Preliminary Subdivision Application Planning and Development

Raleigh

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500

INSTRUCTIONS: This form is used when submitting a Preliminary Subdivision (UDO Section 10.2.5). Please check the appropriate review type and include the plan checklist document. Please email all documents and your preliminary subdivision plans to <u>SiteReview@raleighnc.gov</u>.

		DEVE	OPMENT TYPE (U	IDO Sec	tion 2.1.2)	
X Conven	tional Subdivision		pact Development		nservation Development	Cottage Court
NOTE: Subdivisions may require City Council approval if in a Metro Park Overlay or Historic Overlay District						
			GENERAL INFOR	RMATIO	N	
Scoping/sketch	plan case number	(s):				
Development n	ame (subject to ap	proval):				
Property Addre	ss(es):					
Recorded Deed	d PIN(s):					
What is your	Single	e family	Townhou	lse		Attached houses
project type?	Apart	ment	Non-resi	dential	Other:	

	PERTY OWNER/DEVELOPER INFORMATION purchase agreement when submitting this form
Company:	Owner/Developer Name and Title:
Address:	
Phone #:	Email:
	APPLICANT INFORMATION
Company:	Contact Name and Title:
	Address:
Phone #:	Email:

Continue to page 2 >>

DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)

ZONING INFORMATION

Gross site acreage:

Zoning districts (if more than one, provide acreage of each):

Overlay district:	Inside City limits? Yes No
Conditional Use District (CUD) Case # Z-	Board of Adjustment (BOA) Case # A-

		STO	RMWATER I	NFORMATION	l		
Existing Impervious Surface	ce:			Proposed Imp	ervious Surface:		
Acres:	Squar	e Feet:		Acres:	Square	Feet:	
Neuse River Buffer	Yes	No		Wetlands	Yes	No	
Is this a flood hazard area	?	Yes	No				
If yes, please provide the f	ollowing	j :					
Alluvial soils:						-	
Flood study:						_	
FEMA Map Panel #:							
		NUMB	ER OF LOT	S AND DENSIT	Υ		
Total # of townhouse lots:		Detache	ed	Attached			
Total # of single-family lots	6:						
Proposed density for each	zoning	district (UDC	O 1.5.2.F):				
Total # of open space and	/or comr	mon area lot	s:				
Total # of requested lots:							

SIGNATURE BLOCK

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

I, ______ will serve as the agent regarding this application, and will receive and respond to administrative comments, resubmit plans and applicable documentation, and will represent the property owner(s) in any public meeting regarding this application.

I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.

Signature: Jule funct	Date:
Printed Name.	
Signature: Cobu Muray	Date:
Printed Name:	

Please email your completed application to <u>SiteReview@raleighnc.gov</u>.

REVISION 02.19.21

BATTERY TOWNHOMES

1613 BATTERY DR RALEIGH NC 27610

CITY OF RALEIGH PRELIMINARY SUBDIVISION SUBMITTAL

SUBMITTED ON: 09/07/2022

Preliminary Subdivision Application Planning and Development

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



INSTRUCTIONS: This form is used when submitting a Preliminary Subdivision (UDO Section 10.2.5). Please check the appropriate review type and include the plan checklist document. Please email all documents and your preliminary subdivision plans to <u>SiteReview@raleighnc.gov</u>.

