

# Preliminary Subdivision Application

## Planning and Development

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



**INSTRUCTIONS:** This form is used when submitting a Preliminary Subdivision (UDO Section 10.2.5). Please check the appropriate review type and include the plan checklist document. Please email all documents and your preliminary subdivision plans to [SiteReview@raleighnc.gov](mailto:SiteReview@raleighnc.gov).

| DEVELOPMENT TYPE (UDO Section 2.1.2)   |  |  |  |
|--|--|--|--|
| <input checked="" type="checkbox"/> Conventional Subdivision   | <input type="checkbox"/> Compact Development                                 | <input type="checkbox"/> Conservation Development                              | <input type="checkbox"/> Cottage Court                   |
| NOTE: Subdivisions may require City Council approval if in a Metro Park Overlay or Historic Overlay District |  |  |  |
| GENERAL INFORMATION  |  |  |  |
| Scoping/sketch plan case number(s):  |  |  |  |
| Development name (subject to approval):  |  |  |  |
| Property Address(es):  |  |  |  |
| Recorded Deed PIN(s):  |  |  |  |
| What is your project type?   | <input type="checkbox"/> Single family<br><input type="checkbox"/> Apartment | <input type="checkbox"/> Townhouse<br><input type="checkbox"/> Non-residential | <input type="checkbox"/> Attached houses<br>Other: _____ |

| CURRENT PROPERTY OWNER/DEVELOPER INFORMATION                            |                                 |
|---|---------------------------------|
| <b>NOTE: Please attach purchase agreement when submitting this form</b> |                                 |
| Company:  | Owner/Developer Name and Title: |
| Address:  |                                 |
| Phone #:  | Email:                          |
| APPLICANT INFORMATION   |                                 |
| Company:  | Contact Name and Title:         |
| Address:  |                                 |
| Phone #:  | Email:                          |

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| <b>DEVELOPMENT TYPE + SITE DATE TABLE</b><br><b>(Applicable to all developments)</b> |                                     |
|--|-------------------------------------|
| <b>ZONING INFORMATION</b>  |                                     |
| Gross site acreage:  |                                     |
| Zoning districts (if more than one, provide acreage of each):                        |                                     |
| Overlay district:  | Inside City limits?    Yes      No  |
| Conditional Use District (CUD) Case # Z-   | Board of Adjustment (BOA) Case # A- |

| <b>STORMWATER INFORMATION</b>                                   |   |
|---|---|
| Existing Impervious Surface:<br>Acres: _____ Square Feet: _____ | Proposed Impervious Surface:<br>Acres: _____ Square Feet: _____ |
| Neuse River Buffer      Yes      No                             | Wetlands                  Yes      No                           |
| Is this a flood hazard area?      Yes      No                   |   |
| If yes, please provide the following:                           |   |
| Alluvial soils: _____   |   |
| Flood study: _____  |   |
| FEMA Map Panel #:   |   |
| <b>NUMBER OF LOTS AND DENSITY</b>                               |   |
| Total # of townhouse lots:                                      | Detached                  Attached                              |
| Total # of single-family lots:                                  |   |
| Proposed density for each zoning district (UDO 1.5.2.F):        |   |
| Total # of open space and/or common area lots:                  |   |
| Total # of requested lots:                                      |   |

| <b>SIGNATURE BLOCK</b>  |             |
|---|-------------|
| <p>The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.</p> <p>I, _____ will serve as the agent regarding this application, and will receive and respond to administrative comments, resubmit plans and applicable documentation, and will represent the property owner(s) in any public meeting regarding this application.</p> <p>I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.</p> |             |
| Signature:  _____   | Date: _____ |
| Printed Name: _____   |             |
| Signature:  _____   | Date: _____ |
| Printed Name: _____   |             |

Please email your completed application to [SiteReview@raleighnc.gov](mailto:SiteReview@raleighnc.gov).







