Administrative Approval Action

Case File / Name: SUB-0059-2024
DSLC - The Ellwood at North Hills

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This 0.54 acre site zoned Residential-4 and within the Frequent Transit Area as designated by the Comprehensive Plan is located on the southwest corner of Terry Street and Ellwood Drive at 201 Ellwood Drive.

REQUEST: This is a proposed two lot subdivision utilizing the Frequent Transit Development option. The existing house on the site is to be demolished.

DESIGN ADJUSTMENT(S)/ ALTERNATES, ETC: FIL-0020-2025: DSENG - Fee-In-Lieu Estimator/Fee-In-Lieu Estimator

FINDINGS: **City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated December 17, 2024 by JOHN A. EDWARDS & COMPANY.**

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☑ **LEGAL DOCUMENTS** - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

☑	Right of Way Deed of Easement Required
☑	Slope Easement Deed of Easement Required

☑	Utility Placement Deed of Easement Required

☑ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

General

1. A demolition permit shall be issued and this building permit number shown on all maps for recording.

2. Place the following note on the map before recording: "Frequent Transit Development Option Noti This property is developed utilizing the Frequent Transit Development Option as permitted under Unified Development Ordinance (UDO) Sec. 2.7.1."

Engineering

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3. A fee-in-lieu for 6' sidewalk along Ellwood Drive and Terry Street is paid to the City of Raleigh (UDO 8.1.10).

4. A slope easement deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

5. A public street right-of-way deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

6. A 5' utility placement easement deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

Stormwater

7. The maximum allocated impervious area for all applicable lots in the subdivision should be identified on all maps for recording.

Urban Forestry

8. A public infrastructure surety for (10) street trees shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 125% of the improvement cost for the City of Raleigh infrastructure.

☑ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

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The following items must be approved prior to the issuance of building permits:

Stormwater

1. Impervious restrictions for each lot must be recorded on a plat prior to building permit issuance.

Urban Forestry

2. A tree impact permit must be obtained for the approved streetscape tree installation in the right-of-way. This development proposes (3) street trees along Ellwood Dr. and (7) trees along Terry St. for a total of (10) street trees.

The following are required prior to issuance of building occupancy permit:

General

1. Final inspection of all right-of-way street trees by Urban Forestry Staff.

Stormwater

2. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).

EXPIRATION DATES: If significant construction has not taken place on a project after preliminary subdivision approval, that approval may "sunset" and be declared void, requiring re-approval before permits may be issued. To avoid allowing this preliminary approval to "sunset", the following must take place by the following dates:

3-Year Sunset Date: February 5, 2028
Record at least ½ of the land area approved.

5-Year Sunset Date: February 5, 2030
Record entire subdivision.

I hereby certify this administrative decision.

Signed: Keegan McDonald Date: 02/05/2025
Development Services Dir/Designee
Staff Coordinator: Michael Walters

THE ELLWOOD AT NORTH HILLS

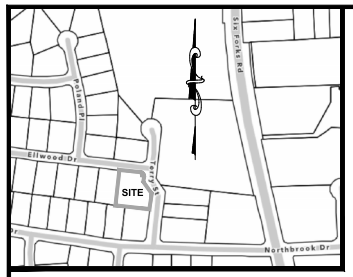
2 LOT SUBDIVISION OF GRANDFATHERED LOT IN FREQUENT TRANSIT DEVELOPMENT OPTION

SUB-0059-2024

RALEIGH, NORTH CAROLINA

OCTOBER 2024

REVISED DECEMBER 2024



VICINITY MAP
(NOT TO SCALE)

Preliminary Subdivision Application
Site Review
Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500

Raleigh

INSTRUCTIONS: This form is used when submitting a Preliminary Subdivision (UDO Section 10.2.5). Please check the appropriate review type and include the plan checklist document. Please email all documents and your preliminary subdivision plans to SiteReview@raleighnc.gov.

DEVELOPMENT OPTIONS (UDO Chapter 2)		
☐ Conventional Subdivision	☐ Compact Development	☐ Conservation Development
☐ Cottage Court	☐ Flag lot	☑ Frequent Transit Development Option

NOTE: Subdivisions may require City Council approval if located in a Historic Overlay District.

GENERAL INFORMATION				
Scoping/sketch plan case number(s):				
Development name (subject to approval): The Ellwood at North Hills				
Property Address(es): 201 Ellwood Drive, Raleigh, NC 27609				
Recorded Deed PIN(s): 1706429610				
Building type(s):	☐ Detached House	☑ Attached House	☐ Townhouse	☐ Apartment
☐ General Building	☐ Mixed Use Building	☐ Civic Building	☐ Open Lot	☐ Tiny House

CURRENT PROPERTY OWNER/APPLICANT/DEVELOPER INFORMATION	
Current Property Owner(s) Names: Karen Lewis	
Company: Link Tink LLC	Title: Manager
Address: 1220 Arboretum Drive, Wilmington, NC 28405	
Phone #: 919-604-4000	Email: K158@icloud.com
Applicant Name (If different from owner. See "who can apply" in instructions):	
Relationship to owner: ☐ Lessee or contract purchaser ☑ Owner's authorized agent ☐ Easement holder	
Company: JAECO	Address: 333 Wade Ave, Raleigh NC 27605
Phone #: 919-828-4428	Email: jon_callahan@jaeco.com
NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.	
Developer Contact Names: Karen Lewis	
Company: Link Tink LLC	Title: Manager
Address: 1220 Arboretum Drive, Wilmington, NC 28405	
Phone #: 919-604-4000	Email: K158@icloud.com

Revision 05.07.24
raleighnc.gov

DEVELOPMENT TYPE + SITE DATE TABLE – ZONING INFORMATION		
Gross site acreage: 0.54		
Zoning districts (if more than one, provide acreage of each): R-4		
Overlay district(s):	Inside City Limits? ☑ Yes ☐ No	Historic District/Landmark: N/A ☑
Conditional Use District (CUD) Case # Z-	Board of Adjustment Case # BOA-	Design Alternate Case # DA-

STORMWATER INFORMATION	
Impervious Area on Parcel(s): Existing (sf) 0.088 Proposed total (sf) 0.841	Impervious Area for Compliance (Includes right-of-way): Existing (sf) 0439 Proposed total (sf) 13068

NUMBER OF LOTS AND DENSITY		
# of Detached House Lots:	# of Attached House Lots: 2	# of Townhouse Lots:
# of Tiny House Lots:	# of Open Lots:	# of Other Lots (Apartment, General, Mixed Use, Civic):
Total # of Lots: 2	Total # Dwelling Units: 4	
# of bedroom units (if known): 1br____ 2br____ 3br____ 4br____		
Proposed density for each zoning district (UDO 1.5.2.F): 7.46 UNITS/ACRE MAX POSSIBLE		

APPLICANT SIGNATURE BLOCK

Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

Acting as an authorized agent requires written permission from the property owner for the purposes of making this development approval and/or permit application. Written permission from the property owner to act as an authorized agent must be made available to the City of Raleigh upon request.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that development approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b1), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued, and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

Signature:	Date: 12/17/24
Printed Name: JONATHAN R CALLAHAN	
Signature:	Date:
Printed Name:	

ABBREVIATIONS

APPLICABLE TO ENTIRE PLAN SET	
AC	ACRE
APPROX	APPROXIMATE
B-B	BACK-TO-BACK
BM	BOOK OF MAPS
CB	CATCH BASIN
CIP	CAST IRON PIPE
CL	CENTERLINE
CO	CLEANOUT
CONC	CONCRETE
COR	CITY OF RALEIGH
CP	COMPUTED POINT
DB	DEED BOOK
DI	DROP INLET
DIP	DUCTILE IRON PIPE
DTL	DETAIL
ECM	EX CONC MONUMENT
EIP	EX IRON PIPE
EIR	EX IRON ROD
ELEC	ELECTRIC
ELEV	ELEVATION
EOP	EDGE OF PAVEMENT
ESMT	EASEMENT
EX	EXISTING
FDC	FIRE DEPARTMENT CONNECTION
FEMA	FEDERAL EMERGENCY MANAGEMENT AGENCY
FH	FIRE HYDRANT
FM	FORCE MAIN
FP	FLOODPLAIN
GIS	GEOGRAPHIC INFORMATION SYSTEM
GM	GAS METER
GP	GALVANIZED PIPE
GW	GUY ANCHOR
HB	HOT BOX
HDPE	HIGH DENSITY POLYETHYLENE
IPS	IRON PIPE SET
LF	LINEAR FEET
LP	LIGHT POLE
LOC	LOCATION
MAGS	MAG NAIL SET
MH	MANHOLE
N/F	NOW OR FORMERLY
NCDOT	NORTH CAROLINA DEPARTMENT OF TRANSPORTATION
PG	PAGE
PP	POWER POLE
PROP	PROPOSED
PVC	POLYVINYL CHLORIDE
RCP	REINFORCED CONC PIPE
ROW	RIGHT-OF-WAY
R/W	
RSDM	RALEIGH STREET DESIGN MANUAL
SF	SQUARE FEET
SS	SANITARY SEWER
STBK	SETBACK
STD	STANDARD
SWM	STORMWATER MANAGEMENT
TBD	TO BE DETERMINED
TBR	TO BE REMOVED
TBRL	TO BE RELOCATED
TF	ELECTRIC TRANSFORMER
TP	TELEPHONE PEDESTAL
TYP	TYPICAL
UNK	UNKNOWN
WV	WATER VALVE
WLE	WATER LINE ESMT
WM	WATER METER
YI	YARD INLET