	DEVELOPMENT TYPE (UDO Section 2.1.2)
X Conventional Subdivision	Compact Development Conservation Development Cottage Court
NOTE: Subdivisions may require	City Council approval if in a Metro Park Overlay or Historic Overlay District
	GENERAL INFORMATION
Scoping/sketch plan case numbe	er(s):
Development name (subject to ap	pproval): BATTERY TOWNHOMES
Property Address(es): 1613	BATTERY DRIVE RALEIGH, NC 27610
Recorded Deed PIN(s): 1713474	4319
	lle family rtment
CURR	ENT PROPERTY OWNER/DEVELOPER INFORMATION
	ENT PROPERTY OWNER/DEVELOPER INFORMATION base attach purchase agreement when submitting this form
NOTE: Plea	
NOTE: Plea	Pase attach purchase agreement when submitting this form T GROUP, LLC Owner/Developer Name and Title: COBURN MURRAY, OWNER
NOTE: Plea Company: REDEEMING DEVELOPMENT	Pase attach purchase agreement when submitting this form T GROUP, LLC Owner/Developer Name and Title: COBURN MURRAY, OWNER
NOTE: Plea Company: REDEEMING DEVELOPMENT Address: 618 CUMBERLAND STR	Pase attach purchase agreement when submitting this form T GROUP, LLC Owner/Developer Name and Title: COBURN MURRAY, OWNER EET RALEIGH, NC 27610
NOTE: Plea Company: REDEEMING DEVELOPMENT Address: 618 CUMBERLAND STR	Pase attach purchase agreement when submitting this form T GROUP, LLC Owner/Developer Name and Title: COBURN MURRAY, OWNER EET RALEIGH, NC 27610 Email: COBURNMURRAY@YAHOO.COM APPLICANT INFORMATION
NOTE: Plea Company: REDEEMING DEVELOPMENT Address: 618 CUMBERLAND STR Phone #: 919-473-6461	Pase attach purchase agreement when submitting this form T GROUP, LLC Owner/Developer Name and Title: COBURN MURRAY, OWNER EET RALEIGH, NC 27610 Email: COBURNMURRAY@YAHOO.COM APPLICANT INFORMATION

Continue to page 2 >>

Page **1** of **2**

REVISION 02.19.21 raleighnc.gov

Page **2** of **2**

	Sheet L
Sheet Number	
C0.00	
C0.20	
C1.00	EXISTING
C3.00	
C5.00	GR
C6.00	
C9.00	
L5.00	

	YPE + SITE DATE TABLE to all developments)
	INFORMATION
Gross site acreage: 0.40 AC / 17,389 SF	
Zoning districts (if more than one, provide acreage of	each): R-4, 4-10
Overlay district: FREQUENT TRANSIT DISTRICT	Inside City limits? 🖌 Yes 🗌 No
Conditional Use District (CUD) Case # Z- N/A	Board of Adjustment (BOA) Case # A- N/A
STORMWA	TER INFORMATION
Existing Impervious Surface:	Proposed Impervious Surface:
Acres: 0.06 AC Square Feet: 2.545 SF	Acres: 0.23 AC Square Feet: 10,135 SF
Neuse River Buffer 🗌 Yes 🖌 No	Wetlands Yes 🖌 No
Is this a flood hazard area? ☐ Yes ✔ No If yes, please provide the following: Alluvial soils: Flood study: FEMA Map Panel #:	
NUMBER OF	LOTS AND DENSITY
Total # of townhouse lots: Detached 0	Attached 7
Total # of single-family lots: 7	
Proposed density for each zoning district (UDO 1.5.2.	F):
Total # of open space and/or common area lots: 1	
Total # of requested lots: 8	
SIGNA	TURE BLOCK
	aware of this application and that the proposed project pects in accordance with the plans and specifications submitted gulations of the City of Raleigh Unified Development Ordinance.
	ill serve as the agent regarding this application, and will receive
and respond to administrative comments, resubmit plan owner(s) in any public meeting regarding this application	is and applicable documentation, and will represent the property n.
	ct is conforming to all application requirements applicable with application is subject to the filing calendar and submittal policy, activity.
Signature: Jubi fault	Date: 08/26/2022
Printed Name. LUKE PERKINS, PE	
Signature: Com maray	Date: 09/06/2022
Printed Name: COBURN MURRAY	

Please email your completed application to <u>SiteReview@raleighnc.gov</u>.

REVISION 02.19.21 raleighnc.gov **RIGHT-OF-WAY OBSTRUCTION NOTE** PRIOR TO ANY WORK THAT IMPACTS THE RIGHT-OF-WAY, CLOSING OR DETOURING OF ANY STREET

