



Administrative Approval Action

Case File / Name: SUB-0061-2023
DSLCL - GRANT AVENUE TOWNHOMES

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located on the north side of Wade Avenue, north of Grant Avenue at 2354, 2358, 2362, 2366 & 2500 Grant Avenue.

REQUEST: Development of a 2.28 acre/99,267 sf tract zoned R-6. A proposed 27-lot development of 26 townhome lots and 1 Common Area Lot with Open Space. The proposed subdivision is a Compact Development per UDO Sec.2.3.1. Site development includes 1,135 sf of right-of-way dedication, leaving a net area of 2.25 acres/98,132 sf.

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated February 15, 2024 by LEGACY CUSTOM HOMES.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

SITE PERMITTING REVIEW - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

1. Prior to Site Permit Review (SPR) approval, permits for proposed retaining walls shall be issued. Retaining walls 5 feet or less in height will be issued zoning permits and retaining walls greater than 5 feet in height will be issued building permits.
2. Prior to Site Permitting Review (SPR) approval, landscape plan shall show the following trees have been replaced with shade trees allowed by the Design & Installation standards (UDO Sec. 7.2.7.C). Specifically, Pistacia chinensis 'Keith Davey' / Keith Davey Chinese Pistache.
3. Prior to SPR approval, revise the site data table to what was shown on the v2 submittal with Open Space clearly identified with acreage & square feet, and Common Area Lots (same) as these characteristics are two different components of a Compact Development.
4. As referenced on the v3 submittal, the apparent property gap is shown incorrectly. The gap is shown on a Map of Correction (BM2021 / PG2028) and referenced in a deed from 2022 (BK018940 / PG00707-00709). You cannot absolve the property gap on this SUB- plan. Prior to Site Permitting Review (SPR) approval, a new Map of Correction shall be submitted, approved and recorded showing no gap between Lots 10 & 11. The new Map of Correction BM/PG shall be shown on the SPR plan set.



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Stormwater

5. The State of North Carolina shall approve any proposed disturbance within the riparian buffer prior to the issuance of any grading or site permit (UDO 9.2.3.E).
6. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).
7. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
8. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).

Urban Forestry

9. Please address this prior to SPR as the change occurred on the final review of the preliminary plan review: Tree protection fence and LOD is now shown behind Zone 2 where the OHP lines and existing fence are. This is not permissible as these two features, the fence and OHP lines, must be removed by hand without disturbance to Zone 2. Place tree protection fence along Neuse Riparian Buffer Zone 2 as was shown in these two areas on submittal two. Remove the proposed trees in these areas as they are not needed (currently shown on the Tree Conservation Plan sheet and Planting Plan sheet).
10. Submit a final tree conservation plan that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required (UDO 9.1.5).
11. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.

LEGAL DOCUMENTS - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Stormwater Maintenance Covenant Required
<input checked="" type="checkbox"/>	Utility Placement Deed of Easement Required

<input checked="" type="checkbox"/>	Right of Way Deed of Easement Required
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RECORDED MAP(S) - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

General

1. Demonstrate compliance with UDO Section 2.5.7 regarding required open space.



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2. Street names for this development shall be approved by the Raleigh GIS Division and by Wake County.
3. A demolition permit shall be issued and this building permit number shown on all maps for recording.

Engineering

4. A public street right-of-way deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
5. A 5' utility placement easement deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
6. A public infrastructure surety shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.

Stormwater

7. The riparian buffers, in accordance with the preliminary plan and the State of North Carolina regulations, shall be shown on plats for recording along with required buffer statement (Recorded Map Checklist).
8. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
9. The maximum allocated impervious area for all applicable lots in the subdivision should be identified on all maps for recording.
10. If demolition causes a land disturbance of more than 12,000 sf, a mass grading permit will be required. (UDO 9.4.6)



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11. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
12. The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office (UDO 9.2.2.G).

Urban Forestry

13. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1). This development proposes .23 acres of tree conservation area.
14. A public infrastructure surety for 13 street trees shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 125% of the improvement cost for the City of Raleigh infrastructure.

BUILDING PERMITS - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

General

1. A demolition permit shall be obtained.
2. Street names for this development shall be approved by the Raleigh GIS Division and by Wake County.
3. A recombination map shall be recorded prior to or in conjunction with the recording of lots, recombining the existing lots into a single tract.
4. Prior to the issuance of building permits, Lots 16-19 shall show compliance with direct access from a public or private drive aisle requirement and show how the lots are accessible.

Public Utilities

5. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

Stormwater

6. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
7. Impervious restrictions for each lot must be recorded on a plat prior to building permit issuance.



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8. If total land disturbance will be over 12,000 sq. ft. for multiple houses, a separate site plan submittal & approval will be required. Site plans require an erosion control plan. (UDO 9.4.6.)

Urban Forestry

9. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 13 street trees along Grant Ave.

The following are required prior to issuance of building occupancy permit:

General

1. All street lights and street signs required as part of the development approval are installed.

Stormwater

2. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).
3. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

EXPIRATION DATES: If significant construction has not taken place on a project after preliminary subdivision approval, that approval may "sunset" and be declared void, requiring re-approval before permits may be issued. To avoid allowing this preliminary approval to "sunset", the following must take place by the following dates:

3-Year Sunset Date: April 3, 2027
Record at least 1/2 of the land area approved.

5-Year Sunset Date: April 3, 2029
Record entire subdivision.

I hereby certify this administrative decision.

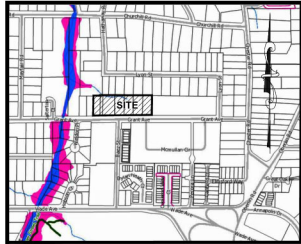
Signed: _____ Date: 04/03/2024
Development Services Dir/Designee
Staff Coordinator: Jessica Gladwin

GRANT AVENUE TOWNHOMES

PRELIMINARY COMPACT SUBDIVISION SUB-0061-2023

RALEIGH, NORTH CAROLINA

JANUARY, 2024
REVISED FEBRUARY, 2024



VICINITY MAP
(NOT TO SCALE)

SITE DATA

REQUIRED OPEN SPACE LOT - 0.5 AC. MIN

TOTAL PROPOSED LOTS: 27
TOTAL PROPOSED TOWNHOME LOTS: 26
TOTAL PROPOSED COMMON AREA LOTS: 1

SITE GROSS ACERAGE: 99,060 S.F. - 2.27 AC.

LOTS 1-27 NET ACREAGE: 97,925 S.F. - 2.25 AC.
(EXCLUDES PUBLIC R/W DEDICATION)

GRANT AVENUE (PUBLIC R/W DEDICATION) = 1,135 S.F. - 0.03 AC.

DENSITY - MIN NET SITE AREA 3500 S.F. / UNIT = 97,925 S.F. / 26 UNITS = 3,766 S.F. / UNIT

AMENITY AREA CALCULATION

SITE GROSS ACERAGE: 99,060 S.F. - 2.27 AC.

LOTS 1-27 NET ACREAGE: 97,925 S.F. - 2.25 AC.
(EXCLUDES PUBLIC R/W DEDICATION)

REQUIRED AMENITY AREA:
(LOTS 1 - 27)
4,896 S.F. - 0.11 AC. (5%)
ADA ACCESSIBLE (50%) - 2,448 S.F. (0.056 AC.)

PROVIDED AMENITY AREA:
5,256 S.F. - 0.121 AC. (6.4%)
ADA ACCESSIBLE - 3,612 S.F. (0.083 AC.)

