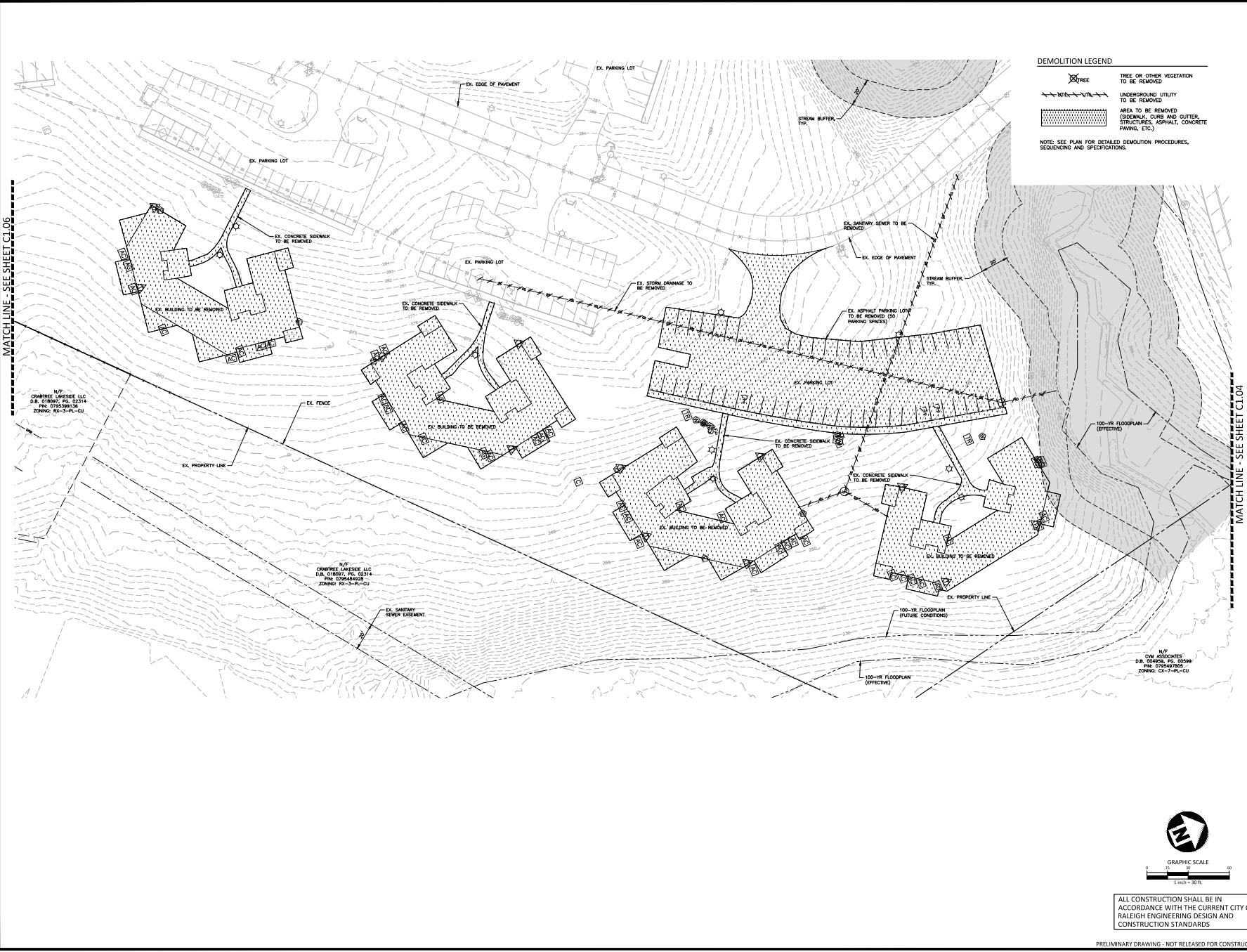
**DEMOLITION PLAN**  
AREA 'B'

**C1.05**

**DEMOLITION LEGEND**

- TREE OR OTHER VEGETATION TO BE REMOVED
- UNDERGROUND UTILITY TO BE REMOVED
- AREA TO BE REMOVED (SIDEWALK, CURB AND GUTTER, STRUCTURES, ASPHALT, CONCRETE PAVING, ETC.)

NOTE: SEE PLAN FOR DETAILED DEMOLITION PROCEDURES, SEQUENCING AND SPECIFICATIONS.



MATCH LINE - SEE SHEET C1.06

MATCH LINE - SEE SHEET C1.04

N/A  
CHARITRE LANDSIDE LLC  
D.B. 078097, PG. 02214  
P.N. 078096138  
ZONING: RK-3-PL-CU

N/A  
CHARITRE LANDSIDE LLC  
D.B. 078097, PG. 02214  
P.N. 078096138  
ZONING: RK-3-PL-CU

N/A  
CAM ASSOCIATES  
D.B. 208550, PG. 02099  
P.N. 070547025  
ZONING: CX-7-PL-CU



GRAPHIC SCALE  
1 inch = 30 ft.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS.

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

C:\Users\jv\Documents\Projects\Trammell Crow Residential\The Alexan\Drawings\Site Plans\22002\22002-PSP-DM1.dwg, 08/22/2012 10:57:39 AM, 10/27/2012 10:57:39 AM, 10/27/2012 10:57:39 AM





**McADAMS**

The John R. McAdams Company, Inc.  
621 Hillsborough Street  
Suite 500  
Raleigh, NC 27603  
phone 919.361.5000  
fax 919.361.2269  
license number: C-0293, C-187  
www.mcadamsco.com

**CLIENT**

TRAMMELL CROW RESIDENTIAL  
4509 CREEDMOOR ROAD, SUITE 308  
RALEIGH, NC 27612  
PHONE: 919.876.3103

**TCR**  
TRAMMELL CROW RESIDENTIAL

**THE ALEXAN**  
PRELIMINARY SUBDIVISION PLAN  
5060 EDWARDS MILL ROAD  
RALEIGH, NORTH CAROLINA 27612



**REVISIONS**

NO.	DATE	DESCRIPTION
1	03.21.2013	CSR 3RD PSP COMMENT RESPONSES
2	07.13.2013	CSR 4TH PSP COMMENT RESPONSES
3	10.20.2013	CSR 5TH PSP COMMENT RESPONSES
4	02.08.2014	CSR 6TH PSP COMMENT RESPONSES
5	05.13.2014	CSR 7TH PSP COMMENT RESPONSES
6	08.08.2014	CSR 11TH PSP COMMENT RESPONSES

**PLAN INFORMATION**

PROJECT NO. TCR-22002  
FILENAME TCR22002-PSP-DM1  
CHECKED BY DB  
DRAWN BY JJ  
SCALE 1" = 30'  
DATE 08.22.2012

**SHEET**

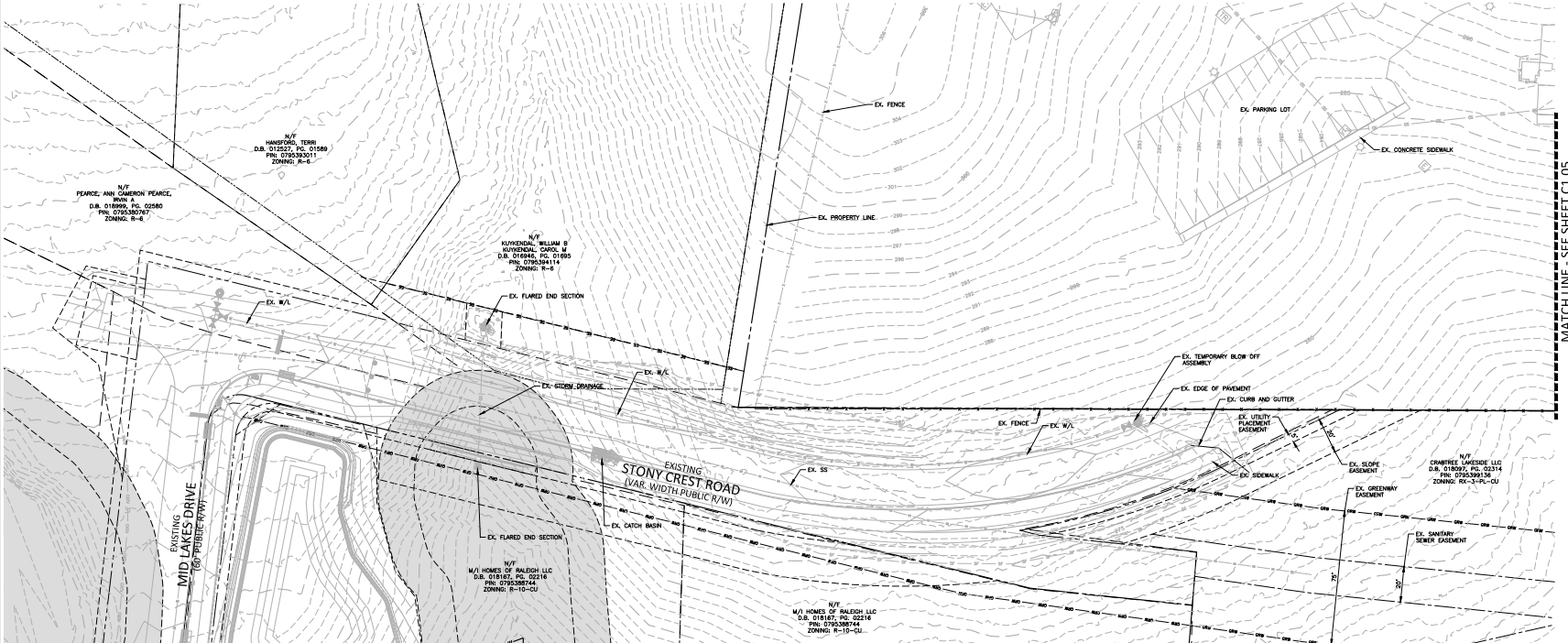
**DEMOLITION PLAN**  
AREA 'C'

**C1.06**

**DEMOLITION LEGEND**

- TREE OR OTHER VEGETATION TO BE REMOVED
- UNDERGROUND UTILITY TO BE REMOVED
- AREA TO BE REMOVED (SIDEWALK, CURB AND GUTTER, STRUCTURES, ASPHALT, CONCRETE PAVING, ETC.)

NOTE: SEE PLAN FOR DETAILED DEMOLITION PROCEDURES, SEQUENCING AND SPECIFICATIONS.



MATCH LINE - SEE SHEET C1.05



GRAPHIC SCALE  
1" = 30'

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS.

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

\\s01\apps\1151232012\1151232012\_PSP\_DM1.dwg, 08/22/2012 4:37:48 PM, JJ, TCR-22002-PSP-DM1



**McADAMS**

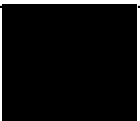
The John R. McAdams Company, Inc.  
621 Hillsborough Street  
Suite 500  
Raleigh, NC 27603  
phone 919.361.5000  
fax 919.361.2269  
license number: C-0293, C-187  
www.mcadamsco.com

**CLIENT**

TRAMMELL CROW RESIDENTIAL  
4509 CREEDMOOR ROAD, SUITE 308  
RALEIGH, NC 27612  
PHONE: 919.876.3103

**TCR**  
TRAMMELL CROW RESIDENTIAL

**THE ALEXAN**  
PRELIMINARY SUBDIVISION PLAN  
5060 EDWARDS MILL ROAD  
RALEIGH, NORTH CAROLINA 27612



**REVISIONS**

NO.	DATE	DESCRIPTION
1	03.21.2023	CDR 300 P&P COMMENT RESPONSES
2	07.13.2023	CDR 300 P&P COMMENT RESPONSES
3	10.20.2023	CDR 310 P&P COMMENT RESPONSES
4	02.08.2024	CDR 400 P&P COMMENT RESPONSES
5	05.31.2024	CDR 700 P&P COMMENT RESPONSES
6	08.08.2024	CDR 700 P&P COMMENT RESPONSES

**PLAN INFORMATION**

PROJECT NO. TCR-22002  
FILENAME TCR22002-S1  
CHECKED BY DB  
DRAWN BY JJ  
SCALE 1" = 60'  
DATE 08.22.2022

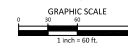
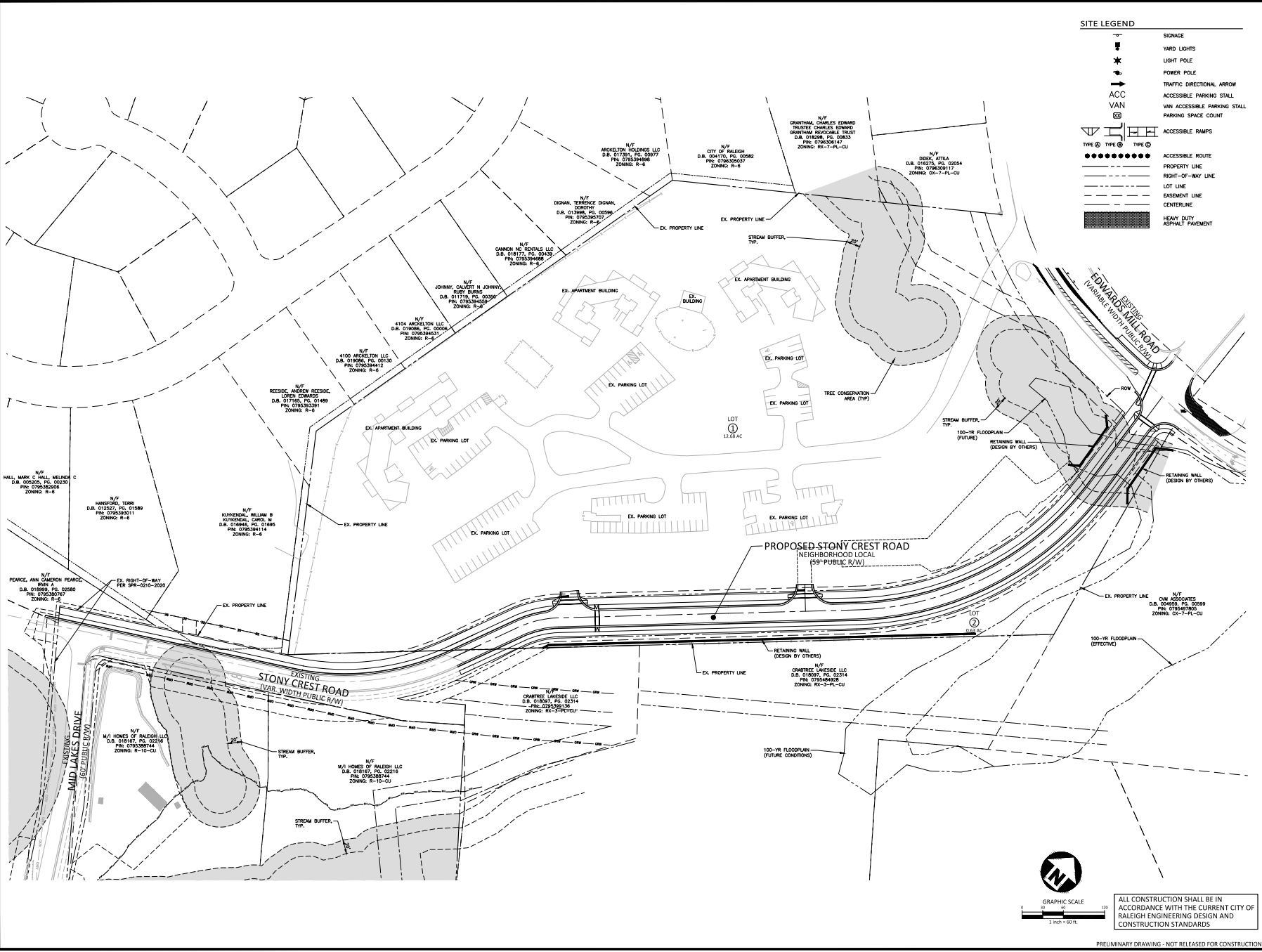
**SHEET**

**OVERALL SITE PLAN**

**C2.00**

**SITE LEGEND**

- SIGNAGE
- YARD LIGHTS
- LIGHT POLE
- POWER POLE
- TRAFFIC DIRECTIONAL ARROW
- ACCESSIBLE PARKING STALL
- VAN ACCESSIBLE PARKING STALL
- PARKING SPACE COUNT
- ACCESSIBLE RAMPS
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- LOT LINE
- EASEMENT LINE
- CENTERLINE
- HEAVY DUTY ASPHALT PAVEMENT



ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS.