- AND ALL NCDOT STREETS WITHIN RALEIGH'S JURISDICTION.
- 3. A PERMIT REQUEST WITH A TCPED PLAN SHALL BE SUBMITTED TO RIGHT-OF-WAY SERVICES THROUGH THE CITY OF RALEIGH PERMIT AND DEVELOPMENT PORTAL.
- THE ENGINEERING INSPECTIONS COORDINATOR TO REVIEW THE SPECIFIC COMPONENTS OF THE APPROVED PLAN, AND ENSURE ALL PERMITS ARE ISSUED.
- 5. ALL TCPED PLANS SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS AND STANDARDS, INCLUDING BUT NOT LIMITED TO: 5.1. MANUAL ON UNIFORM TRAFFIC CONTROL (MUTCD); 5.2. PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG); 5.3. AMERICAN DISABILITY ACT (ADA) REQUIREMENTS 5.4. RALEIGH STREET DESIGN MANUAL (RSDM).
- 6. ALL PUBLIC SIDEWALKS MUST BE ACCESSIBLE TO PEDESTRIANS WHO ARE VISUALLY IMPAIRED AND/OR PEOPLE WITH MOBILITY CONCERNS. EXISTING AND ALTERNATIVE PEDESTRIAN ROUTES DURING CONSTRUCTION SHALL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- GENERAL NOTES
- 1. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE OFFICE OF STATE AND SPECIFICATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING EXISTING CONDITIONS PRIOR TO OF ANY DISCREPANCIES OR CONFLICTS. 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING, COORDINATING AND PAYMENT FOR ALL
- REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS. NO EXCAVATION OR DEMOLITION SHALL BE STARTED WITHOUT ALL UTILITIES BEING LOCATED.
- REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS.
- AT THE CONTRACTOR'S EXPENSE.
- 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND COORDINATING PERMITS, INSPECTIONS, CERTIFICATIONS AND OTHER REQUIREMENTS WHICH MUST BE MET UNDER THIS CONTRACT.
- 7. THE CONTRACTOR SHALL MAINTAIN "AS-BUILT" DRAWINGS TO RECORD THE ACTUAL LOCATION OF ALL PIPING THROUGHOUT THE PROJECT FOR RECORD KEEPING.
- 8. IF DEPARTURES FROM THE PROJECT DRAWINGS OR SPECIFICATIONS ARE DEEMED NECESSARY BY THE THE EXPRESS WRITTEN PERMISSION OF THE OWNER'S REPRESENTATIVE.
- 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RELOCATION OF ANY EXISTING UTILITY LINES REQUIRED TO COORDINATION AND COSTS OF THE RELOCATION AND ASSOCIATED WORK. 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE PREMISES FREE FROM ACCUMULATIONS OF WASTE
- SITE ON A DAILY BASIS.
- ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.
- LBS) DURING ALL PHASES OF CONSTRUCTION ONCE VERTICAL CONSTRUCTION HAS BEGUN.

ist Table
Sheet Title
COVER SHEET
GENERAL NOTES
G CONDITIONS & DEMOLITION PLAN
SUBDIVISION PLAN
ADING AND DRAINAGE PLAN
UTILITY PLAN
SITE DETAILS
PLANTING PLAN



VICINITY MAP 1" = 40'

SITE DATA

PROJECT NAME: SITE ADDRESS: COUNTY: PARCEL PIN #: PARCEL OWNER: PARCEL AREA: TOTAL SITE GROSS ACREAGE NET ACREAGE: CURRENT ZONING: PROPOSED ZONING: EXISTING LAND USE: PROPOSED LAND USE: FLOOD PLAIN DATA: RIVER BASIN: DEVELOPMENT TYPE: MAX BUILDING HEIGHT: PROPOSED BUILDING HEIGHT: PROPOSED NUMBER OF LOTS: PROPOSED NUMBER OF TOWNHOME LOTS: TREE CONSERVATION AREA: TOTAL LIMITS OF DISTURBANCE: EXISTING IMPERVIOUS AREA: PROPOSED IMPERVIOUS AREA: AMENITY AREA REQUIRED AMENITY AREA PROVIDED REQUIRED DENSITY: PROVIDED DENSITY:

PARKING DATA: PROPOSED PARKING:

SOLID WASTE:

BIKE PARKING REQUIRED BIKE PARKING PROVIDED

ALONG PROPERTY FRONTAGE OF PUBLIC STREET

1613 BATTERY DR RALEIGH NC 27610 WAKE 1713474319 TIMOTHY MAYNER JR 0.44 AC / 19,235 SF 0.44 AC / 19,235 SF 0.40 AC / 17,389 SF R-4, R-10 R-4, R-10 **RESIDENTIAL - SINGLE-UNIT LIVING RESIDENTIAL - MULTI-UNIT LIVING** N/A NEUSE TOWNHOUSE N/A 0.50 AC / 21,638 SF 0.06 AC / 2,545 SF 0.23 AC / 10,135 SF 0.04 AC / 1,739 SF 0.04 AC / 1,905 SF 2,000 SF / UNIT 17,389 SF / 7 UNITS = 2,484 SF / UNIT