SITE DATA

SITE ADDRESS:	201 ELLWOOD DRIVE; RALEIGH, NC 27609	
WAKE COUNTY PIN#	1706429610	
ZONING:	R-4	
OVERLAY DISTRICT:	N/A	
EXISTING AREA:	23,622 SF (0.54 AC)	
AREA TO BE DEDICATED:	296 SF (0.007 AC)	
NET SITE AREA:	23,326 SF (0.54 AC)	
EXISTING USE:	SINGLE FAMILY HOME	
PROPOSED USE:	DETACHED, ATTACHED, TINY HOUSE, OR TOWNHOUSE	
	REQUIRED	PROVIDED
VEHICLE PARKING:	NO MAXIMUM	N/A
BICYCLE PARKING:	0	0

ATTENTION CONTRACTORS:

The Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Infrastructure Inspections Division and schedule a Pre-construction meeting on the Development Portal prior to beginning any construction.
Raleigh Water must be contacted at (919) 996-4540 at least twenty-four hours prior to beginning any work activity around critical water and sewer infrastructure.

Failure to notify City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for Inspection, install a downstream plug, have permitted plans on the jobsite, or any other violation of City of Raleigh Standards will result in a fine and possible exclusion from future work in the City of Raleigh.

SOLID WASTE INSPECTIONS STATEMENT

PROPOSED RECYCLING & SOLID WASTE CONTAINERS TO BE STORED AT THE DWELLINGS AND COLLECTED ALONG ELLWOOD DRIVE AND TERRY STREET BY CITY OF RALEIGH. OWNERS WILL BE RESPONSIBLE FOR LABELING THEIR ASSIGNED CONTAINERS.

SITE WILL BE EXEMPT FROM BLOCK PERIMETER REQUIREMENTS PER UDO 8.3.2.2.b. MINIMUM SITE AREA.

DEVELOPERS HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL

SITE WILL BE EXEMPT FROM CROSS ACCESS REQUIREMENTS PER UDO 8.3.5.D.5.A.

HORIZONTAL DATUM: NAD83
VERTICAL DATUM: NAVD88

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.

"RESIDENTIAL DRIVEWAY LOCATIONS AND WIDTHS WILL BE SUBJECT TO APPROVAL AT TIME OF BUILDING PERMIT".

OWNER/DEVELOPER:

LINK TINK, LLC
KAREN LEWIS
2019 FAIRVIEW ROAD
Raleigh, N.C. 27608
919-604-4000
k158@icloud.com.com

CIVIL ENGINEER:

JAECO
Consulting Engineers
NC License F-0289
333 Wade Ave., Raleigh, N.C. 27605
Phone: (919) 828-4428
Fax: (919) 828-4711
E-mail: info@jaeco.com

SHEET INDEX

CE-0	COVER SHEET
CE-1	EXISTING CONDITIONS PLAN
CE-2	DEMOLITION PLAN
CE-3	SUBDIVISION/LANDSCAPE PLAN
CE-4	UTILITY PLAN
CE-5	GRADING / STORMWATER PLAN
CE-6	FIRE DEPARTMENT PLAN

NOTE:

FUTURE DEVELOPMENT OF PROPOSED LOTS WILL NEED TO BE PROPOSED AND REVIEWED VIA THE USE STANDARDS OF THE FTOD IN R-4 (SECTION 2.7 OF THE UDO).

PROPOSED SETBACKS TO BE REVIEWED AT THE TIME OF BUILDING PERMIT FOR COMPLIANCE WITH FTOD.

FREQUENT TRANSIT DEVELOPMENT (UDO 2.7)

REQUIRE/ALLOWED	PROVIDED/PROPOSED
THE FREQUENT TRANSIT DEVELOPMENT OPTION ALLOWS FOR ADDITIONAL HOUSING IN LOCATIONS NEAR CURRENT AND PLANNED FREQUENT TRANSIT SERVICE. A FREQUENT TRANSIT AREA REFERS TO AREAS SLATED FOR A BUS OR OTHER TRANSIT SERVICE WHERE THE TIME BETWEEN VEHICLES WILL BE 15 MINUTES OR LESS DURING PEAK SERVICE PERIODS AND MUST BE MAPPED IN THE CITY'S COMPREHENSIVE PLAN AS SUCH. WHERE A REGULATION IN THIS SECTION CONFLICTS WITH A REGULATION OF A NEIGHBORHOOD CONSERVATION OVERLAY DISTRICT (NCOD), THE NCOD REGULATION SHALL CONTROL.	PER THE CITY OF RALEIGH 2030 COMPREHENSIVE PLAN UPDATE (OCTOBER 2023) SECTION 11, "FREQUENT TRANSIT AREAS" ARE DEFINED AS "AREAS WITHIN A HALF MILE OF CORRIDORS PROPOSED FOR BUS RAPID TRANSIT OR WITHIN A QUARTER-MILE OF OTHER FREQUENT TRANSIT ROUTES, DEFINED AS TRANSIT WITH SCHEDULE WAITS OF 15 MINUTES OR LESS DURING PEAK HOURS". THE SUBJECT PROPERTY IS WHOLLY LOCATED WITHIN A FREQUENT TRANSIT AREA AS EVIDENCE BY COMPREHENSIVE MAP UD-1 URBAN FORM, AND AS SUCH IS ELIGIBLE FOR THE FREQUENT TRANSIT DEVELOPMENT OPTION.

	REQUIRED/ALLOWED	PROVIDED/PROPOSED
A. Building Types		
A1 Applicable Building Types	Tiny House, Detached House, Attached House, Townhouse, Apartment	Tiny House, Detached House, Attached House, Townhouse
B. Lot Dimensions		
B1 Area(min)	6,500 SF	9,334 SF
B2 Width (min)	65'	65'
B3 Depth(min)	100'	100'
B4 Density(max)	N/A	-
B5 Outdoor Amenity Area(min) for Townhouse (3+ units) and Apartment	10%	10%
C. Lot Area Required per Unit [1]		
C1 Single-unit living(min)	6,500 SF	9,334 SF
C2 Two-unit living(min)	2,500 SF	4,667 SF
C3 Multi-unit living(min)	2,000 SF	N/A
D. Principal Building Setbacks		
D1 From primary street (min)	10'	55.9' FROM CL (INFILL)
D2 From side street (min)	10'	10'
D3 From side lot line (min)[2]	5'	5'
D4 From rear lot line (min)[3]	20'	25'
D5 From alley (min)[4]	4' or 20'	N/A
D6 Residential infill rules may apply (see Sec. 2.2.7.)[5]	yes	yes
E. Height		
E1 Detached/Attached Principal Building(max)	40'/3 stories	-
E2 Townhouse/Apartment Principal Building(max)	40'/3 stories	45'/3 stories
E3 Tiny House(max)	26'/2 stories	-
E4 Accessory structure(max)	26'	-
E5 Residential Infill rules may apply (see Sec.2.2.7)	No	N/A
F. Parking Setbacks [6]		
F1 From Primary Street(min)	10'	N/A
F2 From Side Street(min)	10'	N/A
F3 From Side Lot Line(min)	0'	N/A
F4 From Rear Lot Line(min)	3'	N/A
F5 From Alley(min)	4' or 20' min	N/A
F6 Residential Infill rules may apply (see Sec.2.2.7)	No	N/A
G. Additional Requirements		
G1 ADU Regulations		There shall be no more than one ADU on the same lot as principal building unless it is located in a frequent transit area, only one ADU can be attached or internal to the principal building. In the case of a townhome development only one ADU is permitted per principle dwelling. See Sec.2.6.3 for additional regulations
G2		This development option cannot be used in concert with Compact or Conservation Development option.
G3		Lots utilizing this option shall have at least a portion of each lot within the mapped Frequent Transit Area in 20 order to take advantage of any regulations listed herein.
G4 [7]		A development site utilizing this option in a residential zoning district shall contain no more than twelve (12) residential units; however, a development site may contain additional residential units provided a number of units equal to at least twenty-percent (20%) of the residential units over twelve (12) established within the development site shall be affordable for households earning sixty percent (60%) of the Area Median Income or less for a period of no less than 30 years from the date of issuance of a certificate of occupancy.