COMPACT DEVELOPMENT GENERAL REQUIREMENTS FOR R-6 ZONING

A. SITE
A1. DENSITY (MAX): -

B. OPEN SPACE
B1. OPEN SPACE REQUIRED (MIN): 20% (Zone 1 NISB)
B2. WIDTH OF OPEN SPACE (MIN): 50'
(Tree Conservation Area)

PROVIDED (0.5 AC MIN)
0.48 AC. PRIMARY OPEN SPACE
0.23 AC. TERTIARY OPEN SPACE
(Tree Conservation Area)
0.71 AC. TOTAL (3.45%)

C. TRANSITIONAL PROTECTIVE YARD
C1. SITE BOUNDARY (MIN):
TYPE B1 OR B2 TRANSITIONAL PROTECTIVE YARD SEE SEC. 12.4.A.1 OR PERMETER LOTS MUST MEET DIMENSIONAL STANDARDS OF ARTICLE 2.2. CONVENTIONAL DEVELOPMENT OPTION OF THE DISTRICT WHERE THE PROPERTY IS LOCATED.

DIMENSION STANDARDS
OF ARTICLE 2.2 ARE MET

D. TOWNHOMES ARE THE ALLOWED BUILDING TYPE IN R-6 COMPACT DEVELOPMENT.

FEMA

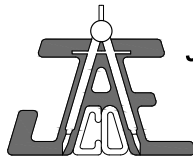
THIS SITE IS NOT LOCATED WITHIN A FEMA REGULATED FLOOD HAZARD AREA
FEMA FIRM PANEL # 372007400K
EFFECTIVE DATE 07/19/2022

DRIVEWAYS

RESIDENTIAL DRIVEWAY LOCATIONS AND WIDTHS WILL BE SUBJECT TO APPROVAL AT TIME OF SITE PLANNING REVIEW. IF THE SUBMISSION DOES NOT REQUIRE SITE PERMITTING REVIEW THEN REVIEW WILL TAKE PLACE AT THE TIME OF BUILDING PERMIT.

NOTE: THE BUILDING FOOTPRINTS SHOWN DO NOT REPRESENT ACTUAL SETBACKS NOR APPROVED BUILDING STRUCTURES. ALL SETBACKS AND BUILDINGS WILL BE REVIEWED AT PERMITTING AND MUST COMPLY WITH UDO STANDARDS.

NOTE: THESE LOTS ARE SUBJECT TO INFILL PER UDO 2.2.7. THE COMPARATIVE SHAPES AND AREA COMPLIANCE TO BE DETERMINED AT THE TIME OF BUILDING PERMIT FOR EACH BUILDING IN ACCORDANCE WITH THE INFILL RULES.



JAECO
JOHN A. EDWARDS & COMPANY
Consulting Engineers
NC License F-0289
333 Wade Ave., Raleigh, NC 27605
Phone: (919) 828-4428
Fax: (919) 828-4711
E-mail: info@jaeco.com

LANDSCAPE ARCHITECT:

SITE COLLABORATIVE
President: Graham H. Smith
1620 Hillsborough Street
Suite 100
Raleigh, NC 27605
Phone: (919) 805-3586
E-mail: sitecollaborative.com

OWNER DATA

OWNER: J. T. HOBBY & SON INC
515 N BLOUNT STREET
RALEIGH, NC 27604

(MAILING)
PO BOX 18506
RALEIGH, NC 27619-8506

OLD TRACT 1

PN# 0794-07-4398
ADDRESS: 2500 GRANT AVENUE
RALEIGH, NC 27608

ZONING: R-6
USE: SINGLE FAMILY
REFERENCES: DB 19184, PG 2530
WAKE COUNTY REGISTRY

OLD TRACT 2

PN# 0794-07-5347
ADDRESS: 0 GRANT AVENUE
RALEIGH, NC 27608

ZONING: R-6
USE: VACANT
REFERENCES: DB 19184, PG 2530
WAKE COUNTY REGISTRY

OLD LOT 11

PN# 0794-07-6306
ADDRESS: 2370 GRANT AVENUE
RALEIGH, NC 27608

ZONING: R-6
USE: TWO FAMILY
REFERENCES: DB 19184, PG 2530
BM 2007, PG 1092
WAKE COUNTY REGISTRY

OLD LOT 12

PN# 0794-07-7306
ADDRESS: 2366 GRANT AVENUE
RALEIGH, NC 27608

ZONING: R-6
USE: TWO FAMILY
REFERENCES: DB 19184, PG 2530
BM 1948, PG 075
WAKE COUNTY REGISTRY

OLD LOT 13

PN# 0794-07-7396
ADDRESS: 2362 GRANT AVENUE
RALEIGH, NC 27608

ZONING: R-6
USE: TWO FAMILY
REFERENCES: DB 19180, PG 1274
WAKE COUNTY REGISTRY

OLD LOT 14

PN# 0794-07-8376
ADDRESS: 2358 GRANT AVENUE
RALEIGH, NC 27608

ZONING: R-6
USE: TWO FAMILY
REFERENCES: DB 19180, PG 1274
WAKE COUNTY REGISTRY

OLD LOT 15

PN# 0794-07-9366
ADDRESS: 2354 GRANT AVENUE
RALEIGH, NC 27608

ZONING: R-6
USE: TWO FAMILY
REFERENCES: DB 19180, PG 1274
WAKE COUNTY REGISTRY

Preliminary Subdivision Application

Site Review
Planning and Development Customer Service Center One Exchange Place, Suite 401 Raleigh, NC 27601 (919) 996-2000

INSTRUCTIONS: This form is used when submitting a Preliminary Subdivision (UDC Section 10.2.0). Please check the appropriate review type and include the plan checked/development. Please email all documents and preliminary subdivision plans to subdivisions@raleigh.gov

DEVELOPMENT OPTIONS (UDC Chapter 2)			
<input type="checkbox"/> Conventional Subdivision	<input checked="" type="checkbox"/> Compact Development	<input type="checkbox"/> Conventional Development	
<input type="checkbox"/> Cottage Court	<input type="checkbox"/> Flag Lot	<input type="checkbox"/> Present Transit Development Option	
NOTE: Subdivisions may require City Council approval if located in a Historic Overlay District.			
GENERAL INFORMATION			
Scoping/Health plan case number(s):			
Development name (subject to approval): Grant Avenue Townhomes			
Property Address(es): 2500, 0, 2370, 2366, 2362, 2358 & 2354 Grant Avenue			
Recorded Deed/PIN#: 0794-07-4398, 0794-07-5347, 0794-07-6306, 0794-07-7306, 0794-07-7396, 0794-07-8376, 0794-07-9366			
Building type(s):	<input type="checkbox"/> Detached House	<input type="checkbox"/> Attached House	<input type="checkbox"/> Townhouse
	<input type="checkbox"/> Street Outlot	<input type="checkbox"/> Mixed Use Building	<input type="checkbox"/> Other Building
		<input type="checkbox"/> Open Lot	<input type="checkbox"/> Tiny House
CURRENT PROPERTY OWNER/APPLICANT/DEVELOPER INFORMATION			
Current Property Owner(s) Name: <u>John T. Hobby</u>			
Company: J.T. Hobby & Son	Title: President		
Address: 515 N Blount Street, Raleigh, NC 27604 (mailing) PO Box 18506, Raleigh, NC 27619			
Phone #: 919-677-6273	Email: jthobby@legacycustomhomes.com		
Applicant Name (if different from owner. See "who can apply" in instructions): <u>DANIEL WARD RUSSEL</u>			
Relationship to owner: <input checked="" type="checkbox"/> owner or contract purchaser	<input type="checkbox"/> Owner's authorized agent	<input type="checkbox"/> Real estate broker	
Company: Legacy Custom Homes, INC. Address: 3304 Six Forks Road, STE 100, Raleigh, NC 27609			
Phone #: (919) 781-3800	Email: ward@legacycustomhomes.com		
NOTE: Always attach purchase agreement or contract, lease, or easement when submitting this form.			
Developer Contact Name(s): <u>DANIEL WARD RUSSEL</u>			
Company: Legacy Custom Homes, INC.	Title: President		
Address: 3304 Six Forks Road, STE 100, Raleigh, NC 27609			
Phone #: (919) 781-3800	Email: ward@legacycustomhomes.com		