**SITE LEGEND:**

| SYMBOL    | DESCRIPTION                                 |
|-----------|---|
| [Pattern] | PROPOSED BUILDING                           |
| [Pattern] | PROPOSED CONCRETE SIDEWALK                  |
| [Pattern] | PROPOSED BRICK SIDEWALK                     |
| [Pattern] | PROPOSED HEAVY DUTY PAVEMENT                |
| [Pattern] | PROPOSED CONCRETE PAVERS                    |
| [Pattern] | PROPOSED GRAVEL                             |
| [Pattern] | PROPOSED CURB & GUTTER                      |
| [Pattern] | PROPOSED STOP BAR                           |
| [Pattern] | PROPOSED CROSSWALK                          |
| [Pattern] | PROPOSED 6' WIDE STANDARD CROSSWALK         |
| [Pattern] | PROPOSED 10' WIDE HIGH VISIBILITY CROSSWALK |
| [Symbol]  | PROPOSED SIGN                               |
| [Symbol]  | PROPOSED ADA PARKING SPACE                  |
| [Symbol]  | PROPOSED KEYSTONE WALL                      |
| [Symbol]  | PROPOSED CIP WALL                           |
| [Symbol]  | PROPOSED WHEEL STOP                         |
| [Symbol]  | PROPOSED GRAVEL TRAIL                       |
| [Symbol]  | PROPOSED ASPHALT TRAIL                      |
| [Symbol]  | PROPOSED TREELINE                           |
| [Symbol]  | PROPOSED FENCE                              |
| [Symbol]  | PROPOSED VEHICLE GATE (X' WIDE)             |
| [Symbol]  | PROPOSED LIGHT                              |
| [Symbol]  | PROPOSED BIKE RACK                          |
| [Symbol]  | PROPOSED BENCH                              |
| [Symbol]  | PROPOSED BOLLARD                            |
| [Symbol]  | PROPOSED PEDESTRIAN STEEL PLATE             |
| [Symbol]  | LIMITS OF DISTURBANCE                       |

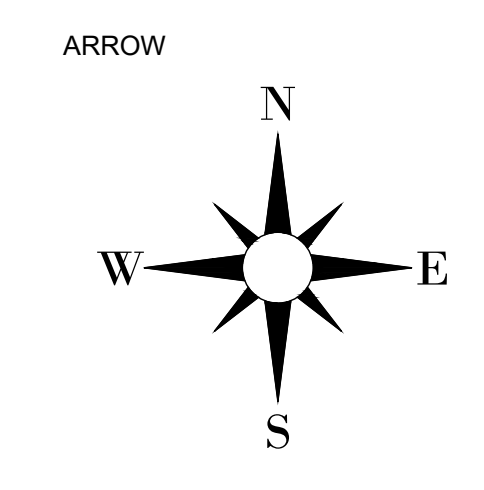
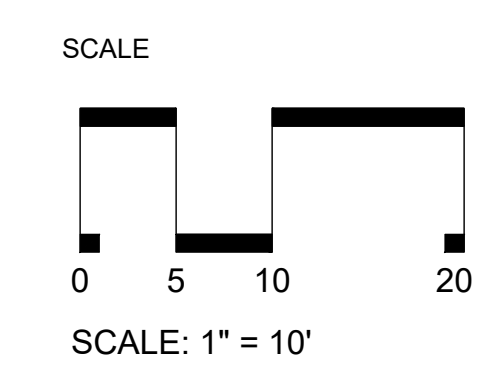
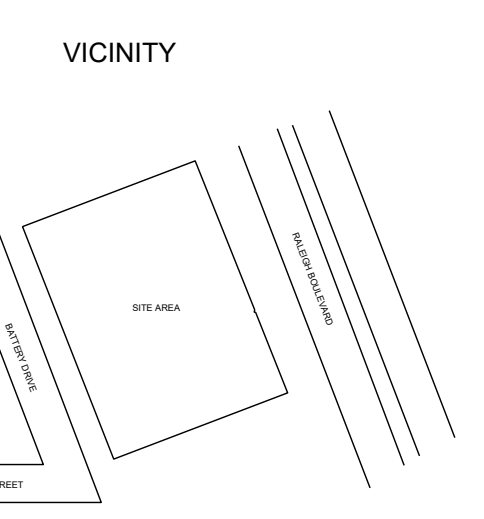
**NOTES:**  
1. SEE SHEET C0.10 FOR GENERAL AND SITE NOTES.