BATTERY TOWNHOMES

14 3 SPACES (LONG-TERM) 4 SPACES (LONG-TERM)

SOLID WASTE TO BE HANDLED VIA ROLL OUT CART. CARTS ARE TO BE STORED IN GARAGES AND ROLLED OUT TO CURB

LANE, OR SIDEWALK, THE CONTRACTOR MUST APPLY FOR A PERMIT WITH RIGHT-OF-WAY SERVICES PLEASE DIRECT ANY QUESTIONS TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV

2. THE STREET, LANE, SIDEWALK, CLOSURE PERMIT IS REQUIRED FOR ANY CLOSURE ON CITY STREETS

4. PRIOR TO THE START OF WORK, THE CLIENT SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH

ACCESSIBILITY GUIDELINES (PROWAG), THE ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE 7. ALL PERMITS MUST BE AVAILABLE AND VISIBLE ON SITE DURING THE OPERATION.

CONSTRUCTION, DEPARTMENT OF INSURANCE, NCDENR, AND ALL OTHER APPLICABLE LOCAL, STATE AND FEDERAL GUIDELINES. ALL UTILITY CONSTRUCTION SHALL COMPLY WITH APPLICABLE LOCAL JURISDICTIONAL STANDARDS

COMMENCEMENT OF ANY WORK. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE

NECESSARY LOCATING SERVICES INCLUDING INDEPENDENT LOCATING SERVICES. THE CONTRACTOR SHALL PROVIDE NOTICE OF EXCAVATION TO NOTIFICATION CENTER AND FACILITY OWNERS (PER NC STATUTE) NO LESS THAN 3 BUSINESS DAYS AND NO MORE THAN 12 WORKING DAYS PRIOR TO BEGINNING DEMOLITION, EXCAVATION OR ANY OTHER FORM OF CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S

4. ALL SUB-SURFACE UTILITIES IDENTIFIED ON THE CONSTRUCTION DOCUMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATION BASED ON SURVEY INFORMATION GATHERED FROM FIELD INSPECTION AND/OR ANY OTHER APPLICABLE RECORD DRAWINGS WHICH MAY BE AVAILABLE. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S

. EXISTING IMPROVEMENTS DAMAGED OR DESTROYED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE RESTORED OR REPLACED TO ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE

PRIOR TO CONCEALMENT, VALVE AND MANHOLE CHANGES, AND HARDSCAPE OR LANDSCAPE CHANGES. DRAWINGS SHALL BE PROVIDED TO THE OWNER'S REPRESENTATIVE AT REGULAR INTERVALS, OR AS REQUESTED

CONTRACTOR, DETAILS OF SUCH DEPARTURES AND REASONS THERE OF SHALL BE SUBMITTED TO THE OWNER'S REPRESENTATIVE FOR REVIEW. NO DEPARTURES FROM THE CONTRACT DOCUMENTS SHALL BE MADE WITHOUT

COMPLETE ANY PORTION OF CONSTRUCTION. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE

MATERIALS AND RUBBISH CAUSED BY THE CONTRACTOR. ALL DEBRIS SHALL BE REMOVED FROM THE PROJECT

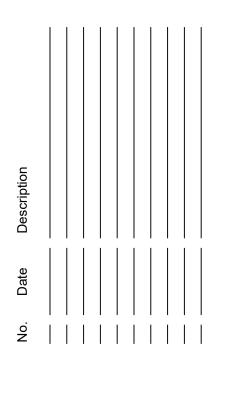
11. THE ENGINEER AND/OR OWNER DISCLAIM ANY ROLE IN THE CONSTRUCTION MEANS AND/OR METHODS

12. ROADWAYS (TEMPORARY OR PERMANENT) MUST BE CAPABLE OF SUPPORTING FIRE FIGHTING APPARATUS (85,000

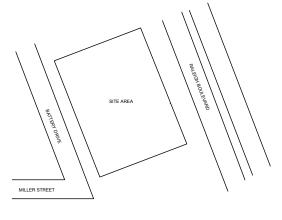


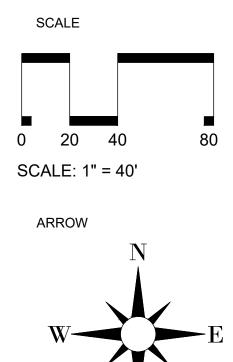
LUKE PERKINS 828-735-1862 LUKE.PERKINS@SWIFT-PARTNERS.COM