PRELIMINARY DRAWINGS - NOT RELEASED FOR CONSTRUCTION

C:\Users\james.mccoy\OneDrive\Documents\Projects\ALEXAN\Drawings\Site\SitePlan\SitePlan.dwg, 8/22/2024 4:15:25 PM, 1:17 PM, 1:17 PM



**McADAMS**

The John R. McAdams Company, Inc.  
621 Hillsborough Street  
Suite 500  
Raleigh, NC 27603  
phone 919.361.5000  
fax 919.361.2269  
license number: C-0293, C-187  
www.mcadamsco.com

**CLIENT**

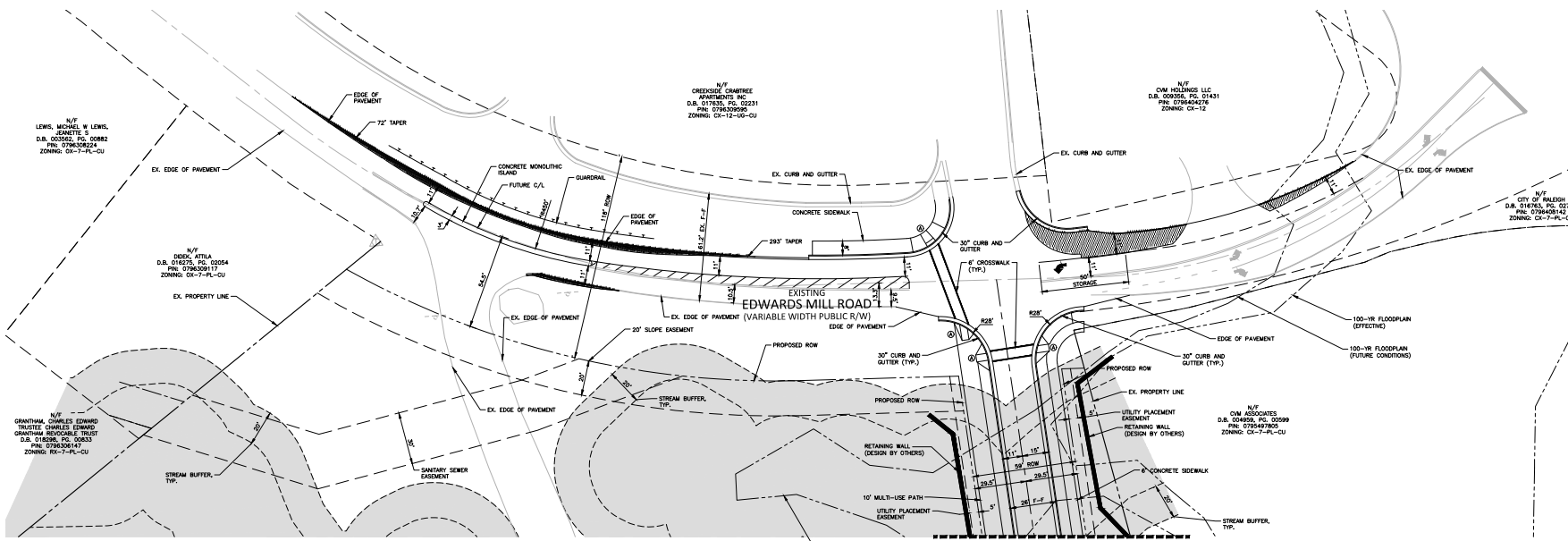
TRAMMELL CROW RESIDENTIAL  
4509 CREEDMOOR ROAD, SUITE 308  
RALEIGH, NC 27612  
PHONE: 919.876.3103

**TCR**  
TRAMMELL CROW RESIDENTIAL

**THE ALEXAN**  
PRELIMINARY SUBDIVISION PLAN  
5060 EDWARDS MILL ROAD  
RALEIGH, NORTH CAROLINA 27612

**SITE LEGEND**

- SIGNAGE
- YARD LIGHTS
- LIGHT POLE
- POWER POLE
- TRAFFIC DIRECTIONAL ARROW
- ACCESSIBLE PARKING STALL
- VAN ACCESSIBLE PARKING STALL
- PARKING SPACE COUNT
- ACCESSIBLE RAMPS
- TYPE ①
- TYPE ②
- ACCESSIBLE ROUTE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- LOT LINE
- EASEMENT LINE
- CENTERLINE
- HEAVY DUTY ASPHALT PAVEMENT



**REVISIONS**

NO.	DATE	DESCRIPTION
1	03.21.2013	CDR 3RD P&P COMMENT RESPONSES
2	07.15.2013	CDR 4TH P&P COMMENT RESPONSES
3	10.20.2013	CDR 5TH P&P COMMENT RESPONSES
4	02.08.2014	CDR 6TH P&P COMMENT RESPONSES
5	05.31.2014	CDR 7TH P&P COMMENT RESPONSES
6	08.08.2014	CDR 7TH P&P COMMENT RESPONSES

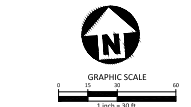
**PLAN INFORMATION**

PROJECT NO.	TCR-22002
FILENAME	TCR22002-S1
CHECKED BY	DB
DRAWN BY	JJ
SCALE	1" = 30'
DATE	08.22.2012

**SHEET**

**SITE PLAN AREA 'A'**

**C2.01**



ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS.

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

I:\Projects\2012\22002\22002-S1\_Preliminary\Drawings\SitePlan\TCR22002-S1\_P01.dwg, 8/22/2012 4:41:33 PM, David McAdams





**MCADAMS**

The John R. McAdams Company, Inc.  
621 Hillsborough Street  
Suite 500  
Raleigh, NC 27603  
phone 919.361.5000  
fax 919.361.2269  
license number: C-0293, C-187  
www.mcadamsco.com

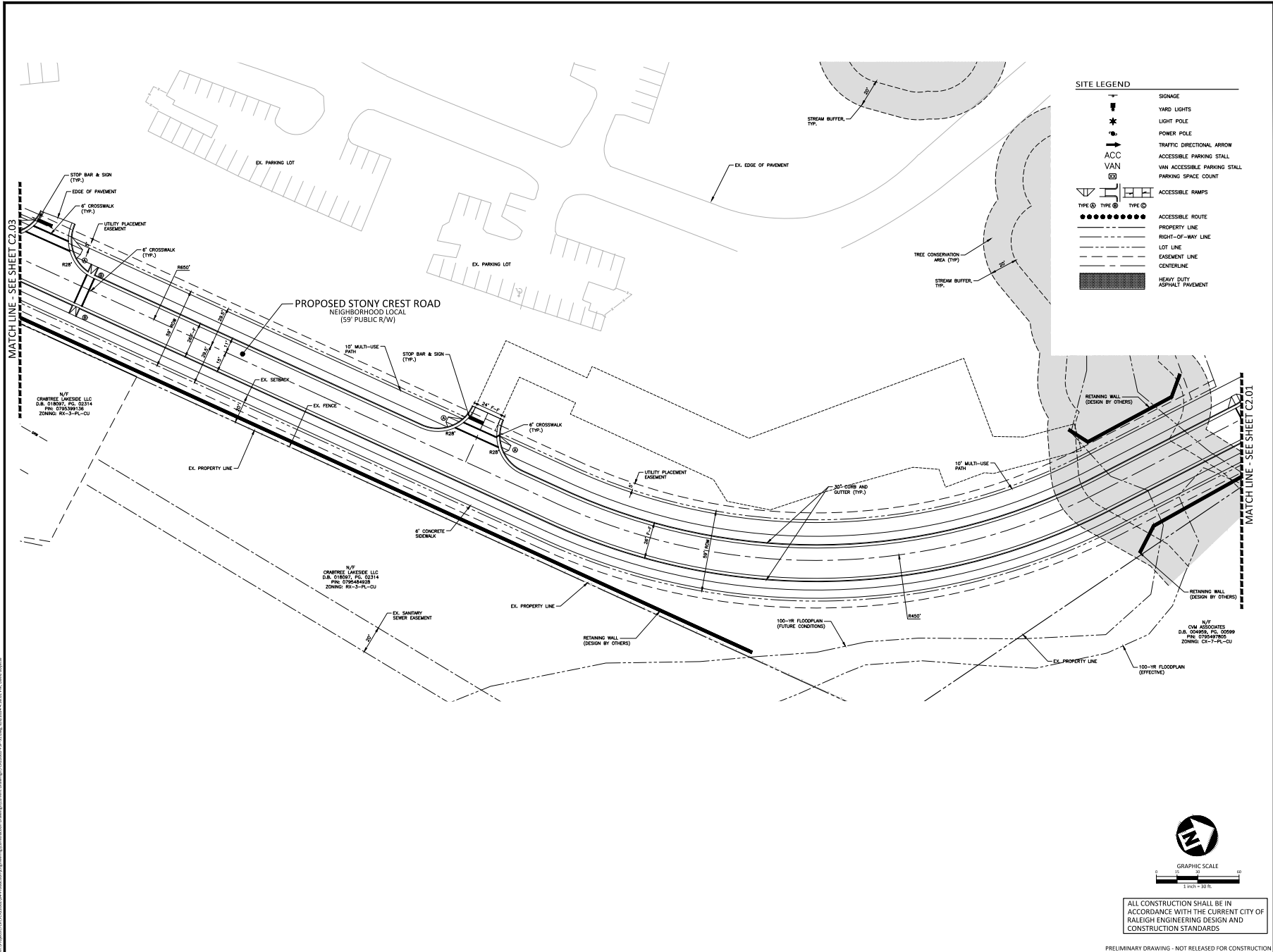
**CLIENT**

TRAMMELL CROW RESIDENTIAL  
4509 CREEDMOOR ROAD, SUITE 308  
RALEIGH, NC 27612  
PHONE: 919.876.3103

**TCR**

TRAMMELL CROW RESIDENTIAL

**THE ALEXAN**  
PRELIMINARY SUBDIVISION PLAN  
5060 EDWARDS MILL ROAD  
RALEIGH, NORTH CAROLINA 27612



**SITE LEGEND**

- SIGNAGE
- Y YARD LIGHTS
- \* LIGHT POLE
- ⊕ POWER POLE
- TRAFFIC DIRECTIONAL ARROW
- ACC VAN
- ACCESSIBLE PARKING STALL
- VAN ACCESSIBLE PARKING STALL
- PARKING SPACE COUNT
- ACCESSIBLE RAMPS
- TYPE ① TYPE ②
- ACCESSIBLE ROUTE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- LOT LINE
- EASEMENT LINE
- CENTERLINE
- HEAVY DUTY ASPHALT PAVEMENT

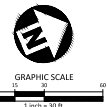
MATCH LINE - SEE SHEET C2.03

MATCH LINE - SEE SHEET C2.01

N/T CHARITRE LANDSIDE LLC  
D.B. 018097, PG. 02314  
P.N. 0750306136  
ZONING: RK-3-PL-CU

N/T CHARITRE LANDSIDE LLC  
D.B. 018097, PG. 02314  
P.N. 0750306136  
ZONING: RK-3-PL-CU

N/T OMA ASSOCIATES  
D.B. 204658, PG. 00699  
P.N. 0750487005  
ZONING: EC-7-PL-CU



ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS.

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

**REVISIONS**

NO.	DATE	DESCRIPTION
1	03.21.2013	CDR 3RD P&P COMMENT RESPONSES
2	07.15.2013	CDR 4TH P&P COMMENT RESPONSES
3	10.20.2013	CDR 5TH P&P COMMENT RESPONSES
4	02.06.2014	CDR 6TH P&P COMMENT RESPONSES
5	05.11.2014	CDR 7TH P&P COMMENT RESPONSES
6	08.06.2014	CDR 7TH P&P COMMENT RESPONSES

**PLAN INFORMATION**

PROJECT NO. TCR-22002  
FILENAME TCR22002-S1  
CHECKED BY DB  
DRAWN BY JJ  
SCALE 1" = 30'  
DATE 08.22.2012  
**SHEET**

**SITE PLAN AREA 'B'**  
**C2.02**



**McADAMS**

The John R. McAdams Company, Inc.  
621 Hillsborough Street  
Suite 500  
Raleigh, NC 27603  
phone 919.361.5000  
fax 919.361.2269  
license number: C-0293, C-187  
www.mcadamsco.com

**CLIENT**

TRAMMELL CROW RESIDENTIAL  
4509 CREEDMOOR ROAD, SUITE 308  
RALEIGH, NC 27612  
PHONE: 919. 876. 3103

**TCR**  
TRAMMELL CROW RESIDENTIAL

**THE ALEXAN**  
PRELIMINARY SUBDIVISION PLAN  
5060 EDWARDS MILL ROAD  
RALEIGH, NORTH CAROLINA 27612



**REVISIONS**

NO.	DATE	DESCRIPTION
1	03.21.2022	CDR 3RD P&P COMMENT RESPONSES
2	03.21.2022	CDR 4TH P&P COMMENT RESPONSES
3	03.21.2022	CDR 5TH P&P COMMENT RESPONSES
4	02.08.2024	CDR 6TH P&P COMMENT RESPONSES
5	03.21.2024	CDR 7TH P&P COMMENT RESPONSES
6	03.21.2024	CDR 8TH P&P COMMENT RESPONSES

**PLAN INFORMATION**

PROJECT NO: TCR-22002  
FILENAME: TCR22002-S1  
CHECKED BY: DB  
DRAWN BY: JJ  
SCALE: 1" = 30'  
DATE: 08.22.2022

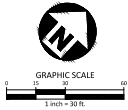
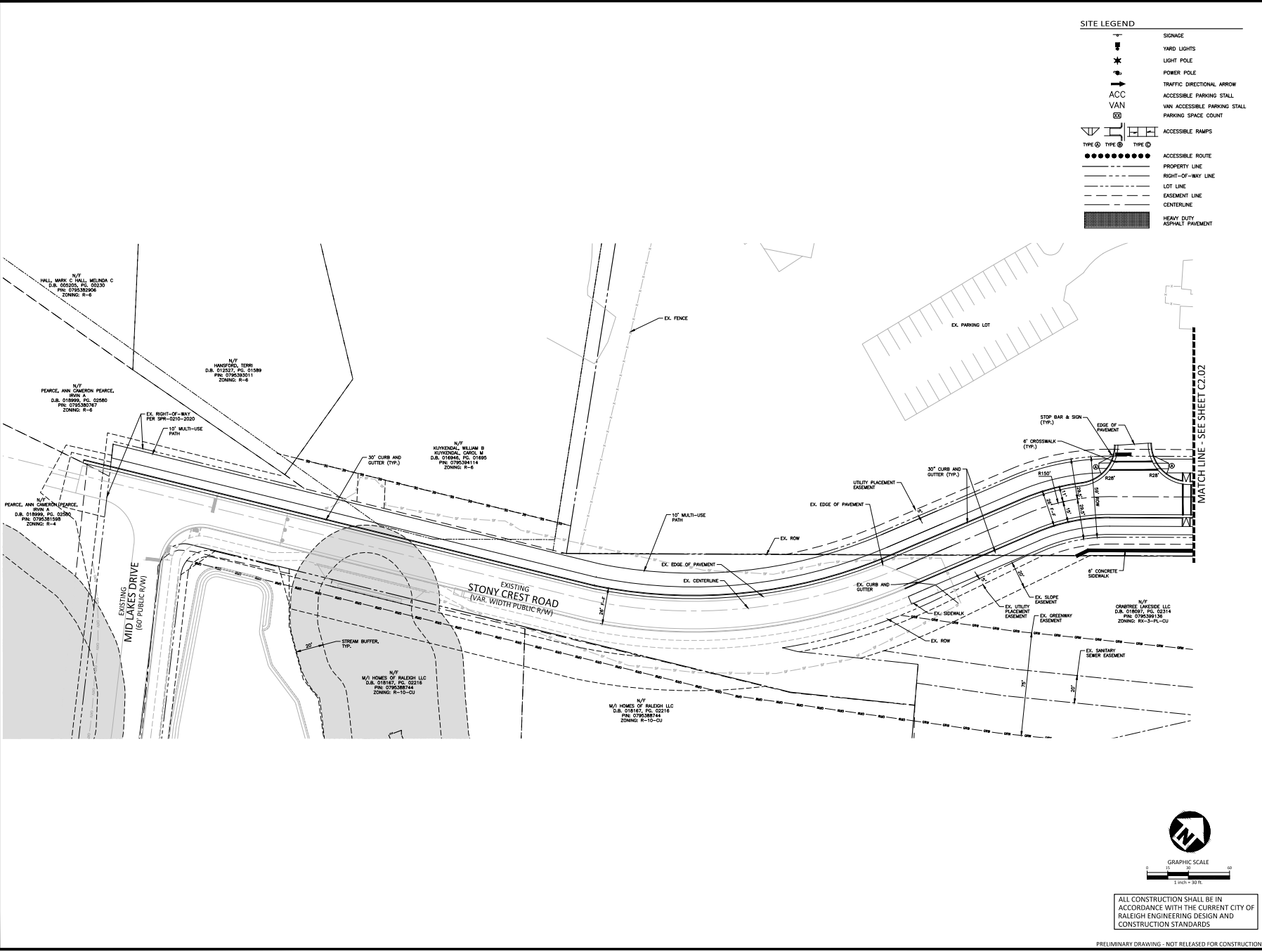
**SHEET**

SITE PLAN AREA 'C'

**C2.03**

**SITE LEGEND**

- SIGNAGE
- YARD LIGHTS
- LIGHT POLE
- POWER POLE
- TRAFFIC DIRECTIONAL ARROW
- ACCESSIBLE PARKING STALL
- VAN ACCESSIBLE PARKING STALL
- PARKING SPACE COUNT
- ACCESSIBLE RAMP
- ACCESSIBLE ROUTE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- LOT LINE
- EASEMENT LINE
- CENTERLINE
- HEAVY DUTY ASPHALT PAVEMENT



ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS.