See Sec. 1.5.4.D "Building Setbacks" for specific building elements requirements.
[1] For Townhouse buildings, this standard shall apply to site area and not lot area.
[2] For Townhouse buildings, C3 shall only apply to the side site boundary.
[3] For Townhouse buildings, C4 shall only apply to the rear site boundary. A permanently recorded open lot or common area lot of at least 20 feet in width may be used to satisfy Sec.2.5.1.C.4.
[4] Garages (or a portion thereof) must either be located 4 feet from the travel lane of an alley or rear access drive or be a minimum of 20 feet from the alley or rear access drive. Where parking spaces are located between the garage and the alley or rear access drive, the garage must be located at least 20 feet from the travel lane of an alley or rear access drive.
[5] The property owner may elect to either adhere to the primary street setback range set forth in Section 2.2.7.f applicable, or follow only the applicable zoning district's minimum primary streetsetback regulation.
[6] Parking setbacks shall not apply to driveways serving individual dwelling units or shared between two dwelling units.
[7] The rent and income limits will follow the Affordable Housing Standards determined annually by the City of Raleigh Housing & Neighborhoods Department. An Affordable Housing Deed Restriction in a form approved by the City shall be filed and recorded in the property's chain of title by the property owner in the Wake County Register of Deeds prior to the project receiving a certificate of occupancy. The property owner of development approved under this section shall provide an annual report to the City to demonstrate compliance with the requirements of this section. The report shall utilize a form prescribed by the City and shall be submitted in accordance with a schedule set by the City. Affordable units used to meet the requirements of this section shall be constructed concurrently with the project's market rate units.

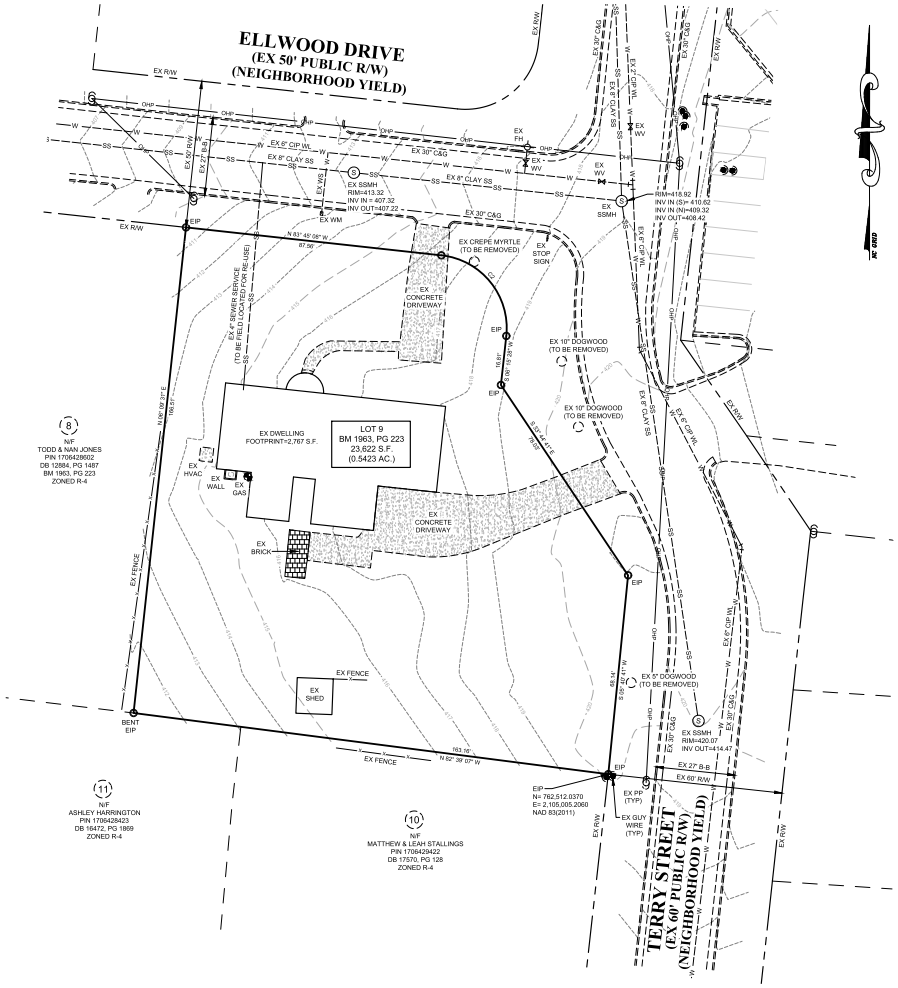
X:\Projects\The Lewis Group (513)\201 Ellwood Terry St\1 - Preliminary\SUB - Civil Base - 201 Ellwood.dwg - 12/18/2024 9:29:41 AM - DWG To PDF.pc3

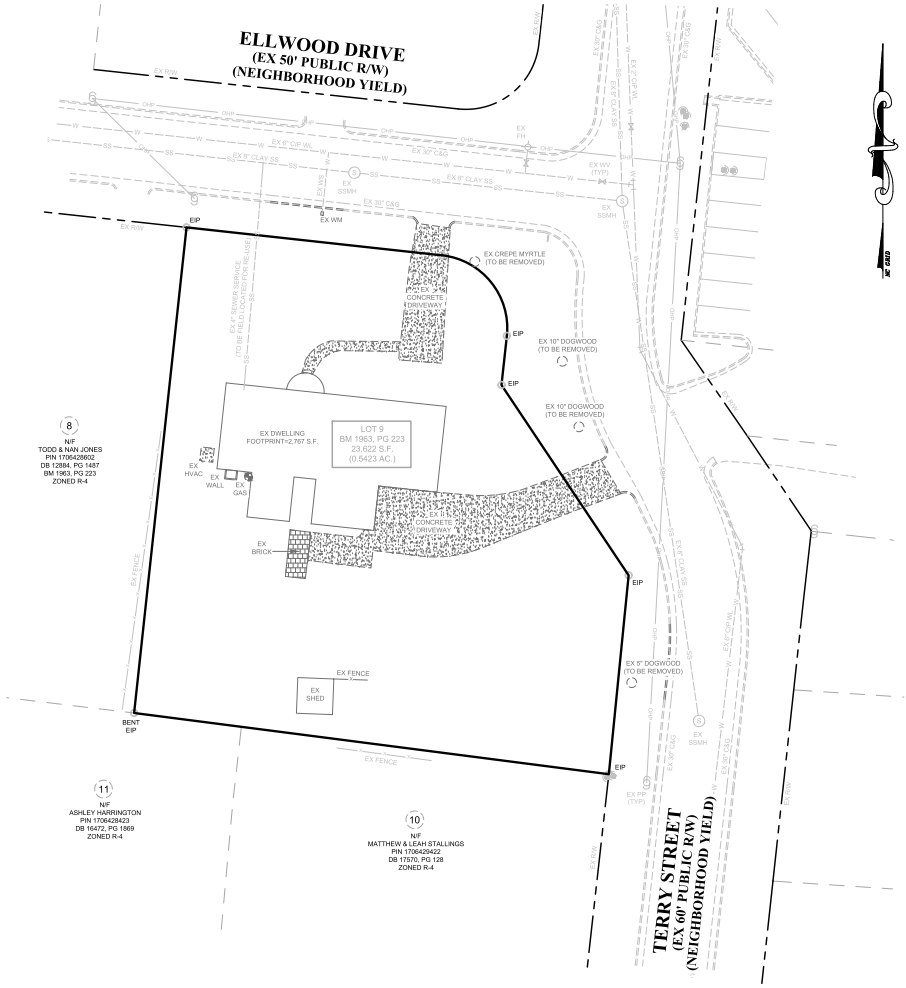
SITE DATA
LOT 9

OWNER	LINK TINK LLC
SITE ADDRESS	201 ELLWOOD DRIVE RALEIGH, NC 27609
PIN	1706429610
REFERENCES:	DB 19261, PG 2608 BM 1963, PG 223
AREA	23,622 S.F. (0.5423 AC.)
ZONING	R-4

NOTES:

1. ALL DISTANCES ARE HORIZONTAL GROUND.
2. ALL DIMENSIONS ARE IN FEET.
3. AREA COMPUTED USING COORDINATE METHOD FROM MEASURED FIELD DATA.
4. BASIS OF BEARINGS IS NORTH CAROLINA GRID NORTH, NAD83(2011). THE SITE WAS LOCALIZED UTILIZING REAL-TIME KINEMATIC (RTK) GLOBAL POSITIONING SYSTEM (GPS) SOLUTIONS REFERENCING THE CONTINUOUSLY OPERATING REFERENCE STATION (CORS) NETWORK BASE STATION NCRD, RALEIGH, NC.
5. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND MAY BE SUBJECT TO ANY MATTERS THAT A FULL TITLE SEARCH WOULD DISCLOSE.
6. ALL REFERENCE ARE MADE TO THE WAKE COUNTY REGISTRY.
7. HORIZONTAL DATUM IS NAD 83(2011) AND VERTICAL DATUM IS NAVD 88


ELLWOOD DRIVE
(EX 50' PUBLIC R/W)
(NEIGHBORHOOD YIELD)
TERRY STREET
(EX 60' PUBLIC R/W)
(NEIGHBORHOOD YIELD)
LOT 9
BM 1963, PG 223
23,622 S.F.
(0.5423 AC.)
EX DWELLING
FOOTPRINT=2,767 S.F.
EX CREPE MYRTLE
(TO BE REMOVED)
EX 10" DOGWOOD
(TO BE REMOVED)
EX 5" DOGWOOD
(TO BE REMOVED)
EX CONCRETE DRIVEWAY
EX BRICK
EX SHED
EX FENCE
EX SSMH
RIM=413.32
INV IN = 407.32
INV OUT=407.22
RIM=415.92
INV IN (S)= 410.92
INV IN (N)=409.32
INV OUT=408.42
EX SSMH
RIM=420.07
INV OUT=414.47
EIP
N= 762,512.0370
E= 2,109,085.2060
NAD 83(2011)
N/F
TODD & NAN JONES
PIN 1706428602
DB 12884, PG 1487
BM 1963, PG 223
ZONED R-4
N/F
ASHLEY HARRINGTON
PIN 1706428423
DB 16472, PG 1869
ZONED R-4
N/F
MATTHEW & LEAH STALLINGS
PIN 1706429422
DB 17570, PG 128
ZONED R-4
N 83° 45' 06" W
87.56'
N 00° 00' 00" E
106.57'
N 00° 00' 00" E
N 89° 58' 00" W
N 89° 38' 00" W
N 00° 00' 00" E
N 00° 00' 00" E
N 00° 00' 00" E



NOTE:
DEMOLITION OF ALL ITEMS SHOWN IN (RED)

ATTENTION CONTRACTORS:

The Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Infrastructure Inspections Division and schedule a Pre-construction meeting on the Development Portal prior to beginning any construction.
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Failure to call for Inspection, install a downstream plug, have permitted plans on the jobsite, or any other violation of City of Raleigh Standards will result in a fine and possible exclusion from future work in the City of Raleigh.

GRAPHIC SCALE

20 0 10 20 40 80

(IN FEET)
1 inch = 20 ft.

JAECO
Consulting Engineers
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Seals

[redacted]

Project

THE ELLWOOD AT NORTH HILLS

201 ELLWOOD DRIVE
RALEIGH, NC 27609

Client

LINK TINK, LLC
2019 FAIRVIEW ROAD
RALEIGH, NC 27608

LEGEND

AC.	ACREAGE	HW	HEADWALL
BM	BOOK OF MAPS	INV.	INVERT
BO	BLOWOFF	IPS	IRON PIPE SET
BW	BOTTOM OF WALL	JB	JUNCTION BOX
CMG	CURB AND GUTTER	MH	MANHOLE
CB	CATCH BASIN	MIN	MINIMUM
CMP	CORRUGATED METAL PIPE	N/F	NOW OR FORMERLY
		PDE	PRIVATE DRAINAGE EASEMENT
CO	SEWER CLEANOUT	PG	PAGE
CONC.	CONCRETE	PVC	POLYVINYL CHLORIDE PIPE
DB	DEED BOOK	RCP	REINFORCED CONCRETE PIPE
DCVA	DOUBLE CHECK VALVE	RPDA	REDUCED PRESSURE DETECTOR ASSEMBLY
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ESMT	EASEMENT	SW	SIDEWALK
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CONCRETE
EX. WATER VALVE
EX. FIRE HYDRANT
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NEW CONTOUR LINE
EXISTING OVERHEAD POWER
SWALE

Drawing Title

DEMOLITION PLAN

Revisions

Number	Description	Date
1	CITY OF RALEIGH REVIEW COMMENTS	12/17/24

Drawing Scale	1" = 20'
Drawn By	BF
Checked By	JRC
Date Issued	10/30/24

CE-2

of

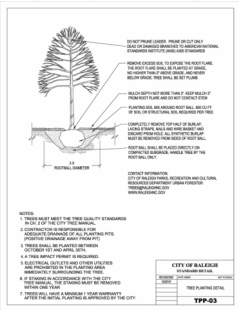
X:\Projects\The Lewis Group (513)\201 Ellwood\Terry St\1 - Preliminary\CIVIL - Civil Base - 201 Ellwood.dwg, 12/18/2024 9:29:54 AM, DWG To PDF.pc3

GENERAL NOTES

1. CONTRACTOR TO FIELD VERIFY LOCATION & ELEVATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. EXISTING UTILITIES SHOWN HEREON WERE OBTAINED VIA 811 ("MISS UTILITY") MARKOUT. EXISTING UTILITIES SHOULD BE ASSUMED TO BE APPROXIMATE AND POTENTIALLY INCOMPLETE.
2. UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND / OR NCDOT STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.
3. FIRE HYDRANTS SHALL BE EQUIPPED WITH NST THREADS AND WITH A 5 INCH STORZ CONNECTION.
4. UNLESS OTHERWISE NOTED, ACCESS ROUTE FOR EMERGENCY VEHICLES SHALL PROVIDE AN INSIDE TURNING RADIUS OF 28' MINIMUM
5. CITY OF RALEIGH RECORDS INDICATE EXISTING WATER & SEWER SERVICE TO EXISTING HOUSE. EX. SERVICE CONNECTIONS SHALL BE REMOVED IN ACCORDANCE WITH RALEIGH PUBLIC UTILITIES HANDBOOK SEWER CONSTRUCTION STANDARD #31 AND WATER CONSTRUCTION STANDARD #31. FIELD LOCATED SERVICES TO BE PROVIDED DURING SPR REVIEW.
6. EXISTING WATER AND SEWER SIZES AND MATERIALS PER SCOPE-0130-2022

CONSTRUCTION NOTES:

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND/OR NCDOT STANDARDS.
2. THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION).
4. PRIOR TO START OF WORK, A PRE-CONSTRUCTION MEETING MUST BE SET UP WITH THE CONTRACTOR AND CITY OF RALEIGH TRANSPORTATION FIELD SERVICES STAFF. CONTACT ENGINEERING INSPECTIONS AT (919) 996-2409 TO SET UP THE MEETING.
5. THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY OBSTRUCTION PERMIT FOR ANY WORK WHICH REQUIRES THE TEMPORARY CLOSURE OF A STREET, TRAVEL LANE, PARKING SPACE OR SIDEWALK FROM RIGHT-OF-WAY SERVICES AT LEAST 48 HOURS IN ADVANCE. ANY TEMPORARY STREET CLOSURE MUST BE SUBMITTED 2 WEEKS PRIOR. SEE "RIGHT-OF-WAY CLOSURES" ON WWW.RALEIGHNC.GOV AND SEND THE RIGHT-OF-WAY OBSTRUCTION PERMIT TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV
6. PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
7. THE CONTRACTOR SHALL REPAIR ANY DAMAGED INFRASTRUCTURE IN THE RIGHT-OF-WAY AND RESTORE IT TO PREVIOUS OR BETTER CONDITION.
8. THE CONTRACTOR SHALL REPAIR ANY DAMAGES TO ADJACENT PROPERTIES AND RESTORE IT TO PREVIOUS OR BETTER CONDITION.
9. ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE VISUALLY IMPAIRED AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).