**SITE DATA**

|                                   |                                       |
|-----------------------------------|---------------------------------------|
| PROJECT NAME:                     | BATTERY TOWNHOMES                     |
| SITE ADDRESS:                     | 1613 BATTERY DR RALEIGH NC 27610      |
| COUNTY:                           | WAKE                                  |
| PARCEL PIN #:                     | 1713474319                            |
| PARCEL OWNER:                     | TIMOTHY MAYNER JR                     |
| PARCEL AREA:                      | 0.44 AC / 19,235 SF                   |
| TOTAL SITE GROSS ACREAGE:         | 0.44 AC / 19,235 SF                   |
| NET ACREAGE:                      | 0.40 AC / 17,389 SF                   |
| CURRENT ZONING:                   | R-4, R-10                             |
| PROPOSED ZONING:                  | R-4, R-10                             |
| EXISTING LAND USE:                | RESIDENTIAL - SINGLE-UNIT LIVING      |
| PROPOSED LAND USE:                | RESIDENTIAL - MULTI-UNIT LIVING       |
| FLOOD PLAIN DATA:                 | N/A                                   |
| RIVER BASIN:                      | NEUSE                                 |
| DEVELOPMENT TYPE:                 | TOWNHOUSE                             |
| MAX BUILDING HEIGHT:              | 35                                    |
| PROPOSED BUILDING HEIGHT:         | TBD                                   |
| PROPOSED NUMBER OF LOTS:          | 8                                     |
| PROPOSED NUMBER OF TOWNHOME LOTS: | 7                                     |
| TREE CONSERVATION AREA:           | N/A                                   |
| TOTAL LIMITS OF DISTURBANCE:      | 0.50 AC / 21,638 SF                   |
| EXISTING IMPERVIOUS AREA:         | 0.06 AC / 2,545 SF                    |
| PROPOSED IMPERVIOUS AREA:         | 0.23 AC / 10,135 SF                   |
| AMENITY AREA REQUIRED:            | 0.04 AC / 1,739 SF                    |
| AMENITY AREA PROVIDED:            | 0.04 AC / 1,905 SF                    |
| REQUIRED DENSITY:                 | 2,000 SF / UNIT                       |
| PROVIDED DENSITY:                 | 17,389 SF / 7 UNITS = 2,484 SF / UNIT |

|                        |                      |
|------------------------|----------------------|
| PROPOSED PARKING:      | 14                   |
| BIKE PARKING REQUIRED: | 3 SPACES (LONG-TERM) |
| BIKE PARKING PROVIDED: | 4 SPACES (LONG-TERM) |

| No. | Date | Description |
|-----|------|-------------|
|     |      |             |
|     |      |             |
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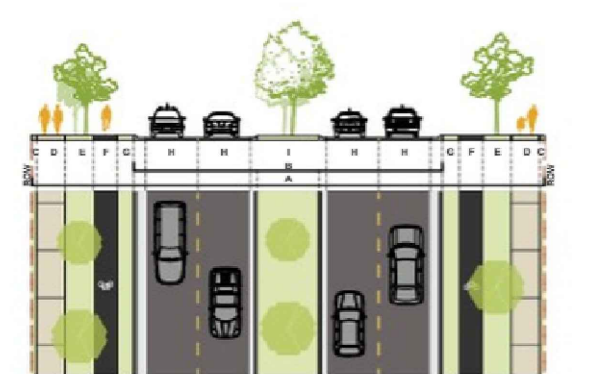