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

C:\Users\JJ\Documents\Projects\Alexan\Drawings\SitePlan\TCR22002-S1\_Plan\_S1.dwg, 8/22/2024 4:48:55 PM, JJ



**McADAMS**

The John R. McAdams Company, Inc.  
621 Hillsborough Street  
Suite 500  
Raleigh, NC 27603  
phone 919.361.5000  
fax 919.361.2269  
license number: C-0293, C-187  
www.mcadamsco.com

**CLIENT**

TRAMMELL CROW RESIDENTIAL  
4509 CREEDEMOR ROAD, SUITE 308  
RALEIGH, NC 27612  
PHONE: 919.876.3103

**TCR**

TRAMMELL CROW RESIDENTIAL

**THE ALEXAN**  
PRELIMINARY SUBDIVISION PLAN  
5060 EDWARDS WILE ROAD  
RALEIGH, NORTH CAROLINA 27612



**REVISIONS**

NO.	DATE	DESCRIPTION
1	03.21.2023	CDR 3RD PDP COMMENT RESPONSES
2	07.13.2023	CDR 4TH PDP COMMENT RESPONSES
3	10.20.2023	CDR 5TH PDP COMMENT RESPONSES
4	02.08.2024	CDR 6TH PDP COMMENT RESPONSES
5	05.31.2024	CDR 7TH PDP COMMENT RESPONSES
6	08.08.2024	CDR 8TH PDP COMMENT RESPONSES

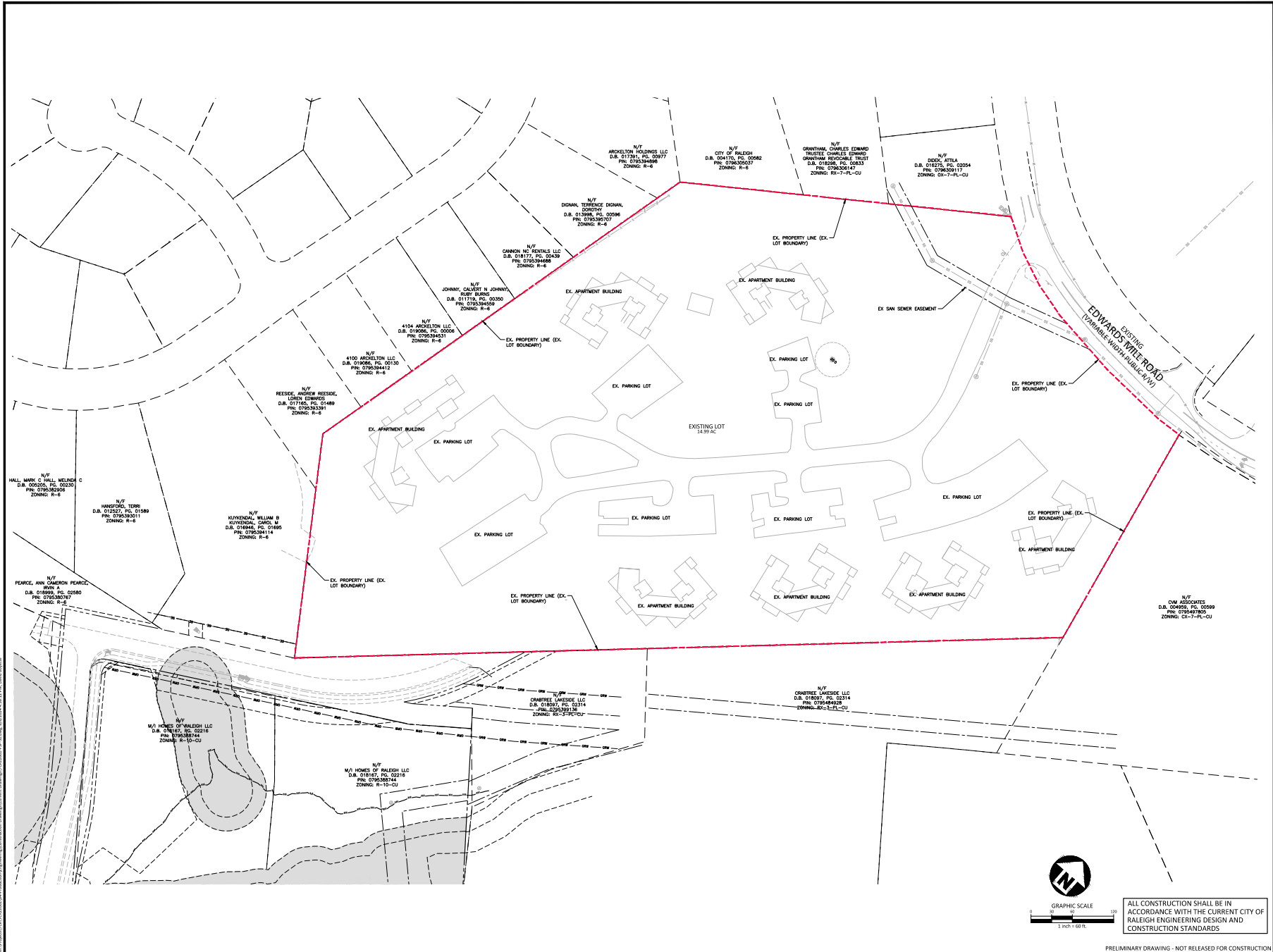
**PLAN INFORMATION**

PROJECT NO. TCR-22002  
FILENAME TCR22002-S1  
CHECKED BY DB  
DRAWN BY JJ  
SCALE 1" = 60'  
DATE 08.22.2022

**SHEET**

**SUBDIVISION PLAN -  
EXISTING LOTS**

**C2.04**



GRAPHIC SCALE  
1" = 60'

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS.

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



**McADAMS**

The John R. McAdams Company, Inc.  
621 Hillsborough Street  
Suite 500  
Raleigh, NC 27603  
phone 919.361.2269  
fax 919.361.2269  
license number: C-0293, C-187  
www.mcadamsco.com

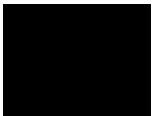
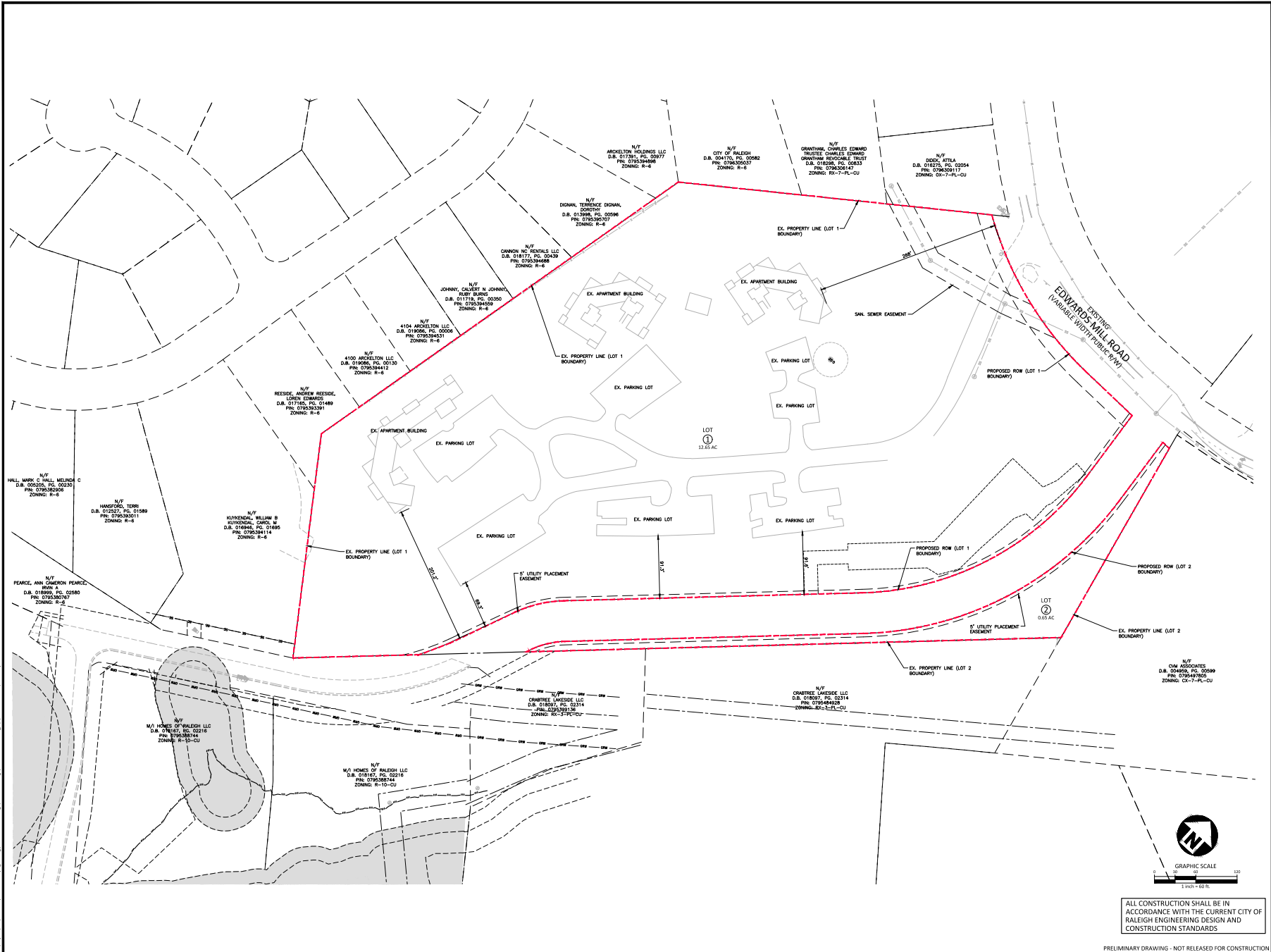
**CLIENT**

TRAMMELL CROW RESIDENTIAL  
4509 CREEDEMOR ROAD, SUITE 308  
RALEIGH, NC 27612  
PHONE: 919. 876. 3103

**TCR**

TRAMMELL CROW RESIDENTIAL

**THE ALEXAN**  
PRELIMINARY SUBDIVISION PLAN  
5060 EDWARDS MILL ROAD  
RALEIGH, NORTH CAROLINA 27612



**REVISIONS**

NO.	DATE	DESCRIPTION
1	03.21.2023	CDR 3RD P&P COMMENT RESPONSES
2	03.21.2023	CDR 4TH P&P COMMENT RESPONSES
3	03.20.2023	CDR 5TH P&P COMMENT RESPONSES
4	02.08.2024	CDR 6TH P&P COMMENT RESPONSES
5	03.21.2024	CDR 7TH P&P COMMENT RESPONSES
6	08.08.2024	CDR 8TH P&P COMMENT RESPONSES

**PLAN INFORMATION**

PROJECT NO. TCR-22002  
FILENAME TCR22002-S1  
CHECKED BY DB  
DRAWN BY JJ  
SCALE 1" = 60'  
DATE 08.22.2022

**SHEET**

**SUBDIVISION PLAN-  
PROPOSED LOTS**

**C2.05**



GRAPHIC SCALE  
0 30 60 90 120  
1 inch = 60 ft.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS.

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

\\s01\apps\1011132302023\Projects\TCR22002\Drawings\TCR22002-S1.dwg, 8/22/2024 4:58:15 PM, JJ

GRADING LEGEND

- FLARED END SECTION
- ENDWALL SECTION
- CATCH BASIN
- DROP INLET
- STORM SERVICE INLET
- STORM SERVICE ROOF-DRAIN
- JUNCTION BOX
- DRAINAGE FLOW ARROW
- LINE BREAK SYMBOL
- TOP & BOTTOM CURB ELEVATIONS
- TOP OF WALL ELEVATION
- BOTTOM OF WALL ELEVATION  
(NOTE: BOTTOM OF WALL IS GROUND ELEVATION NOT WALL FOUNDATION)
- SPOT ELEVATION
- STORM DRAINAGE
- STORM SERVICE LINE
- ROOF DRAIN, 8" ADS NON-PERFORATED TUBING OR EQUAL, 1.0% MIN. SLOPE, 3" MIN. COVER PVC SCHEDULE 40 IN TRAFFIC AREAS
- TREE PROTECTION FENCE
- LIMITS OF DISTURBANCE
- WOODED AREA
- MAJOR CONTOUR
- MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EASEMENT LINE
- ACCESSIBLE PARKING AREA (2% MAX. SLOPE IN ALL DIRECTIONS)

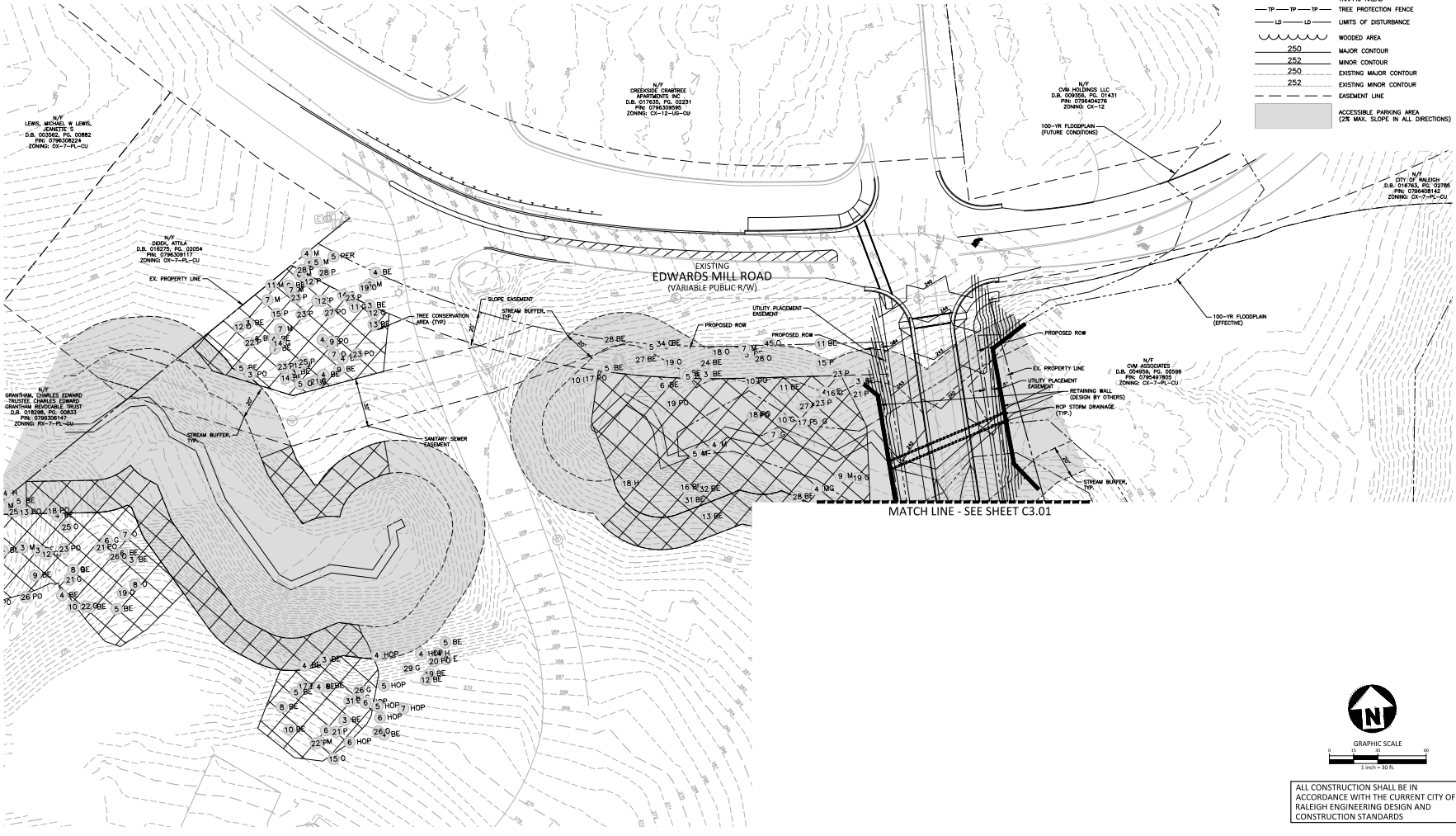


**McADAMS**  
The John R. McAdams Company, Inc.  
621 Hillsborough Street  
Suite 500  
Raleigh, NC 27603  
phone 919.361.5000  
fax 919.361.2269  
license number: C-0293, C-187  
www.mcadamsco.com

**CLIENT**  
TRAMMELL CROW RESIDENTIAL  
4509 CREEDMOOR ROAD, SUITE 308  
RALEIGH, NC 27612  
PHONE: 919.876.3103

**TCR**  
TRAMMELL CROW RESIDENTIAL

**THE ALEXAN**  
PRELIMINARY SUBDIVISION PLAN  
5060 EDWARDS MILL ROAD  
RALEIGH, NORTH CAROLINA 27612



MATCH LINE - SEE SHEET C3.01



ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS.

