



Administrative Approval Action

Case File / Name: SUB-0060-2019
Harold & Coral Stevens

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located north of Glen Eden Drive at the north end of Yelverton Circle at 3417 Yelverton Circle.

REQUEST: Development of a 0.662 acre tract zoned R-4 into a proposed 2 lot subdivision. Proposed New Lot 1 being 13,068 sf/0.3 acres; New Lot 2 being 15,421 sf/0.35 acres with 359 sf/.01 acres of right-of-way dedication along Yelverton Circle. The proposed density for the subdivision site is 3 units/acre.

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated February 11, 2020 by JOHN A EDWARDS AND CO.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

Stormwater

1. These lots are exempt per UDO Section 9.2.2.A.2.b.i as a residential subdivision of one acre or less approved after May 1, 2001, but are subject to impervious limitations of subsection A.4 and subject to further review upon placement of impervious surface areas.
2. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).

☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

General

1. A demolition permit shall be issued and this building permit number shown on all maps for recording.



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2. A note is placed on all plat recordings stating: " Residential Infill rules may apply per UDO Sec. 2.2.7."

Engineering

3. A 5' utility placement easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.
4. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.

Stormwater

5. The maximum allocated impervious area for all applicable lots in the subdivision should be identified on all maps for recording.
6. A mass grading permit will be required prior to demolition. (UDO 9.4.6)

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

Stormwater

1. Impervious restrictions for each lot must be recorded on a plat prior to building permit issuance.

The following are required prior to issuance of building occupancy permit:

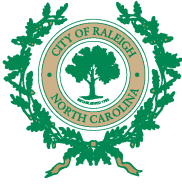
Stormwater

1. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).

EXPIRATION DATES: If significant construction has not taken place on a project after preliminary subdivision approval, that approval may "sunset" and be declared void, requiring re-approval before permits may be issued. To avoid allowing this preliminary approval to "sunset", the following must take place by the following dates:

3-Year Sunset Date: March 10, 2023
Record at least ½ of the land area approved.

5-Year Sunset Date: March 10, 2025



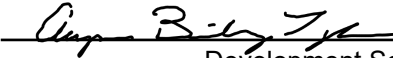
Administrative Approval Action

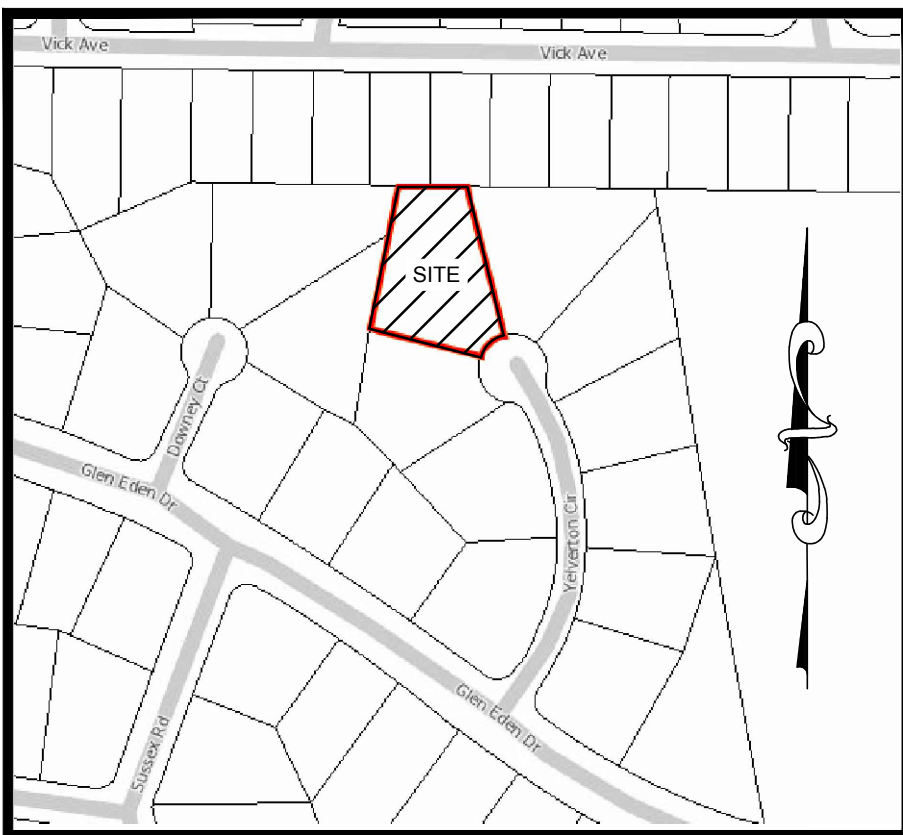
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Record entire subdivision.

I hereby certify this administrative decision.