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DEVELOPMENT TYPE - SITE DATE TABLE - ZONING INFORMATION			
Green site acreage: 2.27			
Zoning district (if more than one, provide acreage of each):			
R-6	Overlay district(s):	Inside City Limits? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Historic District/Landmark: <u>NA</u>
Conditional Use District (CUD):	Board of Adjustment Case #	Design Alternative Case #	DA:
Case # Z:			
STORMWATER INFORMATION			
Impervious Area (in Feet ²):	Impervious Area for Compliance (includes right-of-way):		
Existing (sq. ft.): 17,651	Proposed total (sq. ft.): 48,523		
NUMBER OF LOTS AND DENSITY			
# of Detached House Lots: 0	# of Attached House Lots: 0	# of Townhouse Lots: 26	
# of Tiny House Lots: 0	# of Open Lots: 1	# of Other Lots (Apartment, General, Mixed Use, CUD): 0	
# of bed room units (if known): 0	2br:	3br:	4br:
Proposed density for each zoning district (UDO 1.5.2.F): 3,766 sf/ unit			

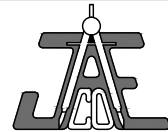
SIGNATURE BLOCK	
Pursuant to state law (N.C. Gen. Stat. § 160C-403.2), the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160C-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that development approvals are subject to review for false statements or misrepresentations made in securing the development approvals, pursuant to N.C. Gen. Stat. § 160C-403(3).	
The undersigned certifies that the property owner(s) is/are aware of this application and that the proposed project described in this application will be constructed in full accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.	
The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-726(1)), if this permit application is returned to complete or provide additional information requested by the City for a period of six consecutive months or more, then the applicant agrees to be deemed to be a new application. It is required to proceed and the development regulations in effect at the time permit processing is triggered shall apply to the new application.	
Signature:	Date: 2-27-24
Professional: <u>Ward Russell</u>	
Signature:	Date:

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- CE-4 SUBDIVISION PLAN
- CE-5 UTILITY PLAN
- CE-6 GRADING / STORMWATER MANAGEMENT PLAN
- CE-5.1 STORMWATER MANAGEMENT PLAN DETAILS
- CE-6 SOLID WASTE SERVICES PLAN
- CE-7 FIRE DEPARTMENT PLAN
- L-1 TREE CONSERVATION PLAN
- L-4 LANDSCAPE PLAN





JAECO Consulting Engineers and Land Surveyors

NC License F-0289 333 Wade Ave., Raleigh, N.C. 27605 Phone: (919) 828-4428 Fax: (919) 828-4711 Email: info@jaeco.com

www.jaeco.com

GRANT AVENUE TOWNHOMES

LEGACY CUSTOM HOMES INC 3304 SIX FORKS RD, STE 100 RALEIGH, NC 27609

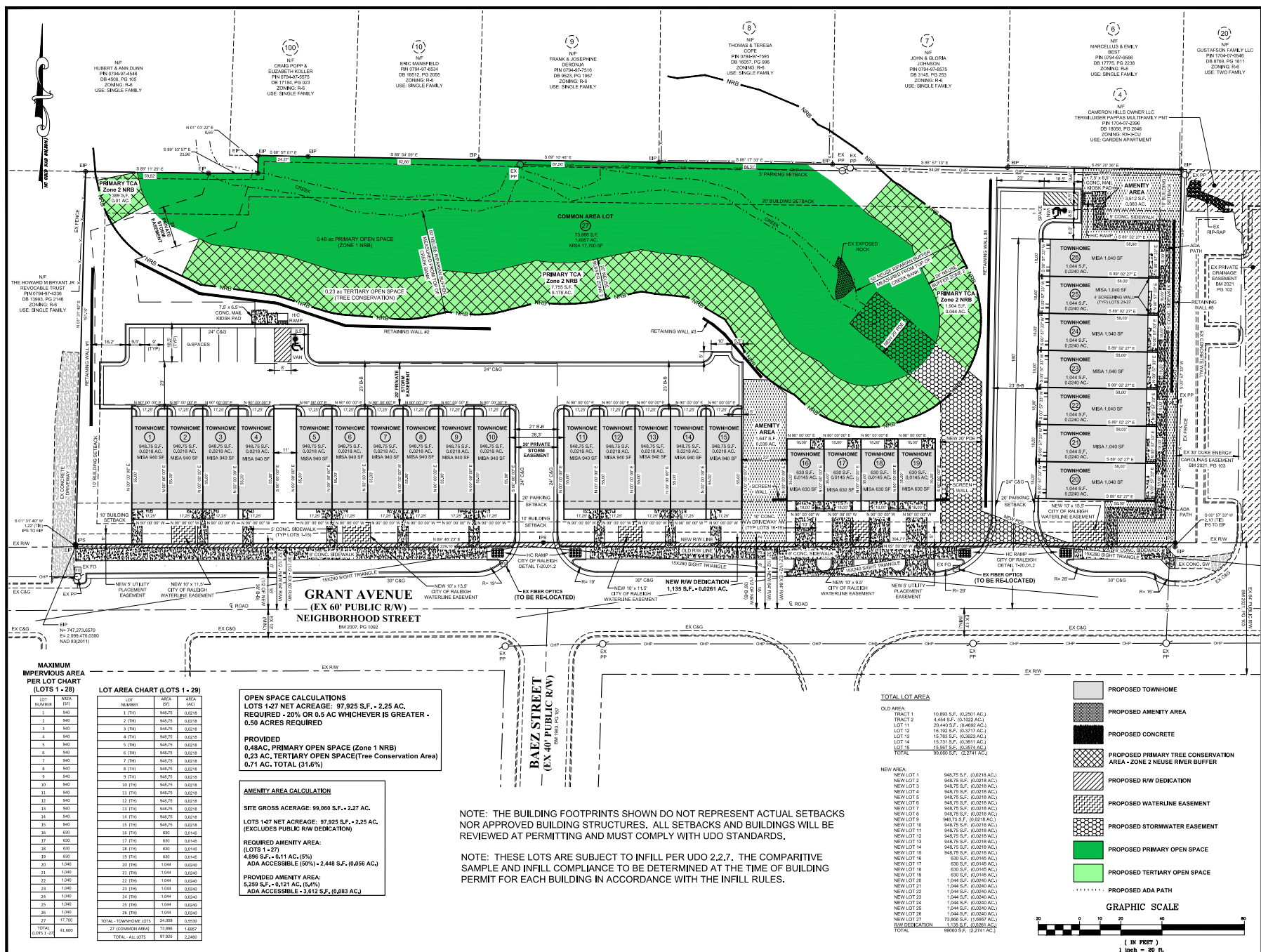
LEGEND table with symbols for various features like setbacks, easements, and utilities.