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

**REVISIONS**

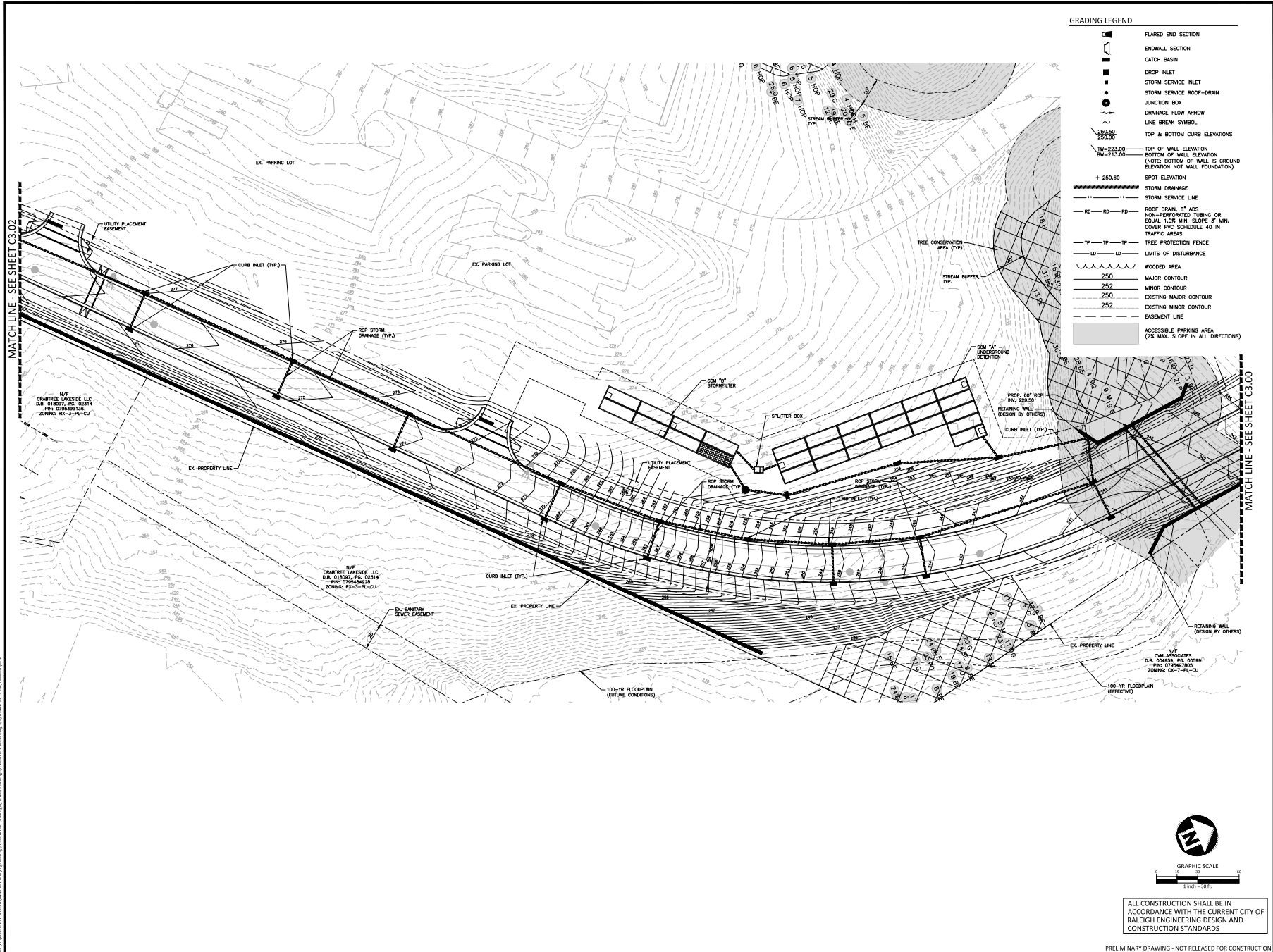
NO.	DATE	DESCRIPTION
1	03.21.2023	CON-380 P&P COMMENT RESPONSES
2	07.13.2023	CON-674 P&P COMMENT RESPONSES
3	10.20.2023	CON-1511 P&P COMMENT RESPONSES
4	02.08.2024	CON-674 P&P COMMENT RESPONSES
5	03.21.2024	CON-1711 P&P COMMENT RESPONSES
6	08.08.2024	CON-1711 P&P COMMENT RESPONSES

**PLAN INFORMATION**

PROJECT NO.: TCR-23002  
FILENAME: TCR22002-P&P-G1  
CHECKED BY: DB  
DRAWN BY: JJ  
SCALE: 1" = 30'  
DATE: 08.22.2022

**GRADING PLAN AREA 'A'**  
**C3.00**





**GRADING LEGEND**

- FLARED END SECTION
- ENDWALL SECTION
- CATCH BASIN
- DROP INLET
- STORM SERVICE INLET
- STORM SERVICE ROOF-DRAIN
- JUNCTION BOX
- DRAINAGE FLOW ARROW
- LINE BREAK SYMBOL
- TOP & BOTTOM CURB ELEVATIONS
- TOP OF WALL ELEVATION
- BOTTOM OF WALL ELEVATION
- NOTE: BOTTOM OF WALL & GROUND ELEVATION NOT WALL FOUNDATION
- SPOT ELEVATION
- STORM DRAINAGE
- STORM SERVICE LINE
- ROOF DRAIN, 8" ABS NON-PERFORATED TUBING OR EQUAL, 1.0% MIN. SLOPE 3" MIN. COVER PVC SCHEDULE 40 IN TRAFFIC AREAS
- TREE PROTECTION FENCE
- LIMITS OF DISTURBANCE
- WOODED AREA
- MAJOR CONTOUR
- MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EASEMENT LINE
- ACCESSIBLE PARKING AREA (2% MAX. SLOPE IN ALL DIRECTIONS)

**McADAMS**  
 The John R. McAdams Company, Inc.  
 621 Hillsborough Street  
 Suite 500  
 Raleigh, NC 27603  
 phone 919.361.5000  
 fax 919.361.2269  
 license number: C-0293, C-187  
 www.mcadamsco.com

**CLIENT**  
 TRAMMELL CROW RESIDENTIAL  
 4509 CREEDMOOR ROAD, SUITE 308  
 RALEIGH, NC 27612  
 PHONE: 919.876.3103

**TCR**  
 TRAMMELL CROW RESIDENTIAL

**THE ALEXAN**  
 PRELIMINARY SUBDIVISION PLAN  
 5060 EDWARDS MILL ROAD  
 RALEIGH, NORTH CAROLINA 27612



**REVISIONS**

NO.	DATE	DESCRIPTION
1	03.21.2023	CDR 3RD P&P COMMENT RESPONSES
2	07.13.2023	CDR 4TH P&P COMMENT RESPONSES
3	10.20.2023	CDR 5TH P&P COMMENT RESPONSES
4	02.08.2024	CDR 6TH P&P COMMENT RESPONSES
5	05.31.2024	CDR 7TH P&P COMMENT RESPONSES
6	08.08.2024	CDR 7TH P&P COMMENT RESPONSES

**PLAN INFORMATION**

PROJECT NO. TCR-22002  
 FILENAME TCR22002-PPF-G1  
 CHECKED BY DB  
 DRAWN BY JJ  
 SCALE 1" = 30'  
 DATE 08.22.2022

**SHEET**



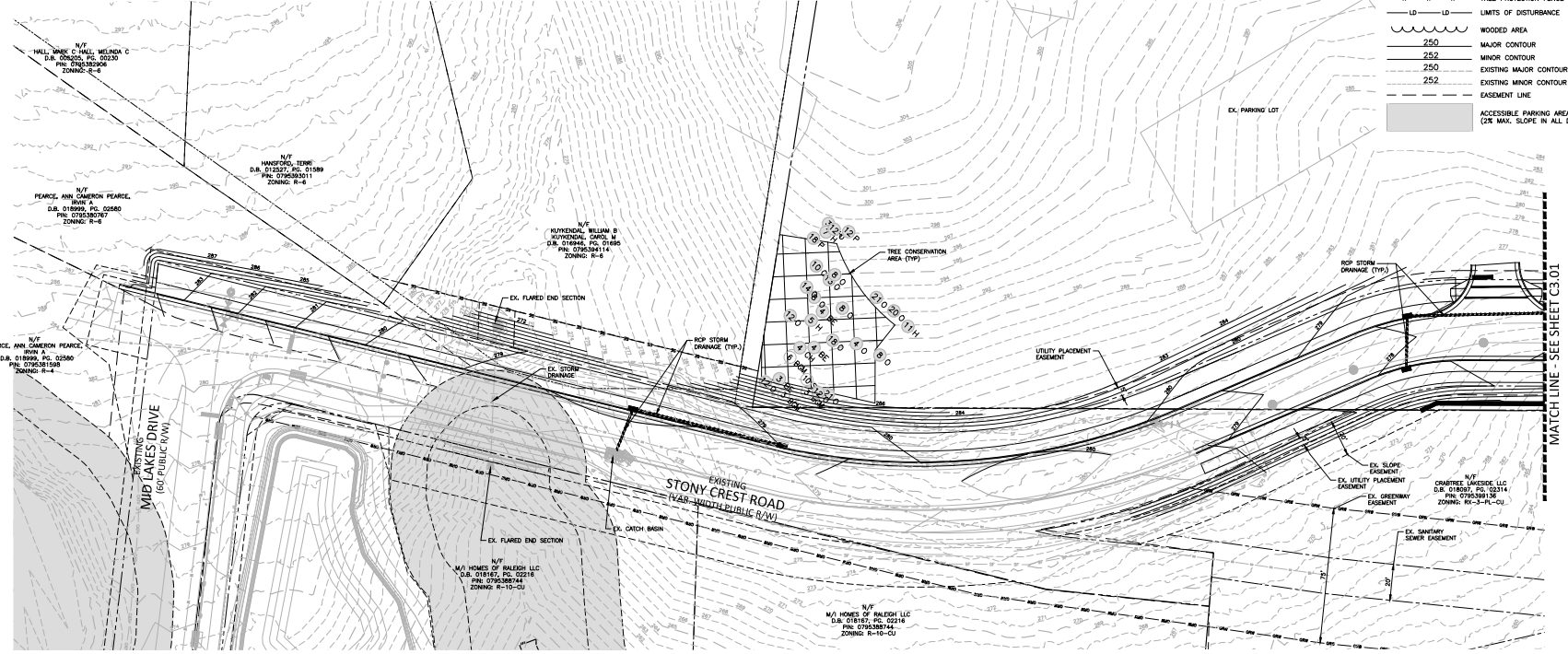
ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS.

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

**GRADING PLAN AREA 'B'**  
**C3.01**



- GRADING LEGEND**
- FLARED END SECTION
  - END WALL SECTION
  - CATCH BASIN
  - DROP INLET
  - STORM SERVICE INLET
  - STORM SERVICE ROOF-DRAIN
  - JUNCTION BOX
  - DRAINAGE FLOW ARROW
  - LINE BREAK SYMBOL
  - TOP & BOTTOM CURB ELEVATIONS
  - TOP OF WALL ELEVATION  
(NOTE: BOTTOM OF WALL IS GROUND ELEVATION NOT WALL FOUNDATION)
  - SPOT ELEVATION
  - STORM DRAINAGE
  - STORM SERVICE LINE
  - ROOF DRAIN 6" ADS  
NON-PERFORATED TUBING OR  
 EQUAL 1.0% MIN. SLOPE 3" MIN.  
 COVER PVC SCHEDULE 40 IN  
 TRAFFIC AREAS
  - TREE PROTECTION FENCE
  - LIMITS OF DISTURBANCE
  - WOODED AREA
  - MAJOR CONTOUR  
250
  - MINOR CONTOUR  
250
  - EXISTING MAJOR CONTOUR  
250
  - EXISTING MINOR CONTOUR  
250
  - EASEMENT LINE
  - ACCESSIBLE PARKING AREA  
(2% MAX. SLOPE IN ALL DIRECTIONS)



ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS.

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

**REVISIONS**

NO.	DATE	DESCRIPTION
1	03.21.2023	CDR 3RD PDP COMMENT RESPONSES
2	07.13.2023	CDR 6TH PDP COMMENT RESPONSES
3	10.20.2023	CDR 8TH PDP COMMENT RESPONSES
4	02.08.2024	CDR 10TH PDP COMMENT RESPONSES
5	05.31.2024	CDR 11TH PDP COMMENT RESPONSES
6	08.08.2024	CDR 12TH PDP COMMENT RESPONSES

**PLAN INFORMATION**

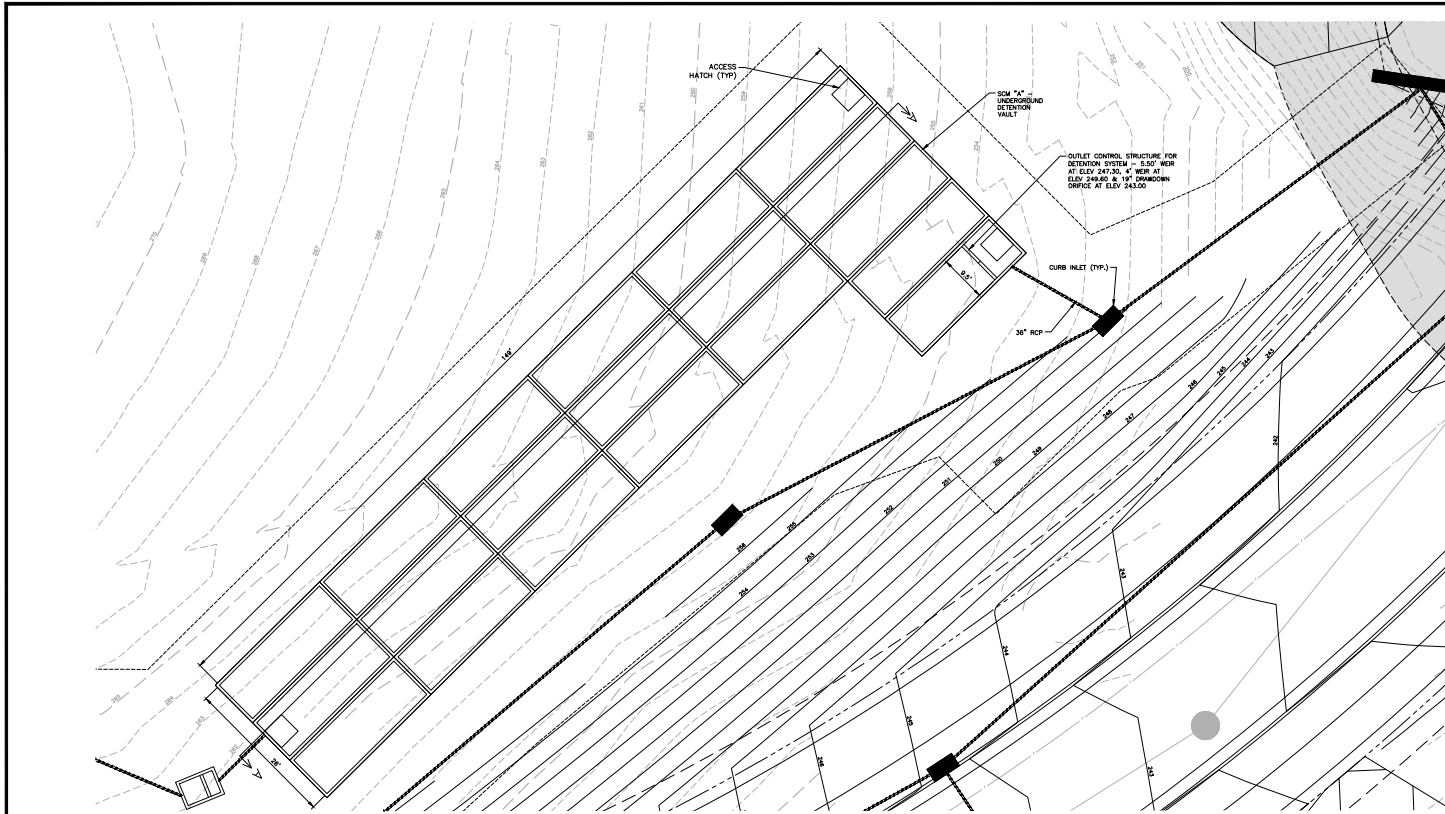
PROJECT NO. TCR-22002  
 FILENAME TCR22002-PSP-G1  
 CHECKED BY DB  
 DRAWN BY JJ  
 SCALE 1" = 30'  
 DATE 08.22.2022

**SHEET**

**GRADING PLAN AREA 'C'**

**C3.02**

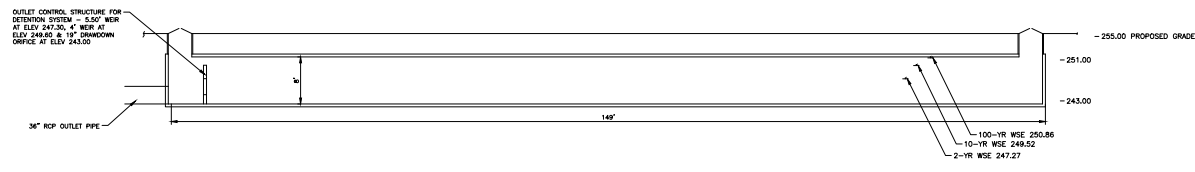
C:\Users\jg320221\OneDrive - Personal\Documents\Projects\Alexan\Grading\Grading\TCR22002-PSP-G1.dwg, 03/21/2023 11:05:37 AM, 15.57 MB



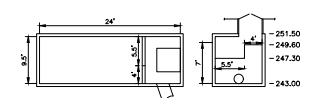
**GRADING LEGEND**

	FLARED END SECTION
	END WALL SECTION
	CATCH BASIN
	DROP INLET
	STORM SERVICE INLET
	STORM SERVICE ROOF-DRAIN
	JUNCTION BOX
	DRAINAGE FLOW ARROW
	LINE BREAK SYMBOL
	TOP & BOTTOM CURB ELEVATIONS
	TOP OF WALL ELEVATION
	BOTTOM OF WALL ELEVATION
	SPOT ELEVATION
	STORM DRAINAGE
	STORM SERVICE LINE
	ROOF DRAIN 8" ADS
	TREE PROTECTION FENCE
	LIMITS OF DISTURBANCE
	WOODED AREA
	MAJOR CONTOUR
	MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	EASEMENT LINE
	ACCESSIBLE PARKING AREA (2% MAX. SLOPE IN ALL DIRECTIONS)

SCM 'A' PLAN VIEW SECTION A-A



SCM 'A' OUTLET CONTROL STRUCTURE



**McADAMS**  
The John R. McAdams Company, Inc.  
621 Hillsborough Street  
Suite 500  
Raleigh, NC 27603  
phone 919.361.5000  
fax 919.361.2269  
license number: C-0293, C-187  
www.mcadamsco.com

**CLIENT**  
TRAMMELL CROW RESIDENTIAL  
4509 CREEDMOOR ROAD, SUITE 308  
RALEIGH, NC 27612  
PHONE: 919. 876. 3103

**TCR**  
TRAMMELL CROW RESIDENTIAL

**THE ALEXAN**  
PRELIMINARY SUBDIVISION PLAN  
5060 EDWARDS MILL ROAD  
RALEIGH, NORTH-CAROLINA 27612

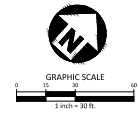
**REVISIONS**

NO.	DATE	DESCRIPTION
1	03.21.2013	CDR 389 P&P COMMENT RESPONSES
2	07.13.2013	CDR 474 P&P COMMENT RESPONSES
3	10.20.2013	CDR 574 P&P COMMENT RESPONSES
4	02.06.2014	CDR 674 P&P COMMENT RESPONSES
5	05.31.2014	CDR 774 P&P COMMENT RESPONSES
6	08.06.2014	CDR 874 P&P COMMENT RESPONSES

**PLAN INFORMATION**

PROJECT NO. TCR-22002  
FILENAME TCR22002-PSP-G13  
CHECKED BY DB  
DRAWN BY JJ  
SCALE 1" = 10'  
DATE 08.22.2012

**SHEET**



ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS.