PROPOSED STREET TREE CALCULATION

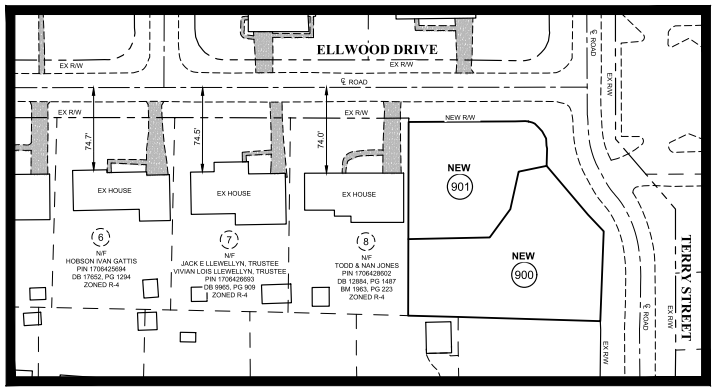
ELLWOOD DRIVE
ELIGIBLE FRONTAGE = 111'
REQUIRED TREES = 111 LF / 40' OC = 3 SHADE TREES REQUIRED
PROVIDED SHADE TREES = 3

TERRY STREET
POWER LINE OVERHEAD ELIGIBLE FRONTAGE = 77'
REQUIRED TREES = 77 LF / 20' OC = 4 UNDERSTORY TREES REQUIRED
NO POWER LINE OVERHEAD ELIGIBLE FRONTAGE = 103'
REQUIRED TREES = 103 LF / 40' OC = 3 SHADE TREES REQUIRED
PROVIDED TREES = 4 UNDERSTORY AND 3 SHADE TREES

PLANT LIST

KEY	QUAN.	BOTANICAL NAME	COMMON NAME	CAL.	HT.	MATURE HT.	MATURE SP.	ROOT	
TREES									
Ql	6	Quercus lyrata	Highbeam Overcup Oak	3"	10'	40-50'	35-40'	BB	
Hc	4	Halesia Carolina	Carolina Silverbell	1.5"	6'	20-25'	15-20'	BB	Single stem

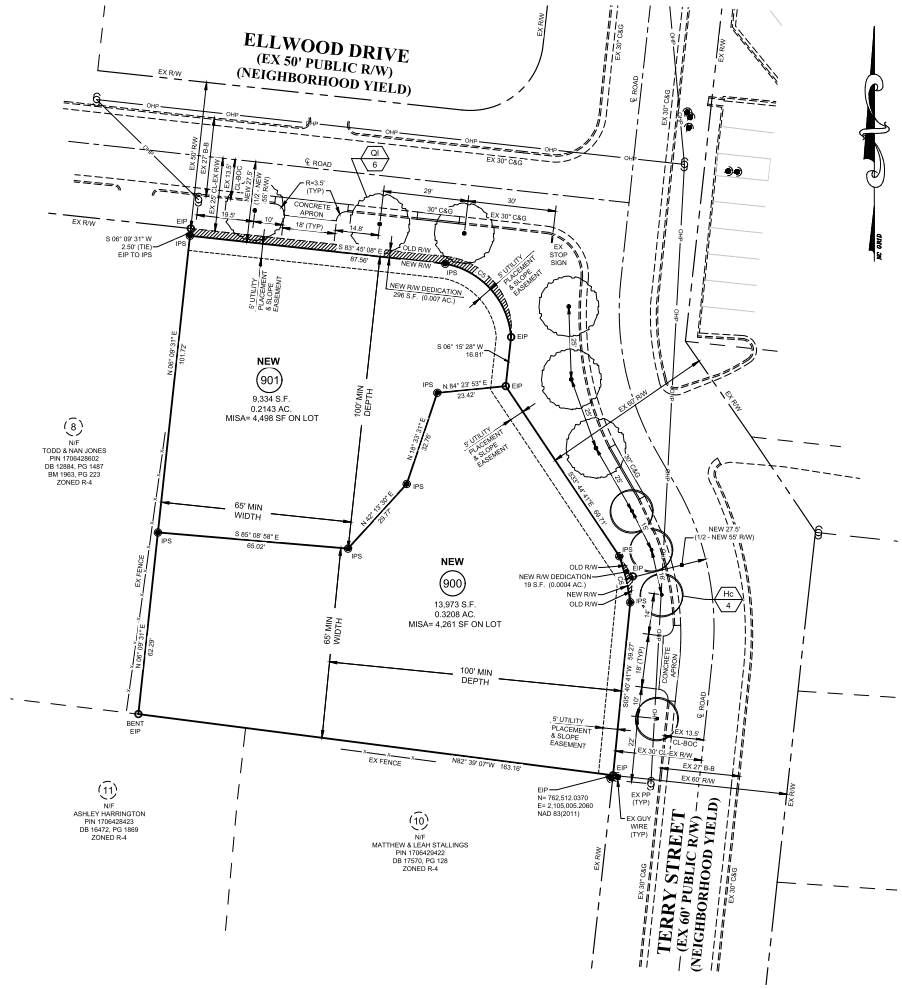
NOTE:
STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY TREE MANUAL.



INFILL EXHIBIT FROM GIS

SCALE: 1" = 50'

MEDIAN SETBACK FROM COMPARATIVE SAMPLE IS 74.5' FROM EXISTING CL PER 2.2.7.C.3. SINCE SUBJECT PROPERTY R/W IS DIFFERENT FROM THE COMPARATIVE SAMPLE. PER 2.2.7.C.1.b. THE SETBACK MAY BE WITHIN 25% OF THE MEDIAN FOR LOTS WIDER THAN 80'. MIN SETBACK FROM CL ON NEW LOT 901 IS 55.9' AND MAX IS 93.1'
FINAL INFILL SETBACK TO BE MEASURED AT TIME OF BUILDING PERMIT.



FEE-IN-LIEU REQUIRED FOR 6' SIDEWALK ON FRONTAGE OF ELLWOOD DRIVE & TERRY STREET. THERE ARE NO EXISTING SIDEWALKS IN THIS NEIGHBORHOOD. 5' SLOPE EASEMENT SHOWN SEE EXHIBIT ON SHEET CE-5.

SETBACKS TO BE REVIEWED AT THE TIME OF BUILDING PERMIT AND HAVE THEREFORE BEEN REMOVED FROM THIS PLAN SHEET.

DRIVEWAYS TO BE REVIEWED AND APPROVED WITH BUILDING PERMIT. DRIVEWAYS ARE SHOWN CONCEPTUALLY TO VERIFY SPACING AND CLEARANCE OF UTILITY INFRASTRUCTURE AND STREET TREES. UTILITIES AND STREET TREES MAY REQUIRE ADJUSTMENT PENDING APPROVED DRIVEWAY LOCATION.

BOUNDARY CURVE TABLE				
CURVE	LENGTH	RADIUS	CHORD	CHORD BEARING
C5	36.12'	27.49'	33.58'	S41° 52' 16"E
C6	16.20'	81.82'	16.18'	S13° 21' 59"E

PROPOSED R/W DEDICATION

TOTAL LOT AREA

OLD AREA:

OLD LOT 9	23,622 S.F. (0.5423 AC.)
TOTAL	23,622 S.F. (0.5423 AC.)

NEW AREA:

NEW LOT 900	13,973 S.F. (0.3208 AC.)
NEW LOT 901	9,334 S.F. (0.2143 AC.)

R/W DEDICATION

TERRY STREET	19 S.F. (0.0004 AC.)
ELLWOOD DRIVE	296 S.F. (0.0068 AC.)
TOTAL	23,622 S.F. (0.5423 AC.)

TRANSPORTATION NOTES:

1. RIGHT-OF-WAY SHALL BE CLEARED AND GRUBBED WITHIN 50 FEET OF ALL RESIDENTIAL OR RESIDENTIAL COLLECTOR INTERSECTIONS. RIGHT-OF-WAY SHALL BE CLEARED AND GRUBBED WITHIN 100 FEET OF ALL OTHER STREET INTERSECTIONS.
2. HANDICAPPED RAMPS TO BE CONSTRUCTED AT ALL INTERSECTIONS IN ACCORDANCE WITH CITY OF RALEIGH ENGINEERING STANDARD DETAIL T-20.01.2.
3. SIGHT TRIANGLES TO BE LOCATED AT ALL INTERSECTIONS IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS. AREAS WHERE SIGHT TRIANGLE ARE LOCATED OUTSIDE THE RIGHT-OF-WAY SHALL BE RECORDED AS SIGHT EASEMENTS. FINAL LAYOUT OF SIGHT TRIANGLES TO BE APPROVED WITH CONSTRUCTION DRAWINGS.
4. NO SIGHT OBSTRUCTING OR PARTIALLY OBSTRUCTING WALL, FENCE, FOLIAGE, BERM, PARKED VEHICLES, SIGN OR OTHER OBJECTS BETWEEN THE HEIGHTS OF 2 FEET AND 8 FEET ABOVE THE CURB LINE ELEVATION, OR NEAREST TRAVELED WAY IF NO CURBING EXISTS, SHALL BE PLACED WITHIN A SIGHT TRIANGLE.
5. ALL STREET SECTIONS SHALL MEET OR EXCEED SPECIFICATIONS DETAILED IN CITY OF RALEIGH ENGINEERING STANDARDS T-10.10, T-10.12, AND T-10.14 AS NOTED.
6. ALL STREETS AND RIGHT-OF-WAYS WITHIN AND ADJACENT TO THE PROJECT ARE CONSISTENT WITH THE RALEIGH COMPREHENSIVE PLAN WITH REGARD TO PROPOSED ROADWAY LOCATIONS AND RIGHT-OF-WAY REQUIREMENTS.
7. UNLESS OTHERWISE SHOWN, TURNOUT RADII TO BE MINIMUM OF 35' AT ALL PUBLIC STREET INTERSECTIONS AND DRIVEWAY TURNOUTS TO BE A MINIMUM OF 28'.