SITE LEGEND:

PROPOSED BUILDING

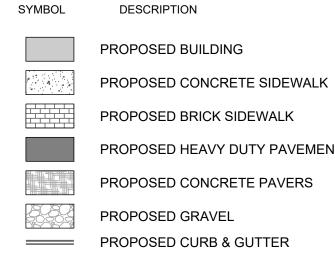
PROPOSED GRAVEL

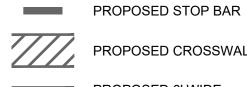
PROPOSED CROSSWALK

PROPOSED BRICK SIDEWALK

PROPOSED CONCRETE PAVERS

PROPOSED HEAVY DUTY PAVEMENT

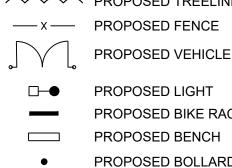




PROPOSED 6' WIDE ------ STANDARD CROSSWALK PROPOSED 10' WIDE HIGH VISIBILITY CROSSWALK







---- PROPOSED SIGN H/C PROPOSED ADA PARKING SPACE PROPOSED KEYSTONE WALL PROPOSED CIP WALL PROPOSED WHEEL STOP PROPOSED GRAVEL TRAIL PROPOSED ASPHALT TRAIL PROPOSED TREELINE

PROPOSED VEHICLE GATE (X' WIDE) PROPOSED LIGHT

PROPOSED BIKE RACK

PROPOSED BOLLARD

PROPOSED PEDESTRIAN STEEL PLATE

LIMITS OF DISTURBANCE

NOTES:

SITE DATA

1. SEE SHEET C0.10 FOR GENERAL AND SITE NOTES.

PROJECT NAME: SITE ADDRESS: COUNTY: PARCEL PIN #: PARCEL OWNER: PARCEL AREA: TOTAL SITE GROSS ACREAGE: NET ACREAGE: CURRENT ZONING: PROPOSED ZONING: EXISTING LAND USE: PROPOSED LAND USE: FLOOD PLAIN DATA: RIVER BASIN: DEVELOPMENT TYPE: MAX BUILDING HEIGHT: PROPOSED BUILDING HEIGHT: PROPOSED NUMBER OF LOTS: PROPOSED NUMBER OF TOWNHOME LOTS: TREE CONSERVATION AREA: TOTAL LIMITS OF DISTURBANCE: EXISTING IMPERVIOUS AREA: PROPOSED IMPERVIOUS AREA: AMENITY AREA REQUIRED AMENITY AREA PROVIDED REQUIRED DENSITY: PROVIDED DENSITY:

PARKING DATA: PROPOSED PARKING: BIKE PARKING REQUIRED BIKE PARKING PROVIDED

Neighborhood Yield

Width

-

I

A Right-of-way width	55'
B Back-of-curb to back-of-curb	27'
Streetscape	
C Utility placement, easement (min)	5'
D Maintenance strip (min)	2'
E Sidewalk (min)	6'
F Planting area (min)	6'
Travelway	
G Parallel parking/travel lane	13.5'
General	
Walkway type	Sidewalk
Planting type	Tree lawn
Tree spacing	40' o.c. avg
Parking tuno	Parallal

Parallel

Parking type

BATTERY TOWNHOMES 1613 BATTERY DR RALEIGH NC 27610 WAKE 1713474319 TIMOTHY MAYNER JR 0.44 AC / 19,235 SF 0.44 AC / 19,235 SF 0.40 AC / 17,389 SF R-4, R-10 R-4, R-10 **RESIDENTIAL - SINGLE-UNIT LIVING** RESIDENTIAL - MULTI-UNIT LIVING N/A NEUSE TOWNHOUSE 35 TBD 8 7 N/A 0.50 AC / 21,638 SF 0.06 AC / 2,545 SF 0.23 AC / 10,135 SF 0.04 AC / 1,739 SF 0.04 AC / 1,905 SF 2,000 SF / UNIT 17,389 SF / 7 UNITS = 2,484 SF / UNIT

14 3 SPACES (LONG-TERM) 4 SPACES (LONG-TERM)

Avenue 4-Lane, Divided