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

**SCM DETAILS - SCM A**  
**C3.03**





**McADAMS**

The John R. McAdams Company, Inc.  
621 Hillsborough Street  
Suite 500  
Raleigh, NC 27603  
phone 919.361.5000  
fax 919.361.2269  
license number: C-0293, C-187  
www.mcadamsco.com

**CLIENT**

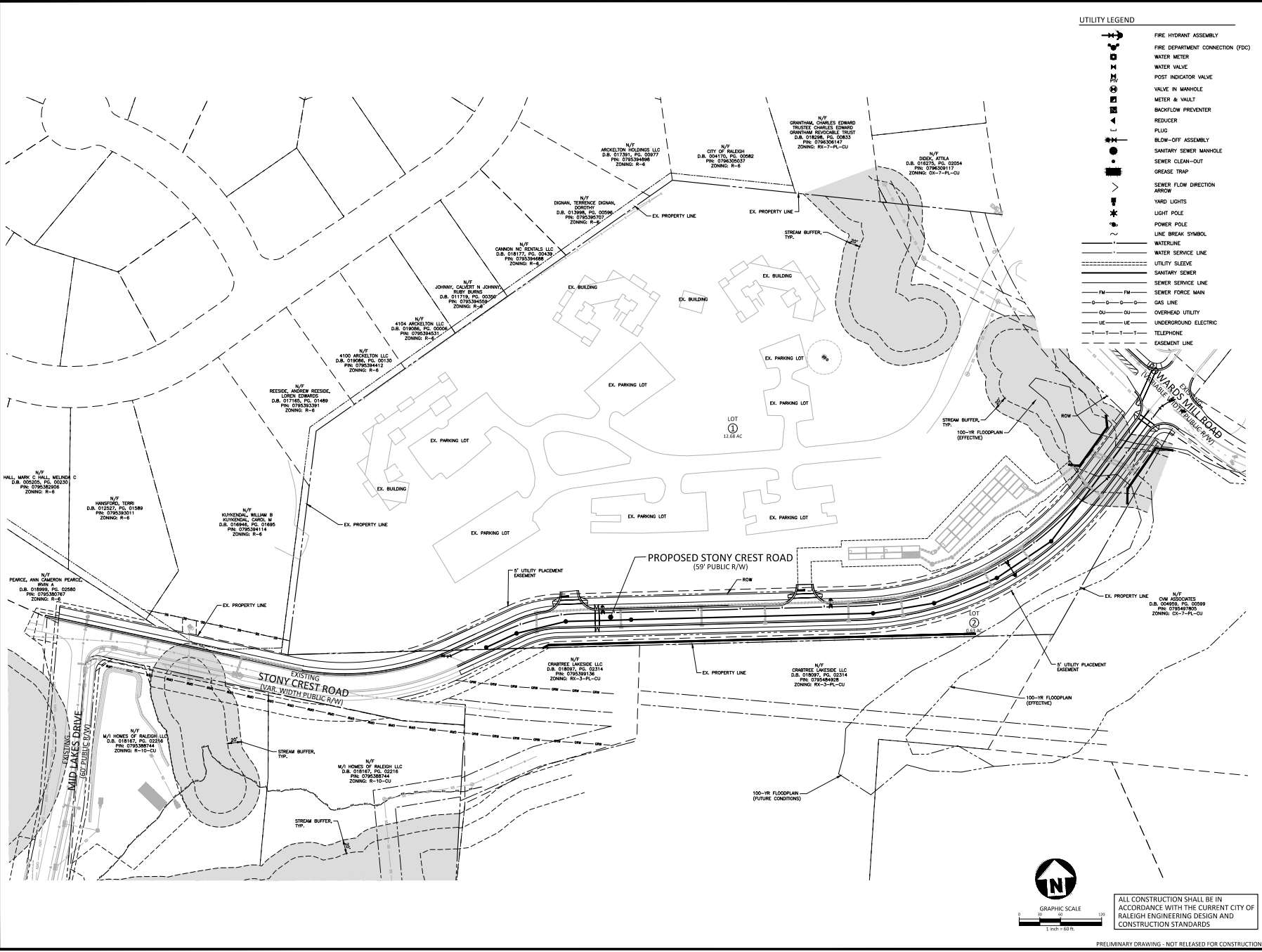
TRAMMELL CROW RESIDENTIAL  
4509 CREEDMOOR ROAD, SUITE 308  
RALEIGH, NC 27612  
PHONE: 919.876.3103

**TCR**  
TRAMMELL CROW RESIDENTIAL

**THE ALEXAN**  
PRELIMINARY SUBDIVISION PLAN  
5060 EDWARDS MILL ROAD  
RALEIGH, NORTH CAROLINA 27612

**UTILITY LEGEND**

- FIRE HYDRANT ASSEMBLY
- FIRE DEPARTMENT CONNECTION (FDC)
- WATER METER
- WATER VALVE
- POST INDICATOR VALVE
- VALVE IN MANHOLE
- METER & VAULT
- BACKFLOW PREVENTER
- REDUCER
- PLUG
- BLOW-OFF ASSEMBLY
- SANITARY SEWER MANHOLE
- SEWER CLEAN-OUT
- GREASE TRAP
- SEWER FLOW DIRECTION ARROW
- YARD LIGHTS
- LIGHT POLE
- POWER POLE
- LINE BREAK SYMBOL
- WATERLINE
- UTILITY SLEEVE
- SANITARY SEWER
- SEWER SERVICE LINE
- SEWER FORCE MAIN
- GAS LINE
- OVERHEAD UTILITY
- UNDERGROUND ELECTRIC
- TELEPHONE
- EASEMENT LINE



**REVISIONS**

NO.	DATE	DESCRIPTION
1	03.21.2013	CDR 3RD PSF COMMENT RESPONSES
2	07.13.2013	CDR 4TH PSF COMMENT RESPONSES
3	10.20.2013	CDR 5TH PSF COMMENT RESPONSES
4	02.06.2014	CDR 6TH PSF COMMENT RESPONSES
5	05.23.2014	CDR 7TH PSF COMMENT RESPONSES
6	08.06.2014	CDR 7TH PSF COMMENT RESPONSES

**PLAN INFORMATION**

PROJECT NO. TCR-22002  
 FILENAME TCR22002-PSF-013  
 CHECKED BY DB  
 DRAWN BY JJ  
 SCALE 1" = 60'  
 DATE 08.22.2012

**SHEET**

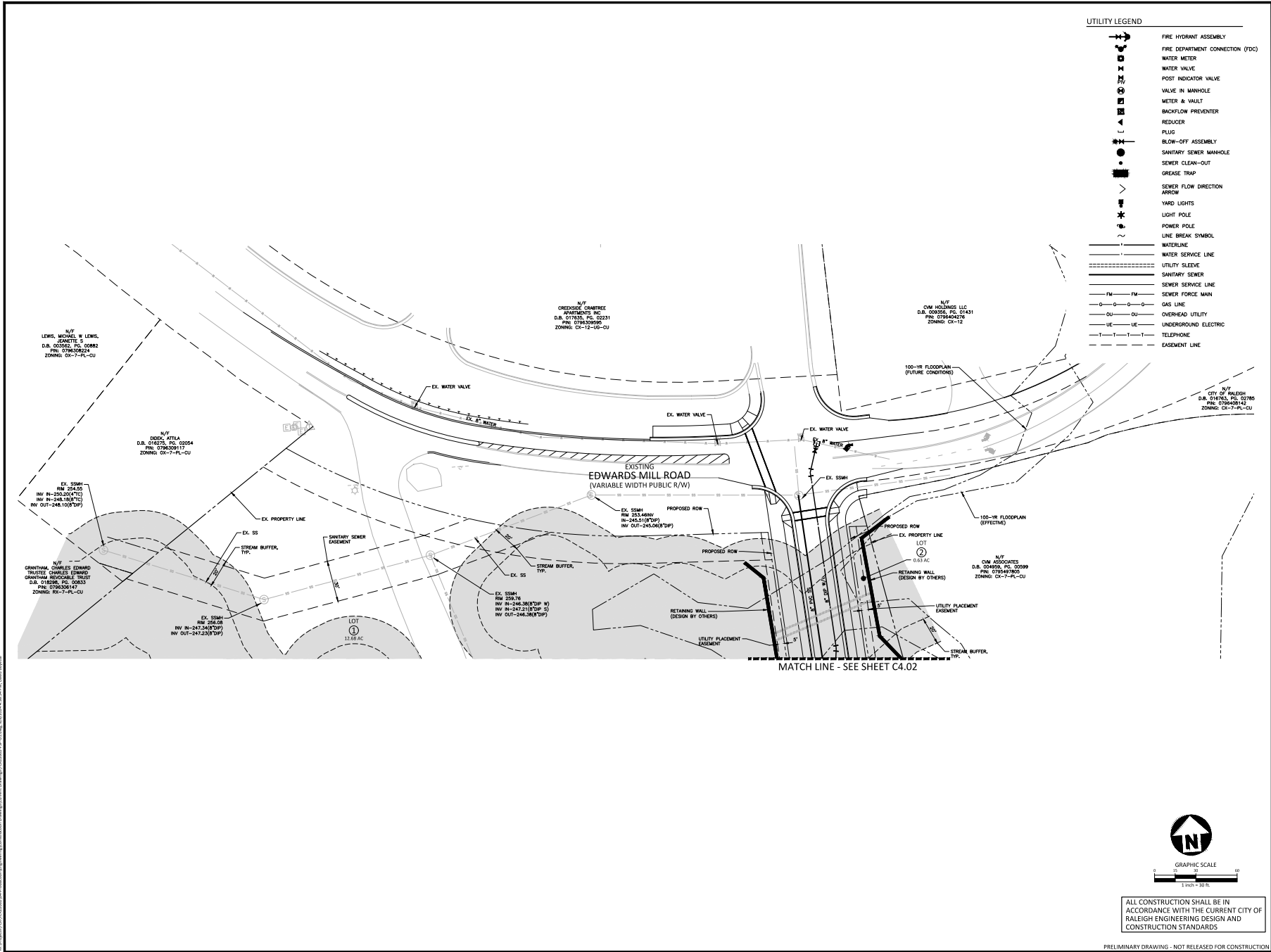
**OVERALL UTILITY PLAN**

**C4.00**



ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS.

PRELIMINARY DRAWINGS - NOT RELEASED FOR CONSTRUCTION



**McADAMS**  
The John R. McAdams Company, Inc.  
621 Hillsborough Street  
Suite 500  
Raleigh, NC 27603  
phone 919.361.5000  
fax 919.361.2269  
license number: C-0293, C-187  
www.mcadamsco.com

**CLIENT**  
TRAMMELL CROW RESIDENTIAL  
4509 CREEDMOOR ROAD, SUITE 308  
RALEIGH, NC 27612  
PHONE: 919.876.3103

**TCR**  
TRAMMELL CROW RESIDENTIAL

**THE ALEXAN**  
PRELIMINARY SUBDIVISION PLAN  
5060 EDWARDS MILL ROAD  
RALEIGH, NORTH CAROLINA 27612



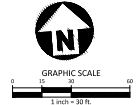
**REVISIONS**

NO.	DATE	DESCRIPTION
1	03.21.2002	CCR 380 P&P COMMENT RESPONSES
2	07.13.2002	CCR 476 P&P COMMENT RESPONSES
3	10.20.2002	CCR 574 P&P COMMENT RESPONSES
4	02.06.2004	CCR 676 P&P COMMENT RESPONSES
5	05.11.2004	CCR 774 P&P COMMENT RESPONSES
6	08.05.2004	CCR 874 P&P COMMENT RESPONSES

**PLAN INFORMATION**

PROJECT NO.: TCR-22002  
FILENAME: TCR22002-PPF-U11  
CHECKED BY: DB  
DRAWN BY: JJ  
SCALE: 1" = 30'  
DATE: 08.22.2002

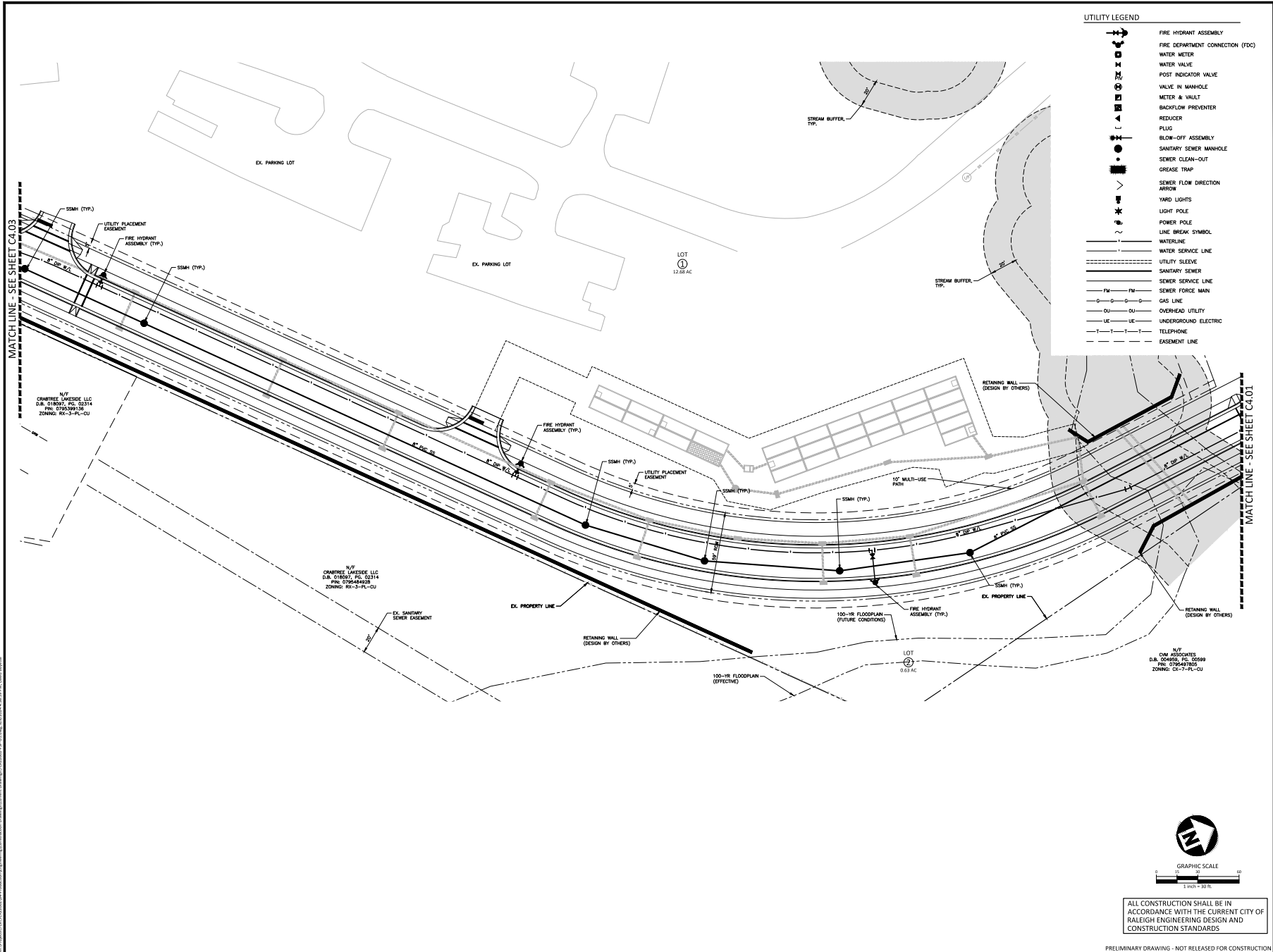
**SHEET**



ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS.