Signed:  Date: 03/10/2020
Development Services Dir/Designee
Staff Coordinator: **Jermont Purifoy**



VICINITY MAP
1" = 300'

LEGEND

AC.	ACREAGE	HW.	HEADWALL
BM.	BOOK OF MAPS	INV.	INVERT
BO.	BLOWOFF	IPS.	IRON PIPE SET
BW.	BOTTOM OF WALL	JB.	JUNCTION BOX
C&G.	CURB AND GUTTER	MH.	MANHOLE
CB.	CATCH BASIN	MIN.	MINIMUM
CMP.	CORRUGATED METAL PIPE	NIF.	NOW OR FORMERLY
CO.	SEWER CLEANOUT	PVC.	POLYVINYL CHLORIDE PIPE
CONC.	CONCRETE	RCP.	REINFORCED CONCRETE PIPE
DB.	DEED BOOK	RPDA.	REDUCED PRESSURE DETECTOR ASSEMBLY
DCVA.	DOUBLE CHECK VALVE	RPZ.	REDUCED PRESSURE ZONE
D.I.	DUCTILE IRON	RW.	RIGHT-OF-WAY
DI.	DROP INLET	S.F.	SQUARE FEET
EIP.	EXISTING IRON PIPE	SP.	SPACES
ELEV.	ELEVATION	SS.	SANITARY SEWER
EOP.	EDGE OF PAVEMENT	SW.	SIDEWALK
ESMT.	EASEMENT	TC.	TOP OF CURB
EX.	EXISTING	TCA.	TREE CONSERVATION AREA
FDC.	FIRE DEPARTMENT CONNECTION	TCP.	TERRA COTTA PIPE
FES.	FLARED END SECTION	TSP.	TRAFFIC SIGNAL
FFE.	FINISHED FLOOR ELEVATION	TW.	TOP OF WALL
FL.	FIRE HYDRANT	TYP.	TYPICAL
HL.	FIRE LINE	WL.	WATER LINE
HB.	HANDICAP BOTTOM	WM.	WATER METER
HC.	HANDICAP	WS.	WATER SERVICE
HT.	HANDICAP TOP	WV.	WATER VALVE
HT.	HANDICAP TOP	YI.	YARD INLET

CONCRETE	EX. POWER POLE
EX. WATER VALVE	NEW WATER VALVE
EX. FIRE HYDRANT	NEW WATER REDUCER
EX. WATER METER	NEW FIRE HYDRANT
EX. SEWER MANHOLE	NEW WATER METER
EX. SEWER CLEANOUT	NEW SEWER MANHOLE
EX. STORM CATCH BASIN	NEW SEWER CLEANOUT
EX. STORM DROP INLET	NEW STORM CATCH BASIN
EX. FLARED END SECTION	NEW STORM DROP INLET
EX. LIGHT POLE	NEW FLARED END SECTION
PROPERTY LINE	
RIGHT-OF-WAY LINE	
LOT LINE	
EASEMENT LINE	
EXISTING WATER LINE	
EXISTING SANITARY SEWER	
EXISTING STORM DRAINAGE	
NEW WATER LINE	
NEW SANITARY SEWER	
NEW STORM DRAINAGE	
EXISTING CONTOUR LINE	
NEW CONTOUR LINE	

SOLID WASTE INSPECTIONS STATEMENT
DEVELOPER IS IN COMPLIANCE WITH
THE REQUIREMENTS SET FORTH IN
THE SOLID WASTE DESIGN MANUAL.

ALL CONSTRUCTION SHALL BE IN
ACCORDANCE WITH CITY OF RALEIGH
AND / OR NCDOT STANDARDS AND
SPECIFICATIONS.

HORIZONTAL DATUM: NAD83
VERTICAL DATUM: NAVD88

BLOCK PERIMETER
VARIANCE APPROVED BY BOA
CASE# BOA-0011-2019

TREE CONSERVATION
SITE IS EXEMPT
LESS THAN 2 ACRES

STORMWATER
UDO 9.2.2 EXEMPT LOTS SUBJECT TO
MAX. 38% ALLOWED IMPERVIOUS

3417 YELVERTON CIRCLE

PRELIMINARY SUBDIVISION PLAN REVIEW

SUB-0060-2019

RALEIGH, NORTH CAROLINA

NOVEMBER 07, 2019
REVISED JANUARY 6, 2020

REVISED FEBRUARY 11, 2020

OWNER/DEVELOPER:
HAROLD & CORAL STEVENS
3417 Yelverton Cir., Raleigh, NC 27612
Phone: (919) 815-3166
stevenscoral@netzero.net

SITE DATA

OWNER: HAROLD & CORAL STEVENS
3417 YELVERTON CIRCLE
RALEIGH, NC 27612

REFERENCE: DB 4734, PG 607
BM 1969, PG 112
WAKE COUNTY REGISTRY

LOTS: 2 / DETACHED HOUSE

PIN: 0795.16-84-0843

DENSITY: 3 D.U. / AC.