PROPERTY LINE table with symbols for different types of boundaries.

REVISIONS table with columns for Number, Description, and Date.

SUBDIVISION PLAN

Table with columns for Number, Description, and Date, likely for additional revisions or notes.



GRANT AVENUE (EX 60' PUBLIC RW) NEIGHBORHOOD STREET

RAEZ STREET (EX 40' PUBLIC RW)

OPEN SPACE CALCULATIONS LOTS 1-27 NET ACREAGE: 97,925 S.F. - 2.25 AC. REQUIRED - 20% OR 0.5 AC WHICHEVER IS GREATER - 0.50 ACRES REQUIRED

PROVIDED 0.48AC. PRIMARY OPEN SPACE (Zone 1 NRB) 0.23 AC. TERTIARY OPEN SPACE(Tree Conservation Area) 0.71 AC. TOTAL (31.8%)

AMENITY AREA CALCULATION SITE GROSS AVERAGE: 99,969 S.F. - 2.27 AC. LOTS 1-27 NET ACREAGE: 97,925 S.F. - 2.25 AC. (EXCLUDES PUBLIC RW DEDICATION)

REQUIRED AMENITY AREA: (LOTS 1 - 27) 4,896 S.F. - 0.11 AC. (5%) ADA ACCESSIBLE (50%) - 2,448 S.F. (0.056 AC.) PROVIDED AMENITY AREA: 5,259 S.F. - 0.121 AC. (5.4%) ADA ACCESSIBLE - 3,612 S.F. (0.083 AC.)

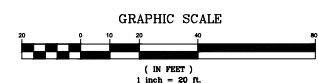
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NOTE: THESE LOTS ARE SUBJECT TO INFILL PER UDO 2.2.7. THE COMPARATIVE SAMPLE AND INFILL COMPLIANCE TO BE DETERMINED AT THE TIME OF BUILDING PERMIT FOR EACH BUILDING IN ACCORDANCE WITH THE INFILL RULES.

TOTAL LOT AREA table with columns for Old Area, Tract, Lot, and Total.

NEW AREA table with columns for New Lot, Area, and Total.

- PROPOSED TOWNHOME
PROPOSED AMENITY AREA
PROPOSED CONCRETE
PROPOSED PRIMARY TREE CONSERVATION AREA - ZONE 2 NEUSE RIVER BUFFER
PROPOSED RW DEDICATION
PROPOSED WATERLINE EASEMENT
PROPOSED STORMWATER EASEMENT
PROPOSED PRIMARY OPEN SPACE
PROPOSED TERTIARY OPEN SPACE
PROPOSED ADA PATH



MAXIMUM IMPERVIOUS AREA PER LOT CHART

Table with columns for Lot Number and Area.

LOT AREA CHART (LOTS 1 - 29)

Table with columns for Lot, Area, and other metrics.



JACO
Consulting Engineers
and Land Surveyors

NC License F-289
333 Wade Ave., Raleigh, N.C. 27605
Phone: (919) 828-4425
Fax: (919) 828-4711
Email: info@jaco.com