**Neighborhood Yield**

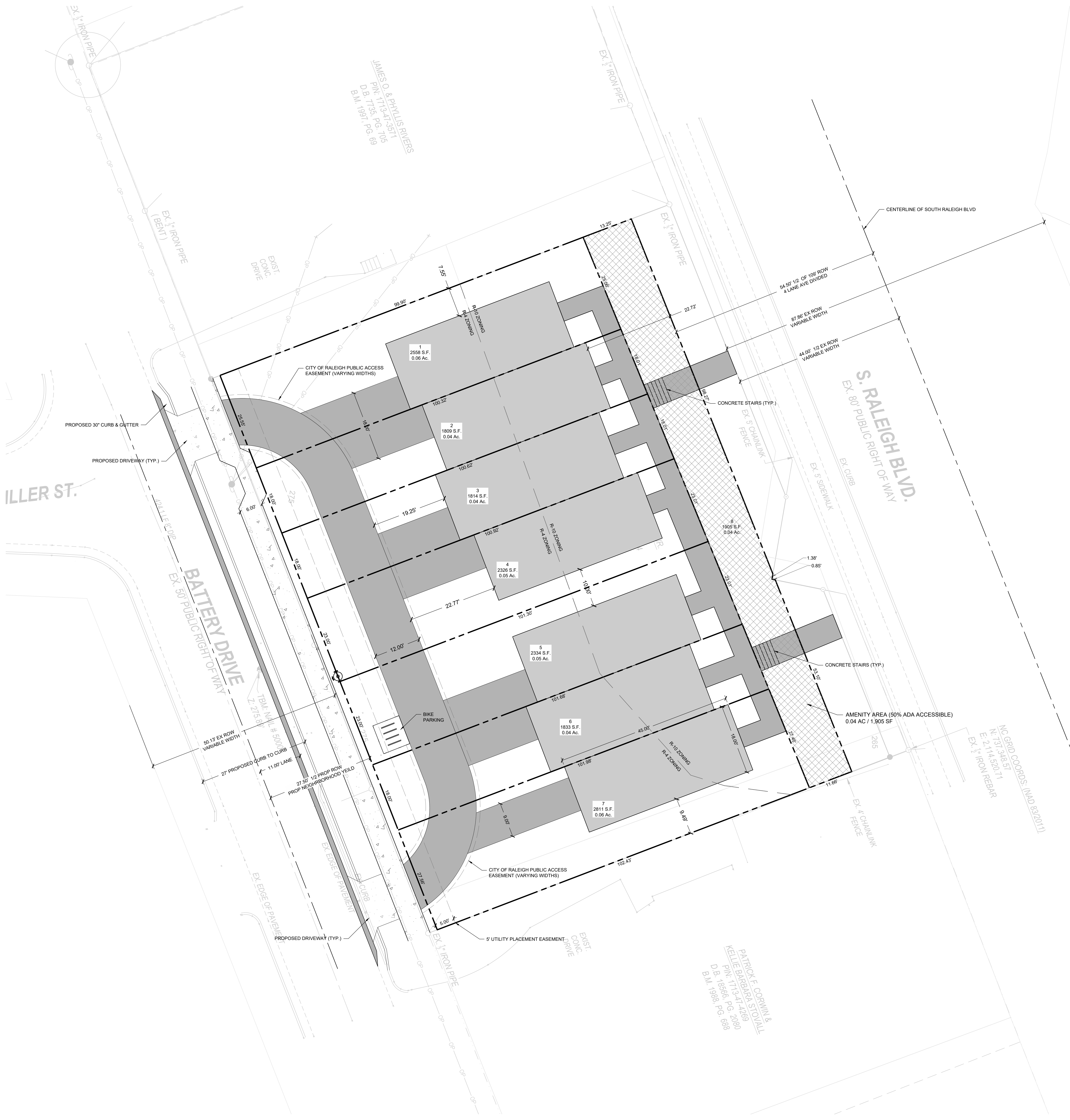


|                                      |              |
|--------------------------------------|--------------|
| <b>Width</b>                         |              |
| A. Right-of-way width                | 55'          |
| B. Back of curb to back of curb      | 27'          |
| <b>Streetscape</b>                   |              |
| C. Utility placement, easement (min) | 5'           |
| D. Maintenance strip (min)           | 7'           |
| E. Sidewalk (min)                    | 4'           |
| F. Planting area (min)               | 6'           |
| <b>Travelway</b>                     |              |
| G. Parallel parking/travel lane      | 13.5'        |
| <b>General</b>                       |              |
| Walkway type                         | Sidewalk     |
| Planting type                        | Tree lawn    |
| Tree spacing                         | 40' o.c. avg |
| Parking type                         | Parallel     |

**Avenue 4 Lane, Divided**



|  |                   |
|--|-------------------|
| <b>Width</b>                               |                   |
| A. Right-of-way width                      | 100'              |
| B. Back of curb to back of curb            | 66'               |
| <b>Streetscape</b>                         |                   |
| C. Maintenance strip (min)                 | 1'                |
| D. Sidewalk (min)                          | 6'                |
| E. Planting area (min)                     | 6'                |
| F. Bike lane (min)                         | 5'                |
| G. Buffer (tree, planted, paved, or paved) | 3.5'              |
| <b>Travelway</b>                           |                   |
| H. Travel lane                             | 11'               |
| I. Median                                  | 17'               |
| <b>General</b>                             |                   |
| Walkway type                               | Sidewalk          |
| Planting type                              | Tree grass / lawn |
| Tree spacing                               | 40' o.c. avg      |
| Minimum Driveway Spacing                   | 300'              |



PAUL PATRICK STONER  
 P.E. BARRISTER  
 PIN 1713474319  
 D.B. 145956, PG. 2080  
 B.M. 1988, 1989, 1990, 1991, 1992