ZONING: R-4

LOT 1: 13,068 S.F. (0.3000 AC.)
R/W DEDICATION: 178 S.F. (0.0041 AC.)
LOT 2: 15,421 S.F. (0.3540 AC.)
R/W DEDICATION: 181 S.F. (0.0042 AC.)
TOTAL: 28,488 S.F. (0.6623 AC.)

EXISTING LOT: 28,848 S.F. (0.6623 AC.)

DEVELOPMENT SERVICES

Preliminary Subdivision Plan Application

Development Services Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495



This form is used when submitting a Preliminary Subdivision (UDO Section 10.2.5.)
Please check the appropriate review type and include the plan checklist document.

Please email your completed application to DS.intake@raleighnc.gov.

Office Use Only: Case #: _____ Planner (print): _____
Pre-application Conference Date: _____ Planner (signature): _____

DEVELOPMENT TYPE (UDO Section 2.1.2)			
<input checked="" type="checkbox"/> Conventional Subdivision	<input type="checkbox"/> Compact Development	<input type="checkbox"/> Conservation Development	<input type="checkbox"/> Cottage Court
NOTE: Subdivisions may require City Council approval if in a Metro Park Overlay or Historic Overlay District			
GENERAL INFORMATION			
Scoping/sketch plan case number(s):			
Development name (subject to approval): HAROLD & CORAL STEVENS			
Property Address(es): 3417 Yelverton Circle, Raleigh NC 27612			
Recorded Deed PIN(s): 0795.16-84-0843			
What is your project type?	<input checked="" type="checkbox"/> Single family	<input type="checkbox"/> Townhouse	<input type="checkbox"/> Attached houses
	<input type="checkbox"/> Apartment	<input type="checkbox"/> Non-residential	<input type="checkbox"/> Other:

CURRENT PROPERTY OWNER/DEVELOPER INFORMATION	
NOTE: Please attach purchase agreement when submitting this form	
Company: Harold & Coral Stevens	Owner/Developer Name and Title: Harold & Coral Stevens / Owners
Address: 3417 Yelverton Circle, Raleigh NC 27612	
Phone #: (919) 815-3166	Email: stevenscoral@netzero.net
APPLICANT INFORMATION	
Company: John A. Edwards & Company	Contact Name and Title: Johnny Edwards
Address: 333 Wade Avenue, Raleigh NC 27605	
Phone #: (919) 828-4428	Email: johnny@jaeco.com

DEVELOPMENT TYPE + SITE DATA TABLE	
(Applicable to all developments)	
ZONING INFORMATION	
Gross site acreage: 0.6623 AC.	
Zoning districts (if more than one, provide acreage of each): R-4	
Overlay district:	Inside City limits? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Conditional Use District (CUD) Case # Z-	Board of Adjustment (BOA) Case # A- 0011-2019

STORMWATER INFORMATION	
Existing Impervious Surface: Acres: 0.13 AC. Square Feet: 5,448 S.F.	Proposed Impervious Surface: Acres: 0.59 AC. Square Feet: 21,524 S.F.
Nause River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Is this a flood hazard area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If yes, please provide the following: Alluvial soils: _____ Flood study: _____ FEMA Map Panel #: _____	
NUMBER OF LOTS AND DENSITY	
Total # of townhouse lots: 0	Detached 0 Attached
Total # of single-family lots: 2	
Proposed density for each zoning district (UDO 15.2.F): 3 D.U. / AC.	
Total # of open space and/or common area lots: 0	
Total # of requested lots: 2	

SIGNATURE BLOCK	
In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors, and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City of Raleigh.	
I hereby designate Johnny Edwards to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.	
I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy which states applications will expire after 180 days of inactivity.	
Signature: <i>[Signature]</i>	Date: 11/5/19
Printed Name: Harold C. Stevens / Owner	
Signature: <i>[Signature]</i>	Date: 11/5/19
Printed Name: Coral C. Stevens / Owner	

INDEX

CE-1	COVER SHEET
CE-2	EXISTING CONDITIONS
CE-3	SUBDIVISION PLAN
CE-4	STORMWATER & UTILITY PLAN

DATE	REVISION	BY



JOHN A. EDWARDS & COMPANY
Consulting Engineers
NC License F-0289
333 Wade Ave., Raleigh, N.C. 27605
Phone: (919) 828-4428
Fax: (919) 828-4711
E-mail: info@jaeco.com

SCALE: N/A
FLD. BK. & PAGE: _____
FILE NO: _____
DATE: 11/07/2019
DRAWN BY: BF
CHECKED BY: JAE, JR.

OWNER: **HAROLD & CORAL STEVENS**
PROJECT: **3417 YELVERTON CIRCLE**
COVER SHEET

SHEET
CE-1