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7/24

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SWALE

Drawing Title

SUBDIVISION / LANDSCAPE PLAN

Revisions

Number	Description	Date
1	CITY OF RALEIGH REVIEW COMMENTS	12/17/24

Drawing Scale	1" = 20'
Drawn By	BF
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CE-3

sheet of sheets

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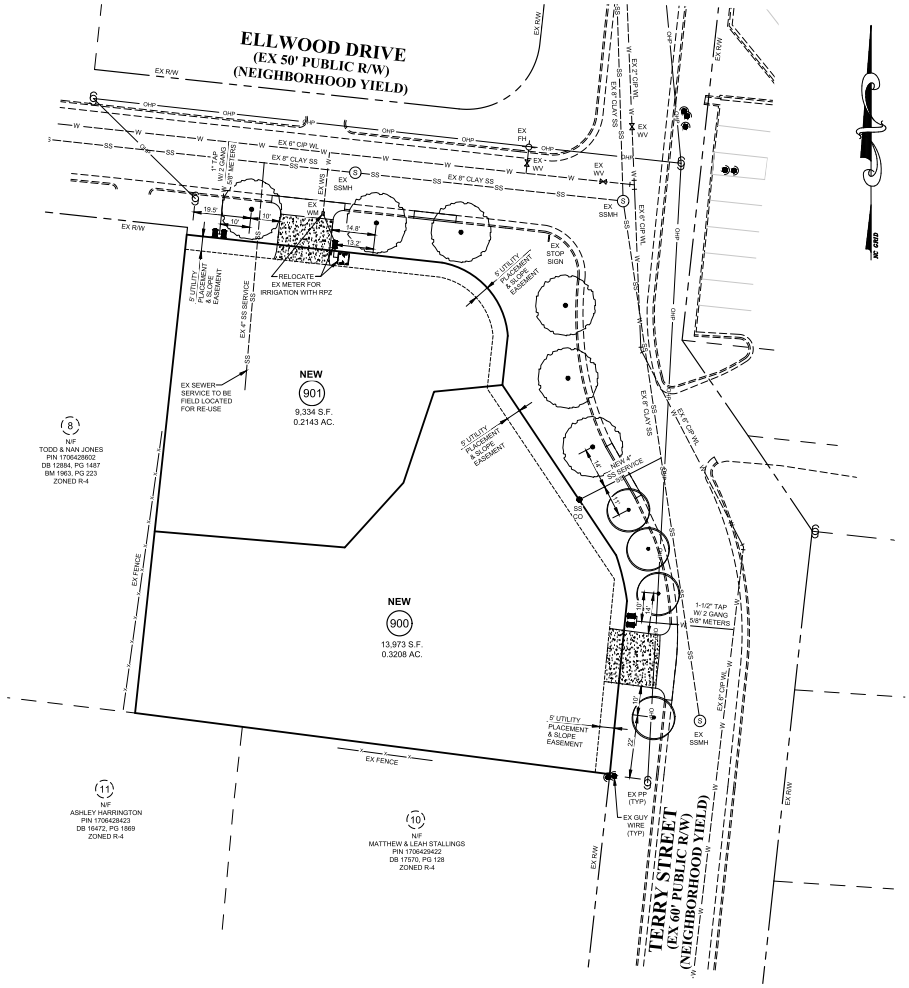
6. EXISTING WATER AND SEWER SIZES AND MATERIALS PER SCOPE-0130-2022

STANDARD UTILITY NOTES:

1. All materials & construction methods shall be in accordance with City of Raleigh design standards, details & specifications (reference: CORPUD Handbook, current edition).
2. Utility separation requirements:
a) A distance of 100' shall be maintained between sanitary sewer & any private or public water supply source such as an impounded reservoir used as a source of drinking water.
If adequate lateral separation cannot be achieved, ferrous sanitary sewer pipe shall be specified & installed to waterline specifications. However, the minimum separation shall not be less than 25' from a private well or 50' from a public well.
b) When installing water &/or sewer mains, the horizontal separation between utilities shall be 10'. If this separation cannot be maintained due to existing conditions, the variation allowed is the water main in a separate trench with the elevation of the water main at least 18" above the top of the sewer & must be approved by the Public Utilities Director. All distances are measured from outside diameter to outside diameter.
c) Where it is impossible to obtain proper separation, or anytime a sanitary sewer passes over a watermain, DIP materials or steel encasement extended 10' on each side of crossing must be specified & installed to waterline specifications.
d) 5.0' minimum horizontal separation is required between all sanitary sewer & storm sewer facilities, unless DIP material is specified for sanitary sewer.
e) Maintain 18" min. vertical separation at all watermain & RCP storm drain crossings; maintain 18" min. vertical separation at all sanitary sewer & RCP storm drain crossings. Where adequate separations cannot be achieved, specify DIP materials & a concrete cradle having 6" min. clearance (per CORPUD details W- 41 & S-49).
f) All other underground utilities shall cross water & sewer facilities with 18" min. vertical separation required.
3. Any necessary field revisions are subject to review & approval of an amended plan &/or profile by the City of Raleigh Public Utilities Department prior to construction.
4. Developer shall provide 30 days advance written notice to owner for any work required within an existing City of Raleigh Utility Easement traversing private property.
5. Contractor shall maintain continuous water & sewer service to existing residences & businesses throughout construction of project. Any necessary service interruptions shall be preceded by a 24-hour advance notice to the City of Raleigh Public Utilities Department.
6. SEWER BYPASS PUMPING – A bypass plan sealed by an NC Professional Engineer shall be provided to Raleigh Water prior to pumping operations for approval. The operations and equipment shall comply with the Public Utilities Handbook.
7. 3.0' minimum cover is required on all water mains & sewer force mains. 4.0' minimum cover is required on all reuse mains.
8. It is the developer's responsibility to abandon or remove existing water & sewer services not being used in redevelopment of a site unless otherwise directed by the City of Raleigh Public Utilities Department. This includes abandoning tap at main & removal of service from ROW or easement per CORPUD Handbook procedure.
9. Install ¾" copper" water services with meters located at ROW or within a 2'x2' Waterline Easement immediately adjacent. NOTE: it is the applicant's responsibility to properly size the water service for each connection to provide adequate flow & pressure.
10. Install 4" PVC" sewer services @ 1.0% minimum grade with cleanouts located at ROW or easement line & spaced every 75 linear feet maximum.
11. Pressure reducing valves are required on all water services exceeding 80 psi; backwater valves are required on all sanitary sewer services having building drains lower than 1.0' above the next upstream manhole.
12. All environmental permits applicable to the project must be obtained from NCDWQ, USACE &/or FEMA for any riparian buffer, wetland &/or floodplain impacts (respectively) prior to construction.
13. NCDOT / Railroad Encroachment Agreements are required for any utility work (including main extensions & service taps) within state or railroad ROW prior to construction.
14. Grease Interceptor / Oil Water Separator sizing calculations & installation specifications shall be approved by the RW FOG Program Coordinator prior to issuance of a UC and/or Building Permit. Contact (919) 996-4516 or fog@raleighnc.gov for more information.
15. Cross-connection control protection devices are required based on the degree of health hazard involved as listed in Appendix B of the Rules Governing Public Water Systems in North Carolina.
16. The devices shall meet the American Society of Sanitary Engineering (SAAE) standards and be on the University of Southern California approval list.
17. The device and installation shall mee the guidelines of Appendix A – Guidelines and Requirements for the Cross Connection Program in Raleigh's Service Area.
18. The devices shall be installed and tested (both, initial and periodic testing thereafter) in accordance with the manufacturer's recommendations or the local cross connection control program, whichever is more stringent. Contact Cross.connection@raleighnc.gov for more information.
19. NOTICE for projects that involve an oversized main or urban main replacement. Any City reimbursement greater than $250,000.00 must undergo the public bidding process.