**UTILITY PLAN AREA 'A'**  
**C4.01**





**McADAMS**  
 The John R. McAdams Company, Inc.  
 621 Hillsborough Street  
 Suite 500  
 Raleigh, NC 27603  
 phone 919. 361. 5000  
 fax 919. 361. 2269  
 license number: C-0293, C-187  
 www.mcadamsco.com

**CLIENT**  
 TRAMMELL CROW RESIDENTIAL  
 4509 CREEDMOOR ROAD, SUITE 308  
 RALEIGH, NC 27612  
 PHONE: 919. 876. 3103

**TCR**  
 TRAMMELL CROW RESIDENTIAL

**THE ALEXAN**  
 PRELIMINARY SUBDIVISION PLAN  
 5060 EDWARDS MILL ROAD  
 RALEIGH, NORTH CAROLINA 27612

**REVISIONS**

NO.	DATE	DESCRIPTION
1	03.21.2023	CDR 3RD PDP COMMENT RESPONSES
2	07.13.2023	CDR 4TH PDP COMMENT RESPONSES
3	10.20.2023	CDR 5TH PDP COMMENT RESPONSES
4	02.08.2024	CDR 6TH PDP COMMENT RESPONSES
5	05.31.2024	CDR 7TH PDP COMMENT RESPONSES
6	08.08.2024	CDR 7TH PDP COMMENT RESPONSES

**PLAN INFORMATION**

PROJECT NO. TCR-22002  
 FILENAME TCR22002-PPF-U11  
 CHECKED BY DB  
 DRAWN BY JJ  
 SCALE 1" = 30'  
 DATE 08.22.2022

**SHEET**

**UTILITY PLAN AREA 'B'**  
**C4.02**

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION





**McADAMS**

The John R. McAdams Company, Inc.  
621 Hillsborough Street  
Suite 500  
Raleigh, NC 27603  
phone 919.361.5000  
fax 919.361.2269  
license number: C-0293, C-187  
www.mcadamsco.com

**CLIENT**

TRAMMELL CROW RESIDENTIAL  
4509 CREEDMOOR ROAD, SUITE 308  
RALEIGH, NC 27612  
PHONE: 919.876.3103

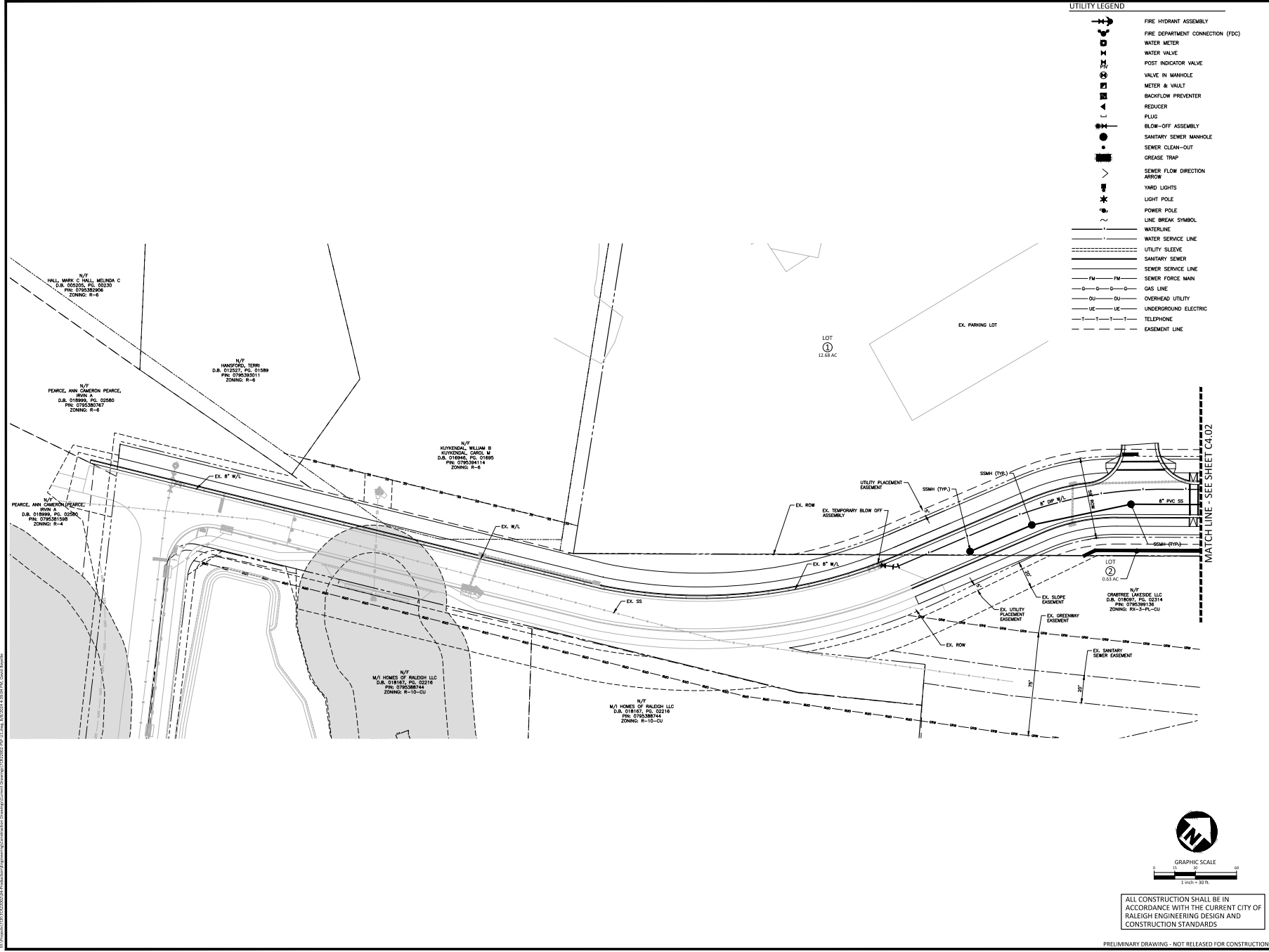
**TCR**

TRAMMELL CROW RESIDENTIAL

**THE ALEXAN**  
PRELIMINARY SUBDIVISION PLAN  
5060 EDWARDS MILL ROAD  
RALEIGH, NORTH CAROLINA 27612

**UTILITY LEGEND**

- FIRE HYDRANT ASSEMBLY
- FIRE DEPARTMENT CONNECTION (FDC)
- WATER METER
- WATER VALVE
- POST INDICATOR VALVE
- VALVE IN MANHOLE
- METER & VAULT
- BACKFLOW PREVENTER
- HEADER
- PLUG
- SLOW-OFF ASSEMBLY
- SANITARY SEWER MANHOLE
- SEWER CLEAN-OUT
- GREASE TRAP
- SEWER FLOW DIRECTION ARROW
- YARD LIGHTS
- LIGHT POLE
- POWER POLE
- LINE BREAK SYMBOL
- WATERLINE
- WATER SERVICE LINE
- UTILITY SLEEVE
- SANITARY SEWER
- SEWER SERVICE LINE
- SEWER FORCE MAIN
- GAS LINE
- OVERHEAD UTILITY
- UNDERGROUND ELECTRIC
- TELEPHONE
- EASEMENT LINE



**REVISIONS**

NO.	DATE	DESCRIPTION
1	08.22.2022	FOR 7TH PFP COMMENT RESPONSES
2	08.22.2022	FOR 7TH PFP COMMENT RESPONSES
3	08.22.2022	FOR 7TH PFP COMMENT RESPONSES
4	08.22.2022	FOR 7TH PFP COMMENT RESPONSES
5	08.22.2022	FOR 7TH PFP COMMENT RESPONSES
6	08.22.2022	FOR 7TH PFP COMMENT RESPONSES
7	08.22.2022	FOR 7TH PFP COMMENT RESPONSES
8	08.22.2022	FOR 7TH PFP COMMENT RESPONSES

**PLAN INFORMATION**

PROJECT NO. TCR-22002  
 FILENAME TCR22002-PSP-U11  
 CHECKED BY DB  
 DRAWN BY JJ  
 SCALE 1" = 30'  
 DATE 08.22.2022

**SHEET**

**UTILITY PLAN AREA 'C'**  
**C4.03**

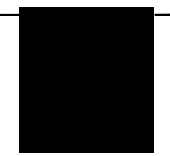
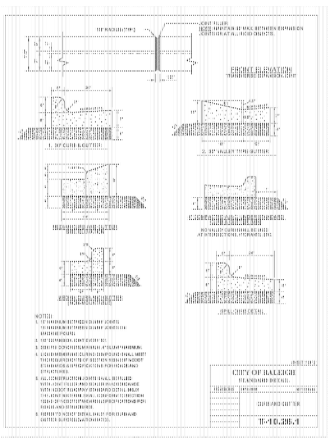
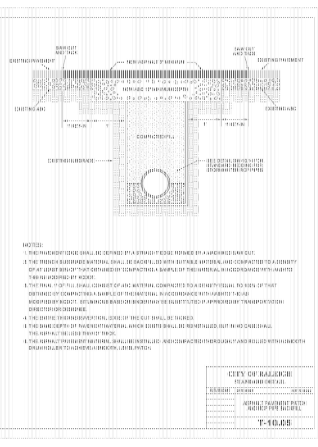
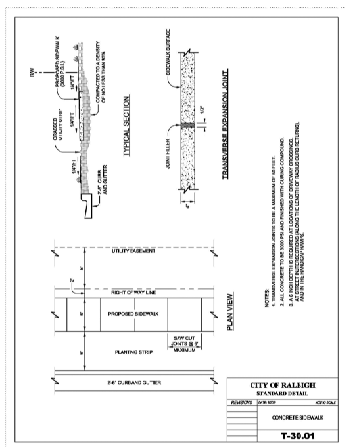


ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS.

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

C:\Users\jw\Documents\Projects\Trammell Crow Residential\5060 Edwards Mill Road\Drawings\Utility\TCR22002-PSP-U11.dwg, 08/22/2022 4:48:58 PM, JJJ

C:\Users\JL1\Documents\Projects\TCR22002\Drawings\Construction\General\Drawings\TCR22002\_PSP-D1.dwg, 8/22/2022 4:45:54 PM, Saved Asymptote



**REVISIONS**

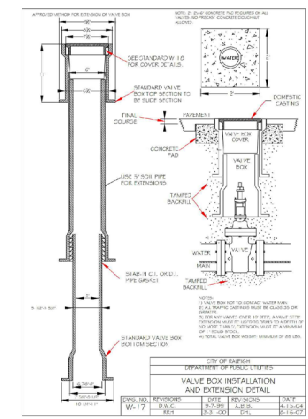
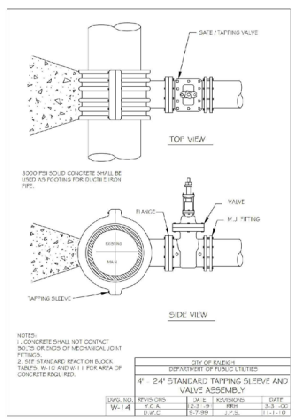
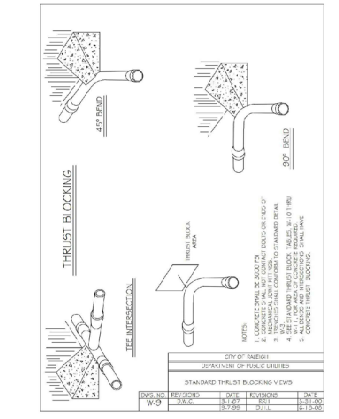
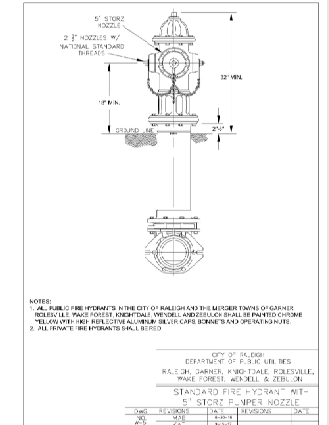
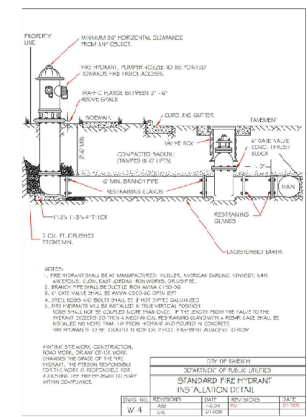
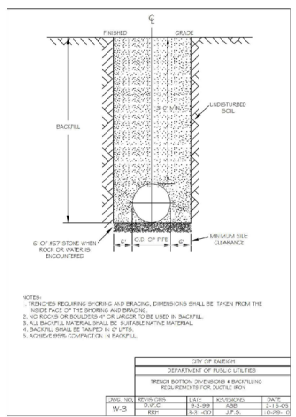
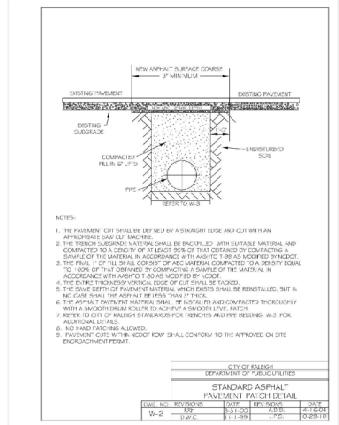
NO.	DATE	DESCRIPTION
1	03.21.2023	CSR 3RD PSP COMMENT RESPONSES
2	07.13.2023	CSR 4TH PSP COMMENT RESPONSES
3	10.20.2023	CSR 5TH PSP COMMENT RESPONSES
4	02.06.2024	CSR 6TH PSP COMMENT RESPONSES
5	05.31.2024	CSR 7TH PSP COMMENT RESPONSES
6	08.06.2024	CSR 8TH PSP COMMENT RESPONSES

**PLAN INFORMATION**

PROJECT NO.	TCR-22002
FILENAME	TCR22002-PSP-D1
CHECKED BY	DB
DRAWN BY	JJ
SCALE	NTS
DATE	08.22.2022

**SHEET**

SITE DETAILS  
**C8.00**



**CLIENT**  
TRAMMELL CROW RESIDENTIAL  
4509 CREAMOR ROAD, SUITE 308  
RALEIGH, NC 27612  
PHONE: 919.876.3103

**TCR**  
TRAMMELL CROW RESIDENTIAL

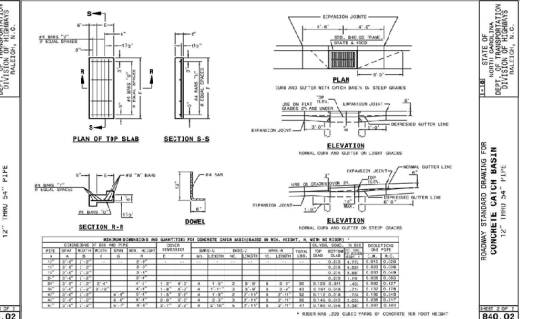
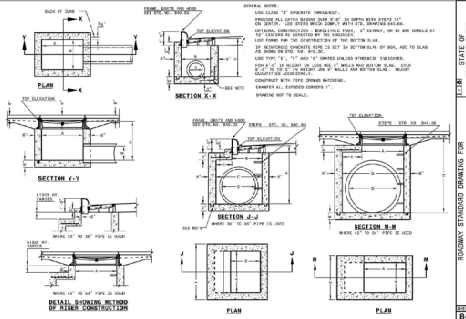
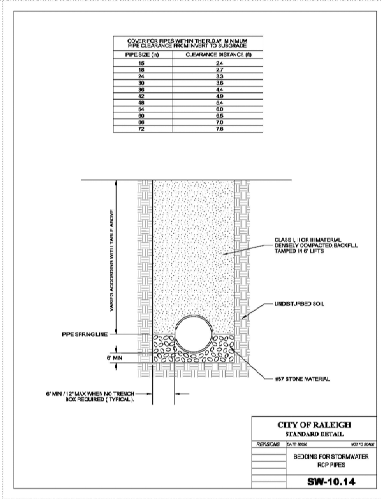
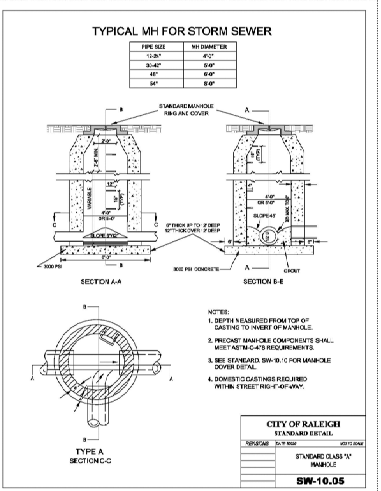
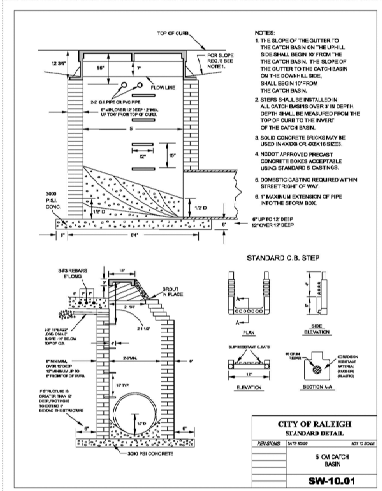
**THE ALEXAN**  
PRELIMINARY SUBDIVISION PLAN  
5060 EDWARDS MILL ROAD  
RALEIGH, NORTH CAROLINA 27612