www.jaco.com

GRANT AVENUE TOWNHOMES

LEGACY CUSTOM HOMES INC
3304 SIX FORKS RD, STE 100
RALEIGH, NC 27609

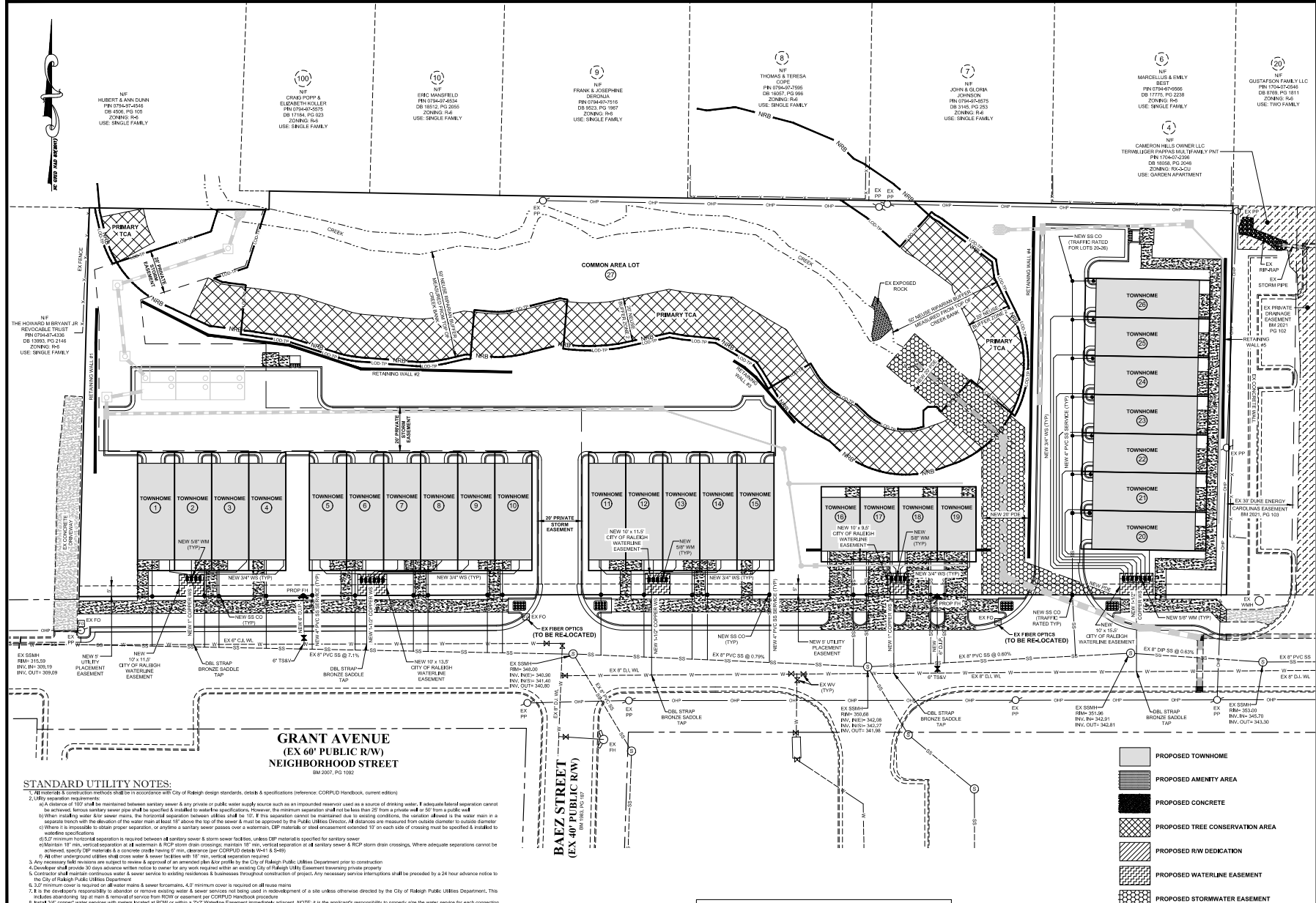
LEGEND

1/1	ASPHALT	1/1	HEADINGS
1/2	CONCRETE	1/2	TOP OF CURB
1/3	EXPOSED ROCK	1/3	TOP OF FOUNDATION
1/4	EXPOSED SOIL	1/4	TOP OF GRADE
1/5	EXPOSED CONC	1/5	TOP OF CONC
1/6	EXPOSED BRICK	1/6	TOP OF BRICK
1/7	EXPOSED BLOCK	1/7	TOP OF BLOCK
1/8	EXPOSED TILE	1/8	TOP OF TILE
1/9	EXPOSED STONE	1/9	TOP OF STONE
1/10	EXPOSED GLASS	1/10	TOP OF GLASS
1/11	EXPOSED METAL	1/11	TOP OF METAL
1/12	EXPOSED FABRIC	1/12	TOP OF FABRIC
1/13	EXPOSED WOOD	1/13	TOP OF WOOD
1/14	EXPOSED PLASTER	1/14	TOP OF PLASTER
1/15	EXPOSED GIPSUM	1/15	TOP OF GIPSUM
1/16	EXPOSED PUTTY	1/16	TOP OF PUTTY
1/17	EXPOSED PAINT	1/17	TOP OF PAINT
1/18	EXPOSED CARPET	1/18	TOP OF CARPET
1/19	EXPOSED FLOORING	1/19	TOP OF FLOORING
1/20	EXPOSED CEILING	1/20	TOP OF CEILING
1/21	EXPOSED WALL	1/21	TOP OF WALL
1/22	EXPOSED ROOF	1/22	TOP OF ROOF
1/23	EXPOSED SKY	1/23	TOP OF SKY

UTILTY PLAN

Number	Description	Date
1	COR REVIEW COMMENTS	01/10/24
2	COR REVIEW COMMENTS	02/15/24

Drawing Scale: 1" = 20'
 Drawn By: JJC
 Checked By: JJC
 Date Issued: 10/31/2023
 CE-4



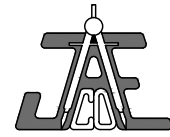
GRANT AVENUE (EX 60' PUBLIC R/W) NEIGHBORHOOD STREET
 BM 2007, PG 1092

BAEZ STREET (EX 60' PUBLIC R/W)

STANDARD UTILITY NOTES:

- All materials & construction methods shall be in accordance with City of Raleigh design standards, details & specifications (reference: CORPUD Handbook, current edition).
- Utility separation requirements:
 - A distance of 10' shall be maintained between sanitary sewer & any private or public water supply source such as an impounded reservoir used as a source of drinking water. If adequate lateral separation cannot be achieved, fence or barrier shall be specified & installed to meet the specifications. However, the minimum separation shall not be less than 30' from a private well or 50' from a public well.
 - When installing water & sewer mains, the horizontal separation between utilities shall be 12". This separation cannot be maintained due to existing conditions, the variation allowed is the water main in a separate trench with the direction of the water main at least 18" above the top of the sewer & must be approved by the Public Utilities Director. All distances are measured from outside diameter to outside diameter. It is the responsibility of the contractor to provide for any work required within an existing City of Raleigh Utility Easement (covering private property).
 - Where it is impossible to obtain proper separation, or anytime a sanitary sewer passes over a watermain, DIP material or steel easement extended 10' on each side of crossing must be specified & installed to meet the specifications.
- 0.27 minimum horizontal separation is required between all sanitary sewer & storm sewer facilities, unless DIP material is specified for sanitary sewer.
- Minimum 18" min. vertical separation in all easement & RCP storm drain crossings; minimum 18" min. vertical separation in all sanitary sewer & RCP storm drain crossings. Where adequate separations cannot be achieved, specify DIP material & a concrete grade having 0.75% slope (per CORPUD detail 104-1 & 5-49).
- All other underground utilities shall cross water & sewer facilities with 18" min. vertical separation required.
- Any necessary DIP materials are subject to review & approval of the easement (and/or profile) by the City of Raleigh Public Utilities Department prior to construction.
- Developer shall provide 30 days advance written notice to owner for any work required within an existing City of Raleigh Utility Easement (covering private property). Contractor shall maintain continuous water & sewer service to existing residences & businesses throughout construction of project. Any necessary service interruptions shall be preceded by a 24 hour advance notice to the City of Raleigh Public Utilities Department.
- 0.27 minimum cover is required on all water mains & sewer lines; 4.0' minimum cover is required on all waste mains.
- It is the contractor's responsibility to identify or remove existing water & sewer services not being used or abandonment of a site unless otherwise directed by the City of Raleigh Public Utilities Department. This includes abandoning tap or main & removal of service from ROW or easement per CORPUD Handbook procedure.
- Install 3/4" copper water services with valves located at ROW or within a C.Z. Waterline Easement immediately adjacent to the water service for each connection to protect allowable flow & pressure.
- Install 1/2" PVC sewer services @ 1.25% minimum grade with cleanouts located at ROW or easement line & spaced every 75 feet feet minimum.
- All sewer retaining walls are required on all sewer services exceeding 10' depth. Retaining walls are required on all sanitary sewer services with building drains lower than 12' above the next overhead member.
- All structural materials shall be in accordance with the International Building Code (IBC) or any applicable building code, unless otherwise specified in the contract documents.
- All utility lines shall be installed in accordance with the City of Raleigh Public Utilities Department standards & specifications.
- All Class II interruptible water separator vaulting calculations & installation specifications shall be approved by the RW FOD Project Coordinator prior to issuance of a UIC (BAG Permit, Contact (919) 996-4519) or for more information.
- All stormwater retention devices are required based on degree of health hazard involved as listed in Appendix B of the Rules Governing Public Water Systems in North Carolina. These guidelines are the minimum requirements. The device shall meet American Society of Civil Engineers (ASCE) standards or be on the University of Southern California (USC) approved list. The device shall be installed and tested both initial and periodic testing (thereafter) in accordance with the manufacturer's recommendations or the local cross-connection control program, whichever is more stringent. A Certificate of Compliance shall also be obtained from the RW Cross-Connection Coordinator for each device prior to issuance of a UIC (BAG Permit, Contact (919) 996-4519) or for more information.
- NOTE: For projects with residential or mixed-use developments, if the City's contribution for an overpass/main or urban main replacement project is \$250,000 or greater, the project must be publicly bid.