NOTE

ALL WATER METERS, CLEAN-OUTS & FIRE HYDRANTS LOCATED OUTSIDE OF THE PUBLIC RIGHT-OF-WAY TO BE LOCATED IN A 5' x 5' UTILITY EASEMENT.

NOTE

DRIVEWAYS TO BE REVIEWED AND APPROVED WITH BUILDING PERMIT. DRIVEWAYS ARE SHOWN CONCEPTUALLY TO VERIFY SPACING AND CLEARANCE OF UTILITY INFRASTRUCTURE AND STREET TREES. UTILITIES AND STREET TREES MAY REQUIRE ADJUSTMENT PENDING APPROVED DRIVEWAY LOCATION.

ATTENTION CONTRACTORS:

The Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Infrastructure Inspections Division and schedule a Pre-construction meeting on the Development Portal prior to beginning any construction.
Raleigh Water must be contacted at (919) 996-4540 at least twenty-four hours prior to beginning any work activity around critical water and sewer infrastructure.

Failure to notify City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for Inspection, install a downstream plug, have permitted plans on the jobsite, or any other violation of City of Raleigh Standards will result in a fine and possible exclusion from future work in the City of Raleigh.

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NEW WATER LINE
NEW SANITARY SEWER
NEW STORM DRAINAGE
EXISTING CONTOUR LINE
NEW CONTOUR LINE
EXISTING OVERHEAD POWER
SWALE

Drawing Title

UTILITY PLAN

Revisions

Number	Description	Date
1	CITY OF RALEIGH REVIEW COMMENTS	12/17/24

Drawing Scale	1" = 20'
Drawn By	BF
Checked By	JRC
Date Issued	10/30/24

CE-4

sheet of sheets

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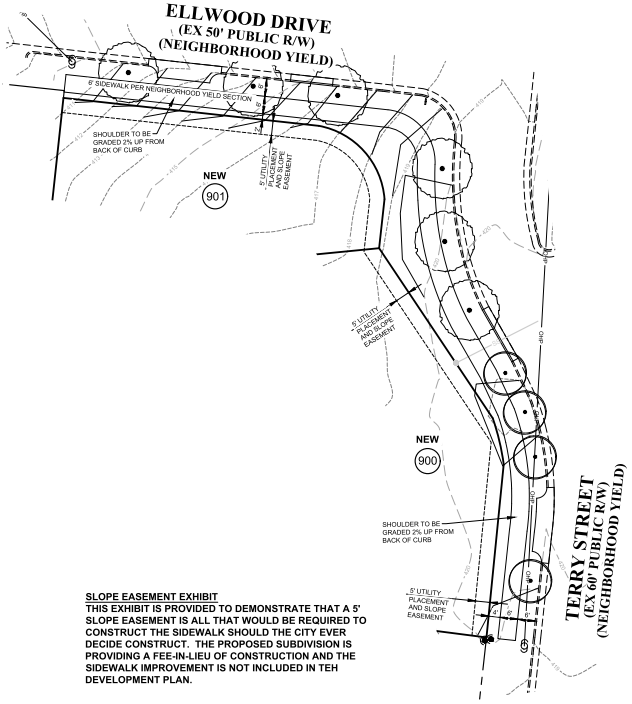
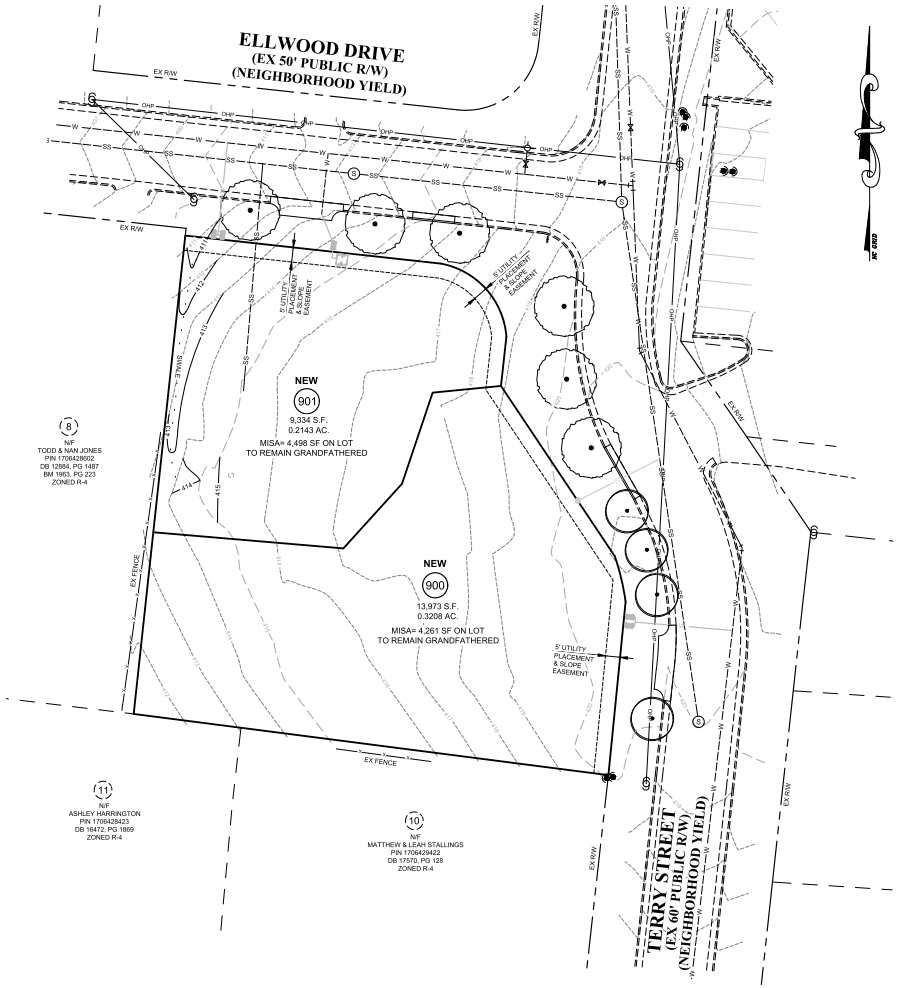


SLOPE EASEMENT EXHIBIT
THIS EXHIBIT IS PROVIDED TO DEMONSTRATE THAT A 5' SLOPE EASEMENT IS ALL THAT WOULD BE REQUIRED TO CONSTRUCT THE SIDEWALK SHOULD THE CITY EVER DECIDE CONSTRUCT. THE PROPOSED SUBDIVISION IS PROVIDING A FEE-IN-LIEU OF CONSTRUCTION AND THE SIDEWALK IMPROVEMENT IS NOT INCLUDED IN TEH DEVELOPMENT PLAN.



STORMWATER MANAGEMENT PLAN
IN ACCORDANCE WITH 9.2.2.A.2.b.i. THIS IS A SUBDIVISION OF A GRANDFATHERED LOT ONE ACRE OR LESS TO BE USED FOR SINGLE UNIT LIVING, OR ANY ATTACHED HOUSE, TINY HOUSE OR TWO UNIT TOWNHOUSE DEVELOPMENT USED FOR 2 UNIT LIVING AND THEREFORE REMAINS GRANDFATHERED SUBJECT TO MAXIMUM PERCENTAGE OF IMPERVIOUS SURFACE COVERAGE OUTLINED PER ZONING IN 9.2.2.A.4.a.

NEW LOT 900 IS SUBJECT TO A MAXIMUM 38% IMPERVIOUS SURFACE COVERAGE AREA WHICH INCLUDES A 6' PUBLIC SIDEWALK AND THE DRIVEWAY CONNECTION IN THE PUBLIC R/W.

NEW LOT 901 IS SUBJECT TO A MAXIMUM IMPERVIOUS SURFACE AREA (MISA) OF 4,580 SF ON THE LOT. A FLOOD STUDY IS PROVIDED IN ACCORDANCE WITH 9.2.2.A.4.b.ii. THE FLOOD STUDY INCLUDES IMPERVIOUS SURFACE AREA FOR THE 6' PUBLIC SIDEWALK AND DRIVEWAY LOCATED IN THE PUBLIC R/W WHICH IS IN ADDITION TO THE MISA SHOWN ON THE LOT.

IMPERVIOUS AREAS WITHIN THE PUBLIC R/W AND INCLUDED IN THE FLOOD STUDY ARE SUMMARIZED IN THE IMPERVIOUS AREA SUMMARY TABLE.