**REVISIONS**

NO.	DATE	DESCRIPTION
1	08/22/2022	ISSUE FOR CONSTRUCTION
2	08/22/2022	ADD COMMENTS FROM PERMITS
3	08/22/2022	ADD COMMENTS FROM PERMITS
4	08/22/2022	ADD COMMENTS FROM PERMITS
5	08/22/2022	ADD COMMENTS FROM PERMITS
6	08/22/2022	ADD COMMENTS FROM PERMITS
7	08/22/2022	ADD COMMENTS FROM PERMITS
8	08/22/2022	ADD COMMENTS FROM PERMITS

**PLAN INFORMATION**  
PROJECT NO.: TCR-22002  
FILENAME: TCR22002-PSF-D1  
CHECKED BY: DB  
DRAWN BY: JJ  
SCALE: NTS  
DATE: 08.22.2022

**UTILITY DETAILS**  
**C8.01**



**McADAMS**

The John R. McAdams Company, Inc.  
621 Hillsborough Street  
Suite 500  
Raleigh, NC 27603  
phone 919.361.5000  
fax 919.361.2269  
license number: C-0293, C-187  
www.mcadamsco.com

**CLIENT**

TRAMMELL CROW RESIDENTIAL  
4509 CREEDEMOR ROAD, SUITE 308  
RALEIGH, NC 27612  
PHONE: 919.876.3103

**TCR**  
TRAMMELL CROW RESIDENTIAL

**THE ALEXAN**  
PRELIMINARY SUBDIVISION PLAN  
5060 EDWARDS MILL ROAD  
RALEIGH, NORTH CAROLINA 27612

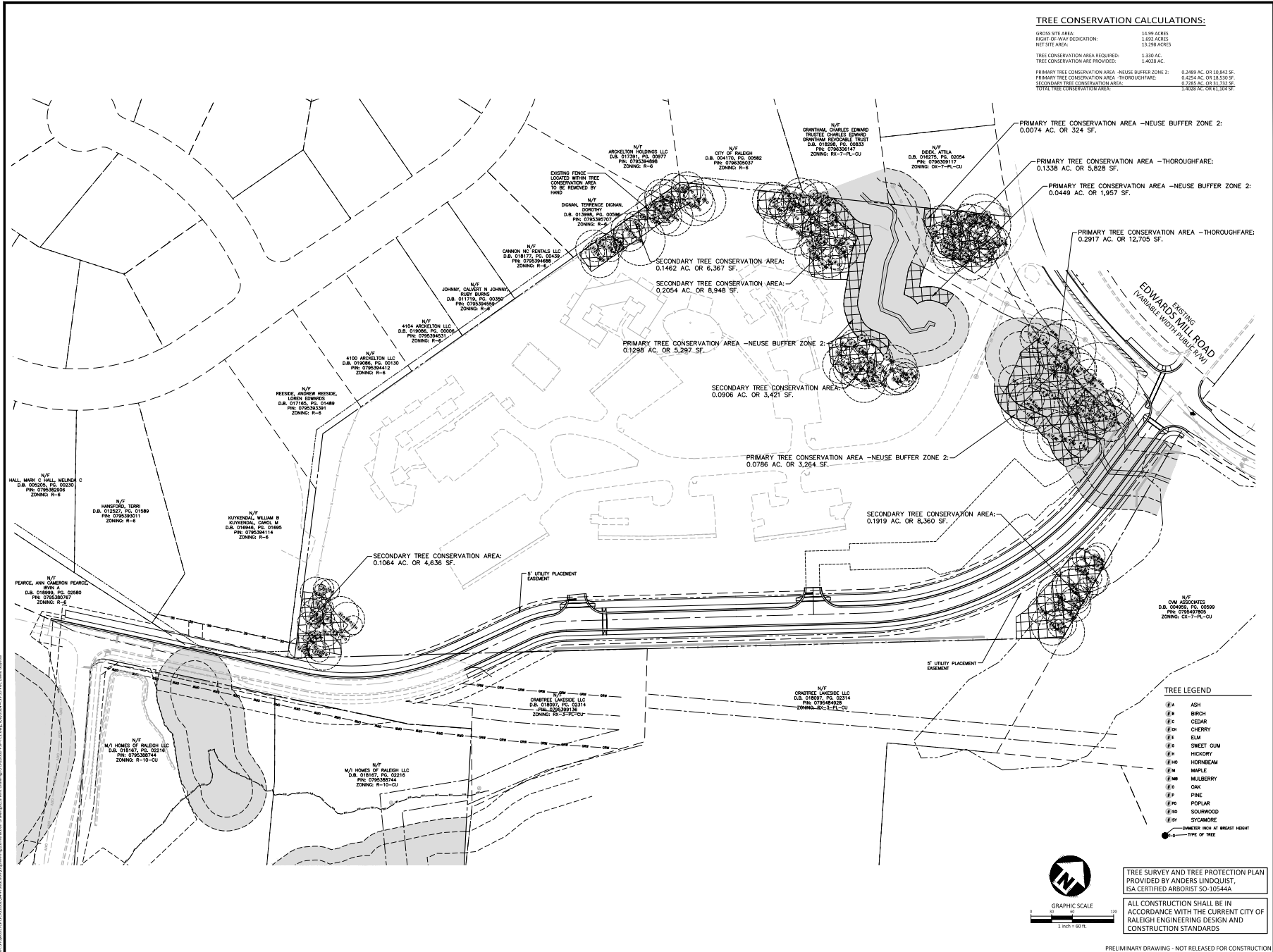
**REVISIONS**

NO.	DATE	DESCRIPTION
1	08.22.2022	FOR 7TH PIP COMMENT RESPONSES
2	08.22.2022	FOR 8TH PIP COMMENT RESPONSES
3	08.22.2022	FOR 9TH PIP COMMENT RESPONSES
4	08.22.2022	FOR 10TH PIP COMMENT RESPONSES
5	08.22.2022	FOR 11TH PIP COMMENT RESPONSES
6	08.22.2022	FOR 12TH PIP COMMENT RESPONSES
7	08.22.2022	FOR 13TH PIP COMMENT RESPONSES
8	08.22.2022	FOR 14TH PIP COMMENT RESPONSES

**PLAN INFORMATION**

PROJECT NO: TCR-22002  
FILENAME: TCR22002-PPS-D1  
CHECKED BY: DB  
DRAWN BY: JJ  
SCALE: NTS  
DATE: 08.22.2022

**STORM DRAINAGE**  
**DETAILS**  
**C8.02**



**McADAMS**

The John R. McAdams Company, Inc.  
621 Hillsborough Street  
Suite 500  
Raleigh, NC 27603  
phone 919.361.5000  
fax 919.361.2269  
license number: C-0293, C-187  
www.mcadamsco.com

**CLIENT**

TRAMMELL CROW RESIDENTIAL  
4509 CREEDMOOR ROAD, SUITE 308  
RALEIGH, NC 27612  
PHONE: 919.876.3103

**TCR**  
TRAMMELL CROW RESIDENTIAL

**THE ALEXAN**  
PRELIMINARY SUBDIVISION PLAN  
5060 EDWARDS MILL ROAD  
RALEIGH, NORTH CAROLINA 27612



**REVISIONS**

NO.	DATE	DESCRIPTION
1	03.21.2023	CDR 3RD PDP COMMENT RESPONSES
2	07.13.2023	CDR 6TH PDP COMMENT RESPONSES
3	10.20.2023	CDR 8TH PDP COMMENT RESPONSES
4	02.08.2024	CDR 9TH PDP COMMENT RESPONSES
5	05.31.2024	CDR 17TH PDP COMMENT RESPONSES
6	08.08.2024	CDR 18TH PDP COMMENT RESPONSES

**PLAN INFORMATION**

PROJECT NO.: TCR-22002  
FILENAME: TCR22002-TC1  
CHECKED BY: DB  
DRAWN BY: JJ  
SCALE: 1" = 60'  
DATE: 08.22.2022

**SHEET**

**TREE CONSERVATION PLAN**

**L2.00**





McADAMS

The John R. McAdams Company, Inc.
621 Hillsborough Street
Suite 500
Raleigh, NC 27603
phone 919.361.5000
fax 919.361.2269
license number: C-0293, C-187
www.mcadamsco.com

CLIENT

TRAMMELL CROW RESIDENTIAL
4509 CREAMHORR ROAD, SUITE 308
RALEIGH, NC 27612
PHONE: 919.876.3103



THE ALEXAN
PRELIMINARY SUBDIVISION PLAN
5060 EDWARDS MILL ROAD
RALEIGH, NORTH CAROLINA 27612

Tree Conservation Plan Data Sheet
UDO Article 8.1 Tree Conservation
(Include applicable information on the plan sheet)

Table with 2 columns: Category and Value. Gross Area: 14.99 ac, Right-of-Way: 1.06 ac, Net New Area: 13.93 ac.

Table with 2 columns: Number and Percent. Values: 18, 1.71; 12, 0.70; 18, 1.71; 15.5, 1.37; 158.2, 13.53.

Table listing UDO 8.1.A.1 Primary Tree Conservation Area - BIOD 1 through 8, with values for Number and Percent.

UDO 8.1.A.2 Tree Conservation Area - Greenway

Table with 2 columns: Number and Percent. Value: 0.6309, 4.74.

UDO 8.1.A.1.A. & 4. Individual Tree Secondary Tree Conservation Area

Table with 2 columns: Number and Percent. Value: 0.4286, 3.20.

TOTAL ALL TREE CONSERVATION AREA PROVIDED:

Table with 2 columns: Number and Percent. Value: 1.333, 10.01.

UDO 8.1.A.2 Wetland Protection Overlay Districts

Table listing various Wetland Protection Overlay Districts (WPOD) and their values.

Main tree inventory table with columns for Plot 1 through Plot 17, Species, DBH, Area, and Basal Area.

Summary table for Plots 11 through 17, including Basal Area and Basal Area/acre calculations.



TREE SURVEY AND TREE PROTECTION PLAN PROVIDED BY ANDERS LINDQUIST, ISA CERTIFIED ARBORIST SO-10544A

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS.

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

REVISIONS

Table with 2 columns: No. and Date. Lists revision dates and descriptions.

PLAN INFORMATION

PROJECT NO.: TCR-22002
FILENAME: TCR22002-TC1
CHECKED BY: DB
DRAWN BY: JJ
SCALE: 1" = 60'
DATE: 08.22.2022

SHEET

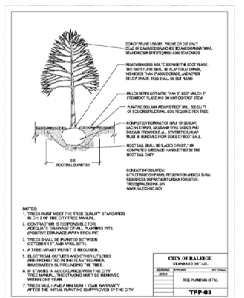
TREE CONSERVATION CALCULATIONS
L2.01

**LANDSCAPE NOTES**

1. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
2. CONTRACTOR TO BE RESPONSIBLE FOR THE SITE SURVEY TO DETERMINE EXISTING LANDSCAPE CONSTRUCTION AND INSTALLATION OF DESIGN TO BE COMPATIBLE WITH THE EXISTING CONDITIONS.
3. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES BEFORE BEGINNING CONSTRUCTION AND INSTALLATION.
4. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE NOTES, SPECIFICATIONS, DRAWINGS OR SITE CONDITIONS FOR RESOLUTION PRIOR TO INSTALLATION.
5. ANY DAMAGE TO UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
6. THE PLAN IS FOR INFORMATION PURPOSES ONLY. FOR INFORMATION REGARDING BUILDINGS, GRADING, WALLS, ETC., REFER TO ARCHITECTURE, SITE AND GRADING PLANS.
7. VERIFICATION OF TOTAL PLANT QUANTITIES AS SHOWN IN THE PLANT SCHEDULE SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR. ALL PLANT QUANTITIES SHALL BE SUBJECT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
8. CONTRACTOR TO ENSURE PROPER STABILIZATION AND SEEDING OF THE SITE IN ACCORDANCE WITH APPLICABLE REGULATIONS.
9. LANDSCAPE MATERIAL SHALL BE WELLS DRIMED, VIGOROUS, GROWING SPECIMENS WITH DENSITY TYPICAL OF VARIETIES SPECIFIED AND SHALL BE FREE FROM DAMAGE, INSECTS AND DISEASE. MATERIAL SHALL EQUAL OR SURPASS A QUALITY AS DEFINED BY THE CURRENT ISSUE OF "AMERICAN STANDARD FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
10. ALL PLANT MATERIAL IS TO BE CAREFULLY HANDLED BY THE ROOT BALL NOT THE TRUNK, BRANCHES AND/OR FOLIAGE OF THE PLANT. UNHANDLED PLANT MATERIAL MAY BE REJECTED BY THE LANDSCAPE ARCHITECT.
11. ALL PLANT MATERIAL IS TO BE WELL ROOTED, NOT ROOT BOUND, SUCH THAT THE ROOT BALL REMAINS INTACT THROUGHOUT THE PLANTING PROCESS. DEFICIENT PLANT MATERIAL MAY BE REJECTED BY THE LANDSCAPE ARCHITECT OR OWNER.
12. ALL PLANTS TO BE A MINIMUM OF WHAT IS SPECIFIED IN THE PLANT SCHEDULE. ANY CHANGES OR SUBSTITUTIONS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT AND GOVERNING JURISDICTION PRIOR TO ANY HOUSING SALE.
13. CONTRACTOR TO COORDINATE WITH OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT TO ESTABLISH THE EXTENTS OF MAINTENANCE AREAS TO BE MAINTAINED BY THE CONTRACTOR.
14. CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE IN ALL PLANTING AREAS.
15. PROPOSED TREES TO BE PLANTED A MINIMUM 10 FEET FROM ANY LIGHT POLE AS MEASURED FROM TRUNK OF THE TREE TO THE POLE.
16. PROPOSED TREES TO BE PLANTED A MINIMUM 5 FEET FROM ANY FIRE HYDRANT AS MEASURED FROM TRUNK OF THE TREE TO THE HYDRANT.
17. CONTRACTOR SHALL COMPLETE SOIL TEST IN ALL PLANTING AREAS TO DETERMINE SOIL AMENDMENT REQUIREMENTS PRIOR TO ANY PLANTING. CONTRACTOR SHALL SUBMIT PHASED RESULTS BASED UPON THE SOIL TEST RESULTS.
18. TOPSOIL SHALL BE FREE OF MATERIAL LARGER THAN 1.0 INCH IN DIAMETER OR LENGTH AND SHALL NOT CONTAIN SALT, CRACKS, STONES, LUMPY OR STICKY SOILS, TRAILS, OR OTHER CONTAMINATING MATERIAL.
19. LOOSEN LANDSCAPE SURFACE SOIL TO A MINIMUM DEPTH OF 4 INCHES. APPLY SOIL AMENDMENTS AND FERTILIZERS AS REQUIRED BY THE SOIL TEST RESULTS TO PROVIDE A HEALTHY GROWING MEDIA AND MIX THOROUGHLY INTO TOP 4 INCHES OF SOIL. SPREAD PLANTING SOIL MIX TO A DEPTH OF 6 INCHES BUT NOT LESS THAN REQUIRED TO MEET OWNER'S GRADING AND DRAINAGE SETBACKS. DO NOT SPREAD PLANTING SOIL OR SURFACING IF FROZEN, MUDDY, OR EXCESSIVELY WET.
20. IF IMPROVED TOPSOIL IS REQUIRED, THE SURFACE SHALL BE SCARIFIED OR FILLED TO A DEPTH OF AT LEAST 6 INCHES PRIOR TO INSTALLATION OF PROPOSED TOPSOIL. FOLLOWING INSTALLATION OF IMPROVED TOPSOIL, THE TOPSOIL SHALL BE FILLED TO THE FINISH ELEVATION. THE SOIL PHOSPHORUS SHALL BE 10 PPM.
21. PLANT MATERIAL ARE TO BE GUARANTEED FOR A PERIOD OF 12 MONTHS. PLANT MATERIALS WHICH REMAIN UNPLANTED WILL BE REPAIRED BY THE LANDSCAPE CONTRACTOR BEFORE THE EXPIRATION OF THE GUARANTEED PERIOD. MAINTENANCE TO BE DESCRIBED BY THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT.
22. ALL TREE PLANTINGS SHALL BE MULCHED TO A DEPTH OF 3 INCHES, AND WITH A MINIMUM 3 FOOT RADIUS FROM BANK OF TREE OR TO CURBAGE. MULCH SHALL BE FREE OF FRAGS AND MAINTAINED WET. MULCH SHALL NOT COVER THE ROOT FLARE. COVER MULCH INTERFERENCES WITH OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT.
23. DO NOT PRUNE TREES AND SHRUBS BEFORE DELIVERY. PROTECT BARK, BRANCHES, AND ROOT SYSTEMS FROM SUN, SCALD, DRIVING, SWAYING, WHIPPING AND OTHER HANDLING AND TRIM DAMAGE. DO NOT BEND OR BEND-TREE OR SHRUB IN SUCH A MANNER AS TO DISTORT THEIR NATURAL SHAPE. PROVIDE PROTECTIVE COVERING OF EXTERIOR PLANTS DURING DELIVERY. DO NOT DROP EXTERIOR PLANTS DURING DELIVERY AND HANDLING.
24. COVER EXTERIOR PLANTS AFTER PREPARATION FOR PLANTING HAS BEEN COMPLETED AND INITIAL IMMEDIATELY IMMEDIATELY AFTER UNLOADING, STAND THE TREES UP TO REDUCE THE RISK OF SUN SCALD. PROTECT STALLED TREES FROM WIND DAMAGE. COVER STALLED TREES IMMEDIATELY TO PROTECT THEM FROM PLANTS AND TREES IN SHADE. PROTECT FROM WEATHER AND MECHANICAL DAMAGE, AND KEEP ROOTS MOIST.
25. SEE LANDSCAPE DETAILS FOR TREE STAKING REQUIREMENTS.
26. CONTRACTOR SHALL REMOVE DEBRIS AND FINE GRADE ALL PLANTING AREAS PRIOR TO INSTALLATION.
27. REMOVE BUY WIRES AND STAKES AT END OF WARRANTY PERIOD OR ESTABLISHMENT.
28. TREES GROUND GRAB PLANTING AREAS TO BE GROUND, UNIFORM SURFACE PLANT WITH COARSE, UNIFORM A-FINE TEXTURE. GRADE TO WITHIN PLUS OR MINUS 0.2 INCHES OF FINISH ELEVATION. ROLL AND BARE. REMOVE RIDGES, AND FILL DEPRESSIONS TO MEET FINISH GRADES. LEAVE EXPOSED GRADING TO AREA THAT CAN BE PLANTED IN THE IMMEDIATE FUTURE.