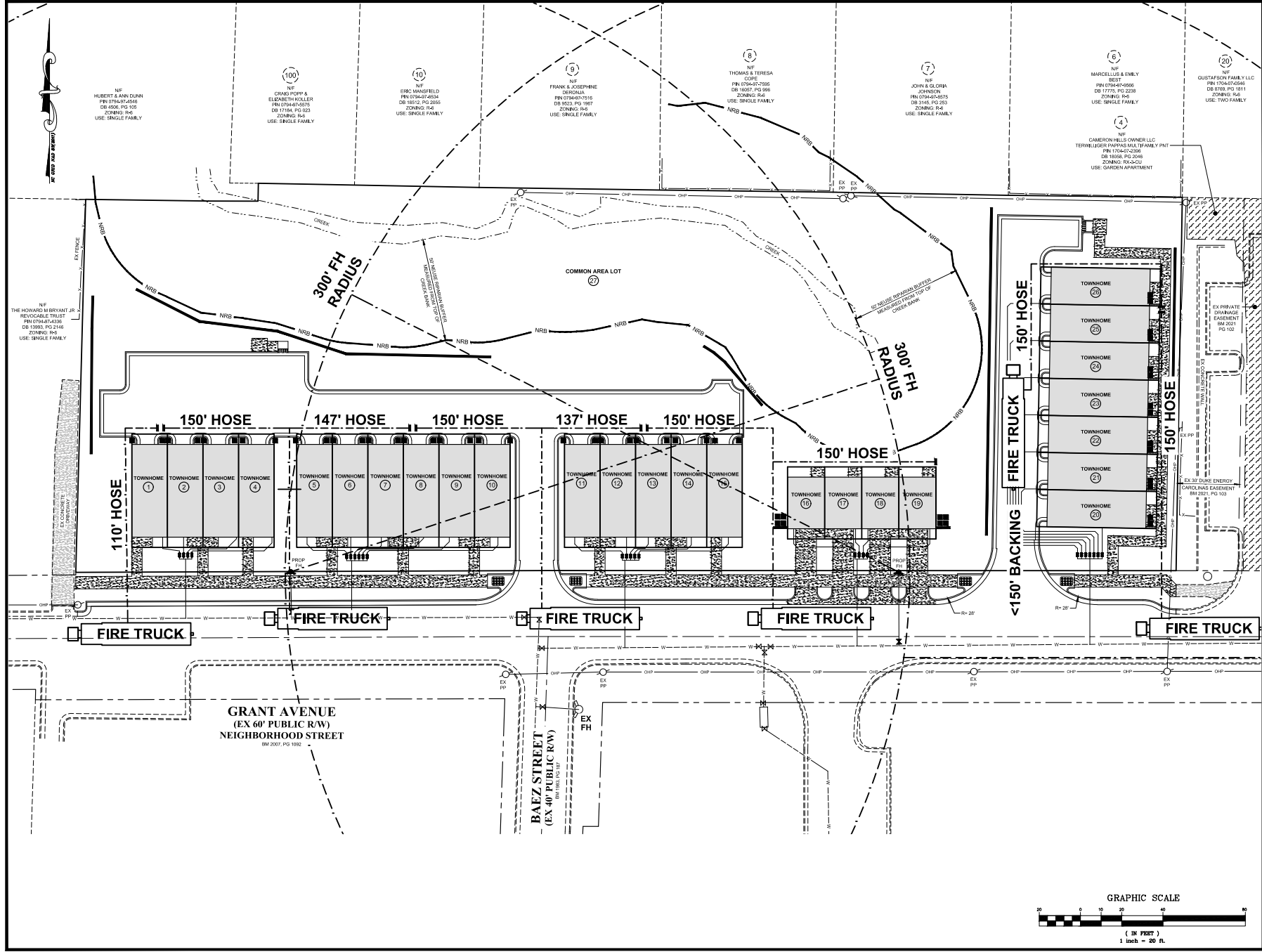




JAECO
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and Land Surveyors

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E-mail: info@jaeco.com

www.jaeco.com



GRANT AVENUE TOWNHOMES

LEGACY CUSTOM HOMES INC
3304 SIX FORKS RD. STE 100
RALEIGH, NC 27609

LEGEND

AC	ACREAGE	HV	HEADINGS
AD	ASIDE OF MAPS	HW	HOLE LINE SET
AN	ANCHOR	L	LINE
AS	ASPH	LI	LINE WITH CENTER
B	BURIED	M	MANHOLE
CD	CONCRETE	NS	NON-SPECIFIC
CM	CONCRETE MASONRY	PS	PROPOSED
CP	CONCRETE PIPE	RM	REINFORCING
CS	CONCRETE SURFACE	RS	REINFORCING SURFACE
CSS	CONCRETE SURFACE	RT	REINFORCING TOP
CO	CORNER	SD	SANITARY DRAIN
COV	COVER	SP	SPACES
CS	CONCRETE SURFACE	SS	SANITARY SLOPE
CS	CONCRETE SURFACE	ST	STORM
CS	CONCRETE SURFACE	SW	SEWER
CS	CONCRETE SURFACE	TC	TOP OF CURB
CS	CONCRETE SURFACE	TG	TOP OF GROUND
CS	CONCRETE SURFACE	TR	TRAIL
CS	CONCRETE SURFACE	TS	TOP OF SURFACE
CS	CONCRETE SURFACE	TT	TOP OF TOWER
CS	CONCRETE SURFACE	TW	TRENCH
CS	CONCRETE SURFACE	W	WATER
CS	CONCRETE SURFACE	WA	WATER
CS	CONCRETE SURFACE	WD	WATER DRAIN
CS	CONCRETE SURFACE	WV	WATER VALVE
CS	CONCRETE SURFACE	WV	WATER VALVE
CS	CONCRETE SURFACE	WV	WATER VALVE
CS	CONCRETE SURFACE	WV	WATER VALVE

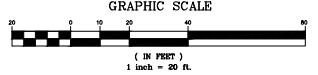
FIRE DEPARTMENT PLAN

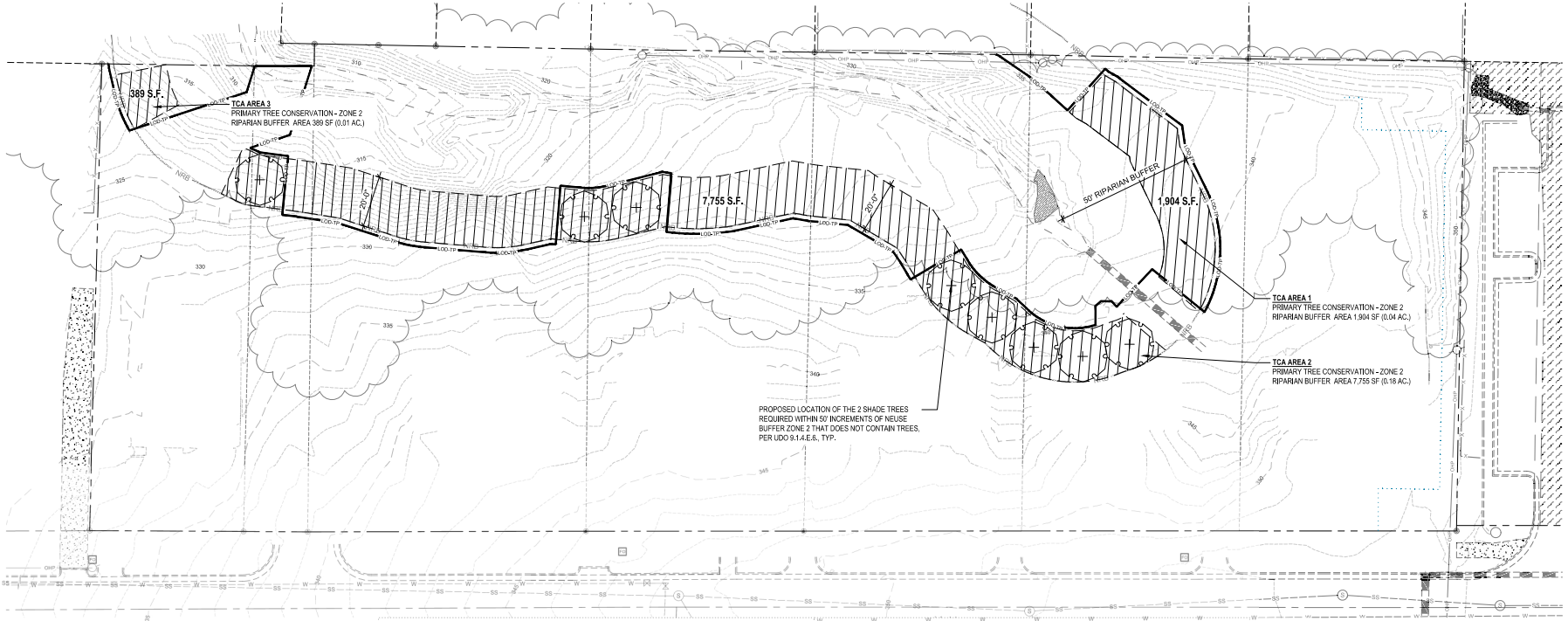
Revisions	Number	Description	Date
	1	COR REVIEW COMMENTS	0119/24
	2	COR REVIEW COMMENTS	0215/24

Drawing Scale: 1" = 20'

Drawn By: SF
Checked By: JRC
Date Issued: 10/31/2023

CE-7





PROPOSED LOCATION OF THE 2 SHADE TREES REQUIRED WITHIN 50' INCREMENTS OF NEUSE BUFFER ZONE 2 THAT DOES NOT CONTAIN TREES. PER UDD 9.1.4.E.6, TYP.