IMPERVIOUS AREA SUMMARY

EXISTING ON SITE..... **5,068 S.F. - 0.12 AC.**
(EXISTING GRANDFATHERED LOT)
EXISTING IN R/W (TO EXISTING BACK OF CURB)..... **371 S.F. - 0.0085 AC.**
PROPOSED MAX ON NEW LOT 900 (38% LESS R/W IMPROVEMENTS TO BACK OF CURB)..... **4,261 S.F. - 0.0978 AC.**
PROPOSED IN R/W LOT 900 (TO EXISTING BACK OF CURB)..... **1,056 S.F. - 0.0242 AC.**
PROPOSED MAX ON NEW LOT 901..... **4,498 S.F. - 0.1051 AC.**
PROPOSED IN R/W LOT 901 (TO EXISTING BACK OF CURB)..... **1,122 S.F. - 0.0258 AC.**

ATTENTION CONTRACTORS:

The Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Infrastructure Inspections Division and schedule a Pre-construction meeting on the Development Portal prior to beginning any construction.
Raleigh Water must be contacted at (919) 996-4540 at least twenty-four hours prior to beginning any work activity around critical water and sewer infrastructure.

Failure to notify City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for Inspection, install a downstream plug, have permitted plans on the jobsite, or any other violation of City of Raleigh Standards will result in a fine and possible exclusion from future work in the City of Raleigh.

GRAPHIC SCALE
20 0 10 20 40 80
(IN FEET)
1 inch = 20 ft.

JOHN A. EDWARDS & COMPANY
Consulting Engineers
and Land Surveyors

NC License F-0289
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E-mail: info@jaeco.com

www.jaeco.com

Seals

[redacted]

Project

THE ELLWOOD AT NORTH HILLS

201 ELLWOOD DRIVE
RALEIGH, NC 27609

Client

LINK TINK, LLC
2019 FAIRVIEW ROAD
RALEIGH, NC 27608

LEGEND

AC	ACREAGE	HW	HEADWALL
BM	BOOK OF MAPS	INV	INVERT
BO	BLOWOFF	IPS	IRON PIPE SET
BW	BOTTOM OF WALL	JB	JUNCTION BOX
C&G	CURB AND GUTTER	MH	MANHOLE
CB	CATCH BASIN	MIN	MINIMUM
CMP	CORRUGATED METAL PIPE	N/F	NOW OR FORMERLY
		PDE	PRIVATE DRAINAGE EASEMENT
CO	SEWER CLEANOUT	PVC	PVC
CONC.	CONCRETE	PVC	POLYVINYL CHLORIDE PIPE
DB	DEED BOOK	RCP	REINFORCED CONCRETE PIPE
DCVA	DOUBLE CHECK VALVE	RPDA	REDUCED PRESSURE DETECTOR ASSEMBLY
D.I.	DUCTILE IRON	RPZ	REDUCED PRESSURE ZONE
DI	DROP INLET	R/W	RIGHT-OF-WAY
EIP	EXISTING IRON PIPE	S.F.	SQUARE FEET
ELEV.	ELEVATION	SP	SPACES
EOP	EDGE OF PAVEMENT	SS	SANITARY SEWER
ESMT.	EASEMENT	SW	SIDEWALK
EX.	EXISTING	TC	TOP OF CURB
FDC	FIRE DEPARTMENT CONNECTION	TCA	TREE CONSERVATION AREA
FES	FLARED END SECTION	TCP	TERRA COTTA PIPE
FFE	FINISHED FLOOR ELEVATION	TSP	TRAFFIC SIGNAL
		TW	TOP OF WALL
FH	FIRE HYDRANT	TYP	TYPICAL
FL	FIRE LINE	WL	WATER LINE
HB	HANDICAP BOTTOM	WM	WATER METER
HC	HANDICAP	WS	WATER SERVICE
HT	HANDICAP TOP	**WV**	**WATER VALVE**
		YI	**YARD INLET**

CONCRETE
EX. WATER VALVE
EX. FIRE HYDRANT
EX. WATER METER
EX. SEWER MANHOLE
EX. SEWER CLEANOUT
EX. STORM CATCH BASIN
EX. STORM DROP INLET
EX. FLARED END SECTION
EX. LIGHT POLE
EX. IRON PIPE
EX. POWER POLE
NEW WATER VALVE
NEW WATER REDUCER
NEW FIRE HYDRANT
NEW WATER METER
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NEW SEWER CLEANOUT
NEW STORM CATCH BASIN
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RIGHT-OF-WAY LINE
LOT LINE
EASEMENT LINE
W — EXISTING WATER LINE
SS — EXISTING SANITARY SEWER
EXISTING STORM DRAINAGE
W — NEW WATER LINE
SS — NEW SANITARY SEWER
NEW STORM DRAINAGE
270 — EXISTING CONTOUR LINE
270 — NEW CONTOUR LINE
OHP — EXISTING OVERHEAD POWER
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Drawing Title

GRADING / STORMWATER PLAN

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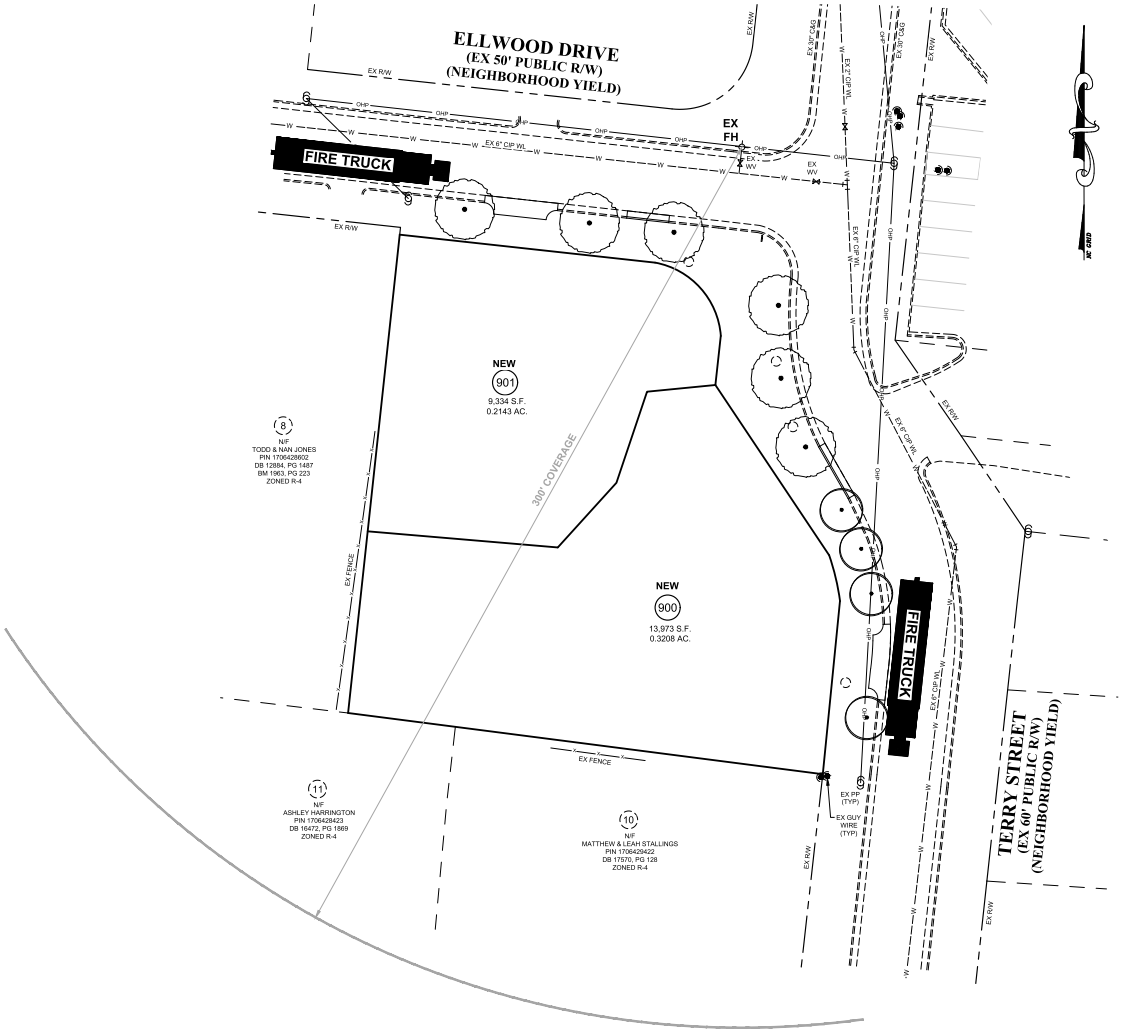

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Drawing Title

FIRE DEPARTMENT PLAN

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