**NOTES:**

1. STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY TREE MAINTENANCE ORDINANCE.
2. STREET TREES SHALL BE LOCATED NO CLOSER THAN 30 FEET FROM STOP SIGNS, 10 FEET FROM STREET LIGHTS, AND 10 FEET FROM THE CENTER OF THE ROAD.
3. CONTRACTOR SHALL REPAIR ANY EXISTING STREET TREE WHICH IS DAMAGED OR DISTURBED DURING CONSTRUCTION WITH AN EQUAL SPECIES AND SIZE TREE.
4. ALL EXISTING STREET TREES AND THEIR NATURAL ROOT ZONES SHALL BE PROTECTED BY THE LANDSCAPE ARCHITECT AND GOVERNING AGENCY.
5. ALL EXISTING STREET TREES AND THEIR NATURAL ROOT ZONES SHALL BE PROTECTED BY THE LANDSCAPE ARCHITECT AND GOVERNING AGENCY.
6. A TREE IMPACT FORM IS REQUIRED PRIOR TO SUBSTITUTION OR ISSUANCE OF ISSUANCE PERMITS, WHENEVER OCCURS. TREE TREES INSTALLED WITHIN THE PUBLIC RIGHT-OF-WAY.



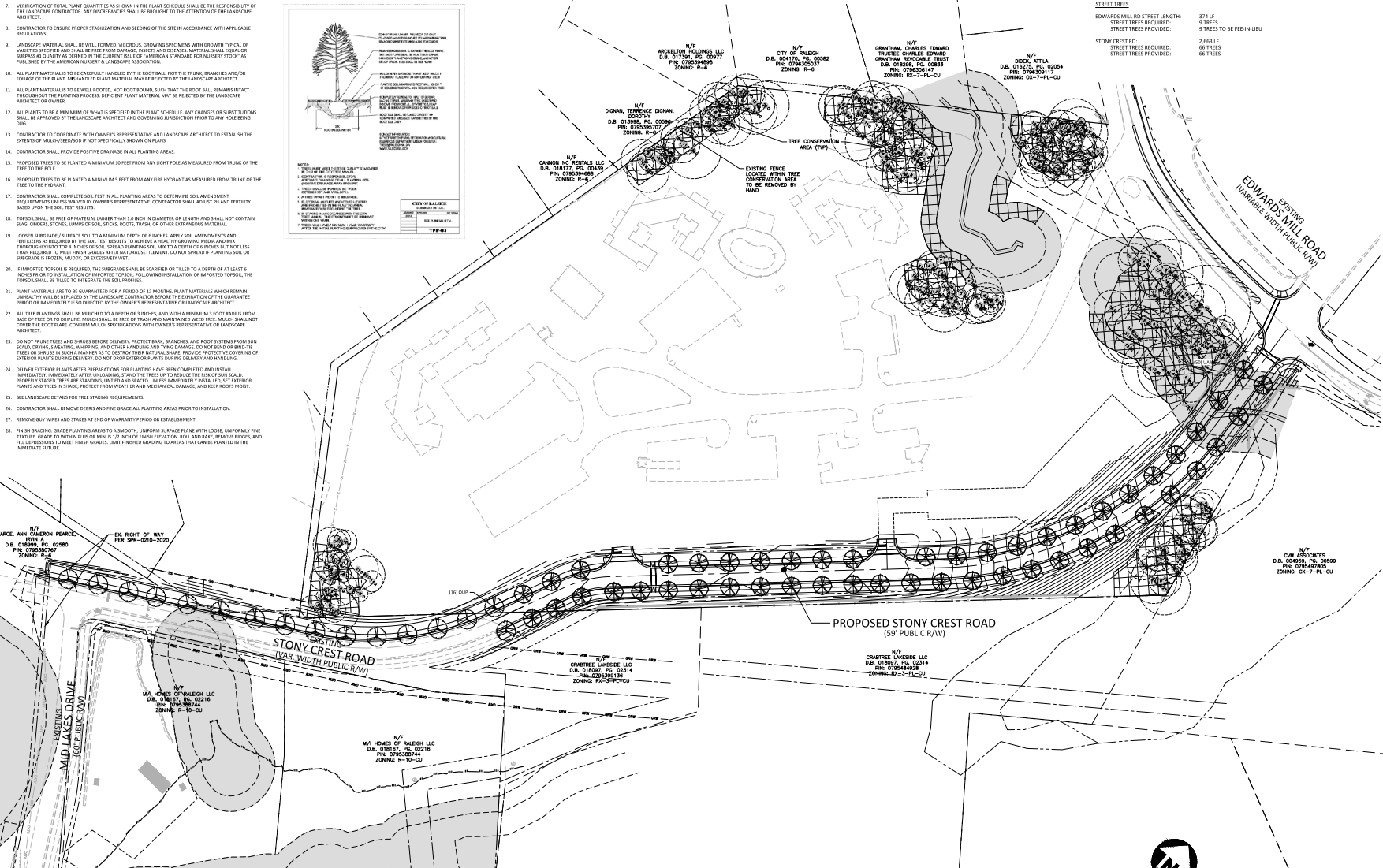
1. TREE CONSERVATION AREA (TCA) - EXISTING TREE LOCATED WITHIN TREE CONSERVATION AREA TO BE REMOVED BY WWO
2. TREE CONSERVATION AREA (TCA) - EXISTING TREE LOCATED WITHIN TREE CONSERVATION AREA TO BE REMOVED BY WWO
3. TREE CONSERVATION AREA (TCA) - EXISTING TREE LOCATED WITHIN TREE CONSERVATION AREA TO BE REMOVED BY WWO
4. TREE CONSERVATION AREA (TCA) - EXISTING TREE LOCATED WITHIN TREE CONSERVATION AREA TO BE REMOVED BY WWO
5. TREE CONSERVATION AREA (TCA) - EXISTING TREE LOCATED WITHIN TREE CONSERVATION AREA TO BE REMOVED BY WWO
6. TREE CONSERVATION AREA (TCA) - EXISTING TREE LOCATED WITHIN TREE CONSERVATION AREA TO BE REMOVED BY WWO
7. TREE CONSERVATION AREA (TCA) - EXISTING TREE LOCATED WITHIN TREE CONSERVATION AREA TO BE REMOVED BY WWO
8. TREE CONSERVATION AREA (TCA) - EXISTING TREE LOCATED WITHIN TREE CONSERVATION AREA TO BE REMOVED BY WWO
9. TREE CONSERVATION AREA (TCA) - EXISTING TREE LOCATED WITHIN TREE CONSERVATION AREA TO BE REMOVED BY WWO
10. TREE CONSERVATION AREA (TCA) - EXISTING TREE LOCATED WITHIN TREE CONSERVATION AREA TO BE REMOVED BY WWO
11. TREE CONSERVATION AREA (TCA) - EXISTING TREE LOCATED WITHIN TREE CONSERVATION AREA TO BE REMOVED BY WWO
12. TREE CONSERVATION AREA (TCA) - EXISTING TREE LOCATED WITHIN TREE CONSERVATION AREA TO BE REMOVED BY WWO
13. TREE CONSERVATION AREA (TCA) - EXISTING TREE LOCATED WITHIN TREE CONSERVATION AREA TO BE REMOVED BY WWO
14. TREE CONSERVATION AREA (TCA) - EXISTING TREE LOCATED WITHIN TREE CONSERVATION AREA TO BE REMOVED BY WWO
15. TREE CONSERVATION AREA (TCA) - EXISTING TREE LOCATED WITHIN TREE CONSERVATION AREA TO BE REMOVED BY WWO
16. TREE CONSERVATION AREA (TCA) - EXISTING TREE LOCATED WITHIN TREE CONSERVATION AREA TO BE REMOVED BY WWO
17. TREE CONSERVATION AREA (TCA) - EXISTING TREE LOCATED WITHIN TREE CONSERVATION AREA TO BE REMOVED BY WWO
18. TREE CONSERVATION AREA (TCA) - EXISTING TREE LOCATED WITHIN TREE CONSERVATION AREA TO BE REMOVED BY WWO
19. TREE CONSERVATION AREA (TCA) - EXISTING TREE LOCATED WITHIN TREE CONSERVATION AREA TO BE REMOVED BY WWO
20. TREE CONSERVATION AREA (TCA) - EXISTING TREE LOCATED WITHIN TREE CONSERVATION AREA TO BE REMOVED BY WWO
21. TREE CONSERVATION AREA (TCA) - EXISTING TREE LOCATED WITHIN TREE CONSERVATION AREA TO BE REMOVED BY WWO
22. TREE CONSERVATION AREA (TCA) - EXISTING TREE LOCATED WITHIN TREE CONSERVATION AREA TO BE REMOVED BY WWO
23. TREE CONSERVATION AREA (TCA) - EXISTING TREE LOCATED WITHIN TREE CONSERVATION AREA TO BE REMOVED BY WWO
24. TREE CONSERVATION AREA (TCA) - EXISTING TREE LOCATED WITHIN TREE CONSERVATION AREA TO BE REMOVED BY WWO
25. TREE CONSERVATION AREA (TCA) - EXISTING TREE LOCATED WITHIN TREE CONSERVATION AREA TO BE REMOVED BY WWO
26. TREE CONSERVATION AREA (TCA) - EXISTING TREE LOCATED WITHIN TREE CONSERVATION AREA TO BE REMOVED BY WWO
27. TREE CONSERVATION AREA (TCA) - EXISTING TREE LOCATED WITHIN TREE CONSERVATION AREA TO BE REMOVED BY WWO
28. TREE CONSERVATION AREA (TCA) - EXISTING TREE LOCATED WITHIN TREE CONSERVATION AREA TO BE REMOVED BY WWO
29. TREE CONSERVATION AREA (TCA) - EXISTING TREE LOCATED WITHIN TREE CONSERVATION AREA TO BE REMOVED BY WWO
30. TREE CONSERVATION AREA (TCA) - EXISTING TREE LOCATED WITHIN TREE CONSERVATION AREA TO BE REMOVED BY WWO
31. TREE CONSERVATION AREA (TCA) - EXISTING TREE LOCATED WITHIN TREE CONSERVATION AREA TO BE REMOVED BY WWO
32. TREE CONSERVATION AREA (TCA) - EXISTING TREE LOCATED WITHIN TREE CONSERVATION AREA TO BE REMOVED BY WWO
33. TREE CONSERVATION AREA (TCA) - EXISTING TREE LOCATED WITHIN TREE CONSERVATION AREA TO BE REMOVED BY WWO
34. TREE CONSERVATION AREA (TCA) - EXISTING TREE LOCATED WITHIN TREE CONSERVATION AREA TO BE REMOVED BY WWO
35. TREE CONSERVATION AREA (TCA) - EXISTING TREE LOCATED WITHIN TREE CONSERVATION AREA TO BE REMOVED BY WWO
36. TREE CONSERVATION AREA (TCA) - EXISTING TREE LOCATED WITHIN TREE CONSERVATION AREA TO BE REMOVED BY WWO
37. TREE CONSERVATION AREA (TCA) - EXISTING TREE LOCATED WITHIN TREE CONSERVATION AREA TO BE REMOVED BY WWO
38. TREE CONSERVATION AREA (TCA) - EXISTING TREE LOCATED WITHIN TREE CONSERVATION AREA TO BE REMOVED BY WWO
39. TREE CONSERVATION AREA (TCA) - EXISTING TREE LOCATED WITHIN TREE CONSERVATION AREA TO BE REMOVED BY WWO
40. TREE CONSERVATION AREA (TCA) - EXISTING TREE LOCATED WITHIN TREE CONSERVATION AREA TO BE REMOVED BY WWO
41. TREE CONSERVATION AREA (TCA) - EXISTING TREE LOCATED WITHIN TREE CONSERVATION AREA TO BE REMOVED BY WWO
42. TREE CONSERVATION AREA (TCA) - EXISTING TREE LOCATED WITHIN TREE CONSERVATION AREA TO BE REMOVED BY WWO
43. TREE CONSERVATION AREA (TCA) - EXISTING TREE LOCATED WITHIN TREE CONSERVATION AREA TO BE REMOVED BY WWO
44. TREE CONSERVATION AREA (TCA) - EXISTING TREE LOCATED WITHIN TREE CONSERVATION AREA TO BE REMOVED BY WWO
45. TREE CONSERVATION AREA (TCA) - EXISTING TREE LOCATED WITHIN TREE CONSERVATION AREA TO BE REMOVED BY WWO
46. TREE CONSERVATION AREA (TCA) - EXISTING TREE LOCATED WITHIN TREE CONSERVATION AREA TO BE REMOVED BY WWO
47. TREE CONSERVATION AREA (TCA) - EXISTING TREE LOCATED WITHIN TREE CONSERVATION AREA TO BE REMOVED BY WWO
48. TREE CONSERVATION AREA (TCA) - EXISTING TREE LOCATED WITHIN TREE CONSERVATION AREA TO BE REMOVED BY WWO
49. TREE CONSERVATION AREA (TCA) - EXISTING TREE LOCATED WITHIN TREE CONSERVATION AREA TO BE REMOVED BY WWO
50. TREE CONSERVATION AREA (TCA) - EXISTING TREE LOCATED WITHIN TREE CONSERVATION AREA TO BE REMOVED BY WWO

**PLANT SCHEDULE**

TREES	CODE	QTY	COMMON NAME	BOTANICAL NAME	CAL	HEIGHT
	OUJ	15	HighTower® Willow Oak	Quercus phellos 'QFSTA'	3" min	10' min
	UAJ	50	Jefferson American Elm	Ulmus americana 'Jefferson'	3" min	10' min

**LANDSCAPE CALCULATIONS:**

STREET TREES	STREET TREES REQUIRED	STREET TREES PROVIDED
EDWARDS MILL RD STREET LENGTH: 374.0 FT	9 TREES	9 TREES TO BE EBFEE IN L/U
STONY CREST RD STREET LENGTH: 2,660.0 FT	66 TREES	66 TREES



ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS.

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

The John R. McAdams Company, Inc.  
621 Hillsborough Street  
Suite 500  
Raleigh, NC 27603  
phone 919.361.5000  
fax 919.361.2269  
license number: C-0293, C-187  
www.mcadamsco.com

**CLIENT**  
TRAMMELL CROW RESIDENTIAL  
4509 CREEDMOR ROAD, SUITE 308  
RALEIGH, NC 27612  
PHONE: 919.876.3103

**TCR**  
TRAMMELL CROW RESIDENTIAL

**THE ALEXAN**  
PRELIMINARY SUBDIVISION PLAN  
5060 EDWARDS MILL ROAD  
RALEIGH, NORTH CAROLINA 27612



**REVISIONS**

NO.	DATE	DESCRIPTION
1	03.21.2023	CDR 300 P&P COMMENT RESPONSES
2	07.13.2023	CDR 470 P&P COMMENT RESPONSES
3	10.20.2023	CDR 570 P&P COMMENT RESPONSES
4	02.08.2024	CDR 670 P&P COMMENT RESPONSES
5	05.23.2024	CDR 770 P&P COMMENT RESPONSES
6	08.08.2024	CDR 870 P&P COMMENT RESPONSES

**PLAN INFORMATION**

PROJECT NO.	TCR-22002
FILENAME	TCR22002-LS1
CHECKED BY	DB
DRAWN BY	JJ
SCALE	1" = 60'
DATE	08.22.2022

**LANDSCAPE PLAN**  
**L5.00**