Tree Conservation Plan Data Sheet
 UDD Article 9.1 Tree Conservation
 (Includes applicable information on the plan sheet)

Project Name: Grant Ave Townhomes

Gross Site Area:	2.27	ac
Right-of-way to be dedicated with this project:	0.03	ac
Net Site Area:	2.24	ac

	Number of Areas	Percent of Total
UDD 9.1.4.A. Primary Tree Conservation Areas		
1. Primary Tree Conservation Area - SHKD 1	0	0%
2. Primary Tree Conservation Area - SHKD 2	0	0%
3. Primary Tree Conservation Area - Parkway Frontage	0	0%
4. Primary Tree Conservation Area - CM	0	0%
5. Primary Tree Conservation Area - Champion Tree XX" dbh species	0	0%
6. Primary Tree Conservation Area - Neuse Buffer Zone 2	0.23	10.3%
7. Primary Tree Conservation Area - 40% Slopes	0	0%
8. Primary Tree Conservation Area - thoroughfare	0	0%
Subtotal of Primary Tree Conservation Areas:	0.23	10.3%

UDD 9.1.4.B.2 Tree Conservation Area - Greenway	0	0%
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UDD 9.1.4.B.1.a. & b. Secondary Tree Conservation Areas (Include perimeter buffers and their alternate compliance areas)	0	0%
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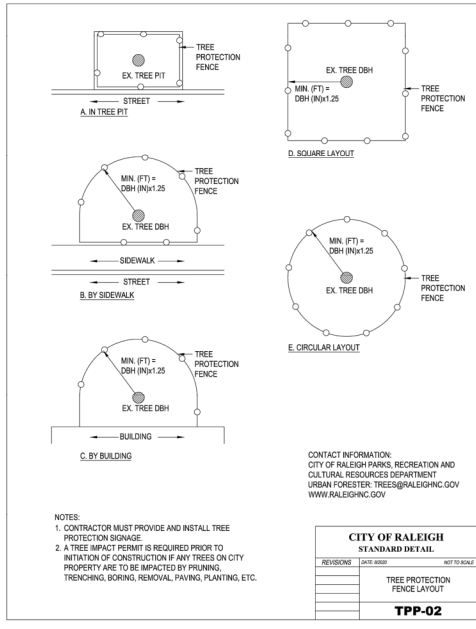
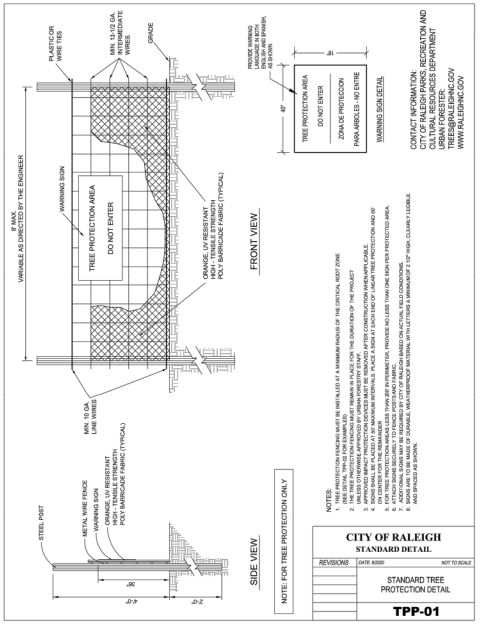
UDD 9.1.4.B.1.c. & d. Individual Tree Secondary Tree Conservation Areas (Include individual trees and their alternate compliance areas)	0	0%
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SUBTOTAL OF SECONDARY TREE CONSERVATION AREAS:	0	0%
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TOTAL ALL TREE CONSERVATION AREA PROVIDED:	0.23	10.3%
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UDD 9.1.8 Watershed Protection Overlay Districts

UWPOD - Wooded Area (greenland)	0	0%
UWPOD - Wooded Area (planted)	0	0%
FWPOD - Wooded Area (greenland)	0	0%
FWPOD - Wooded Area (planted)	0	0%
SWPOD - Wooded Area (greenland)	0	0%
SWPOD - Wooded Area (planted)	0	0%



PRIMARY TCA
 SITE GROSS ACREAGE: 99,060 S.F. - 2.27 AC.
 LOTS 1-28 NET ACREAGE: 97,925 S.F. - 2.25 AC.
 (EXCLUDES PUBLIC R/W DEDICATION)

REQUIRED PRIMARY TREE CONSERVATION AREA (ZONE 2 NEUSE RIPARIAN BUFFER & REPLANTED ZONE 2 NEUSE RIPARIAN BUFFER): 10,048 S.F. - 0.23 AC. (10.3%)

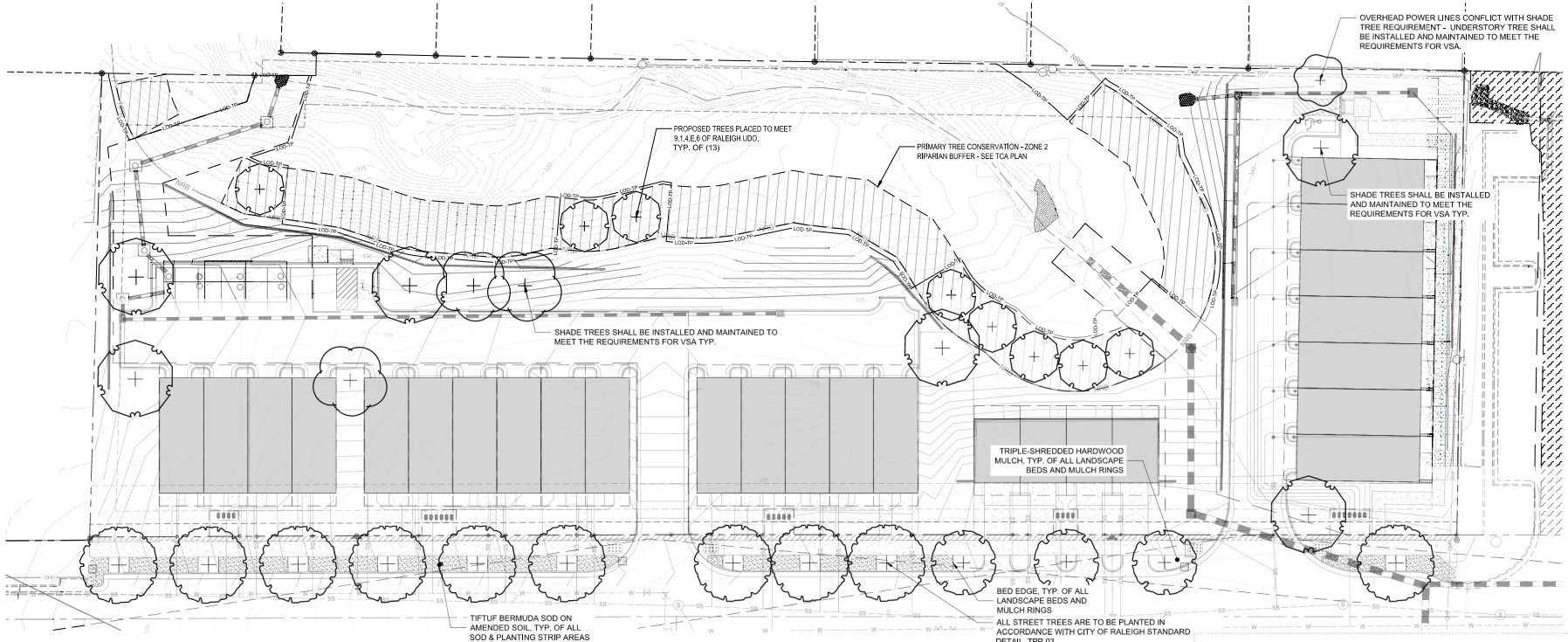
REQUIRED PRIMARY TREE CONSERVATION AREA (ZONE 2 NEUSE RIPARIAN BUFFER & REPLANTED ZONE 2 NEUSE RIPARIAN BUFFER): 10,048 S.F. - 0.23 AC. (10.3%)

REQUIRED PRIMARY TREE CONSERVATION AREA (ZONE 2 NEUSE RIPARIAN BUFFER & REPLANTED ZONE 2 NEUSE RIPARIAN BUFFER): 10,048 S.F. - 0.23 AC. (10.3%)

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REQUIRED PRIMARY TREE CONSERVATION AREA (ZONE 2 NEUSE RIPARIAN BUFFER & REPLANTED ZONE 2 NEUSE RIPARIAN BUFFER): 10,048 S.F. - 0.23 AC. (10.3%)

PROJECT NUMBER:	23066
PROJECT PHASE:	
DATE:	10.16.2023
DATE:	01.10.2024
DATE:	02.09.2024
DATE:	
DATE:	
DATE:	



PLANTING NOTES

- ROUGH GRADING TO BE COMPLETED PRIOR TO THE START OF PLANT INSTALLATION. SUBSTANTIAL COMPLETION SIGN-OFF BY LANDSCAPE ARCHITECT CONTRACTOR TO ENSURE NO CHANNELIZED FLOWS AROUND THE SITE.
- CONTRACTOR RESPONSIBLE FOR LOCATING ALL UTILITIES AND UNDERGROUND IMPROVEMENTS PRIOR TO BEGINNING PLANTING.
- ALL WEEDS, NON-NATIVE INVASIVE SPECIES, AND EXOTIC SPECIES LOCATED WITHIN THE PROJECT CONTRACTOR LIMITS SHALL BE ELIMINATED PRIOR TO PLANTING BED CREATION, PLANTING, AND SEEDING/SODDING OPERATIONS.
- PLANTING SHOULD OCCUR IMMEDIATELY AFTER CONSTRUCTION TO STABILIZE AREAS OF BARE SOIL.
- IT SHALL BE NOTED THAT ALL SECTIONS OF THE SITE THAT ARE SLOPED 3:1 OR HIGHER WILL BE COVERED WITH EROSION CONTROL, STABILIZATION COIR FABRIC (WITH 1" SQUARE OPENINGS) PRIOR TO PLANTING TO ENSURE IMMEDIATE STABILIZATION. LANDSCAPE CONTRACTOR SHALL CUT FABRIC AT EACH PLANT LOCATION AND PLACE PLANTS ACCORDING TO PLAN. ALL FABRIC SHALL BE RE-STAKED PER ENGINEER'S ORIGINAL DRAWINGS IMMEDIATELY AFTER PLANTING.
- PLANTS ARE TO BE PURCHASED BY BOTANICAL NAMES. THEY SHALL BE REPRESENTATIVE OF THEIR SPECIES. MEET ALL NOTED CONDITIONS OF SPECIFICATIONS, AND SHALL BE IN VIGOROUS GROWING CONDITION MEETING ANSI STANDARD Z60.
- LANDSCAPE ARCHITECT OR OWNER MAINTAINS RIGHT TO REJECT ANY PLANT DUE TO AESTHETICS OR STRUCTURAL DEFICIENCY AT ANY TIME.
- CONTRACTOR RESPONSIBLE FOR FURNISHING AND INSTALLING ALL PLANTS SHOWN ON PLANS IN LOCATIONS SHOWN. QUANTITIES GIVEN ON THE PLAN LEGEND ARE FOR CONTRACTORS CONVENIENCE ONLY. IF DISCREPANCIES OCCUR, THE PLANS SHALL OVERRULE THE PLANT LEGEND. CONTRACTOR SHALL LOCATE ALL PLANTS AWAY FROM KNOWN PERMANENT FEATURES. IF CONFLICT ARISES WITH PLANT CONTRACTOR SHALL NOTIFY PROJECT MANAGER OR DESIGNER PRIOR TO PROCEEDING.
- ALL PLANT MATERIAL SHALL CONFORM TO OR EXCEED THE AMERICAN STANDARD FOR NURSERY STOCK (LATEST EDITION) AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERMEN.
- ALL PLANT MATERIAL SHALL BE FREE OF ALL PESTS, DISEASES, AND CANCERS, IN HEALTHY CONDITION, AND FREE OF MECHANICAL DAMAGE AT THE TIME OF PLANTING.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE A HEALTHY AND VIBRANT PLANT AND THE PLANT SHALL BE REJECTED IF DEEMED UNHEALTHY OR UNFIT AT ANY TIME DURING THE CONTRACT OR WARRANTY DURATION.
- IF ANY PLANT MATERIAL SUBSTITUTIONS ARE REQUESTED BY CONTRACTOR, THEN NOTICE SHALL BE GIVEN TO PROJECT MANAGER OR DESIGNER AT MINIMUM SEVENTY-TWO (72) HOURS (NOT INCLUDING WEEKENDS) PRIOR TO DESIRED ORDERING DATE/TIME. WHEN SUBSTITUTIONS ARE REQUESTED BY CONTRACTOR, SUGGESTED ACCEPTABLE REPLACEMENTS SHALL ALSO BE PRESENTED AT TIME FOR FULL AND COMPLETE REVIEW BY LANDSCAPE ARCHITECT OR OWNER.
- BALLED AND BURLAPPED PLANTS/TREES TO BE PLANTED PRIOR TO CONTAINER OR BEDDING PLANTS.

- BALLED AND BURLAPPED MATERIAL SHALL COMPLY WITH THE FOLLOWING GUIDELINES:
 - TREES DESIGNATED B&B SHALL BE PROPERLY DUG WITH FIRM, NATURAL BALLS OF SOIL, RETAINING AS MANY FIBROUS ROOTS AS POSSIBLE, IN SIZES AND SHAPES AS SPECIFIED IN THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1
 - ROOT BALLS SHALL BE FIRMLY WRAPPED WITH NONSYNTHETIC, ROTTABLE BURLAP AND SECURED WITH NAILS AND HEAVY NONSYNTHETIC TWINE.
 - ROOT COLLAR SHALL BE APPARENT AT SURFACE OF BALL, OR THE CONTRACTOR WILL BE RESPONSIBLE FOR REMOVING EXCESS SOIL FROM THE TOP OF THE ROOTBALL.
 - REMOVE ALL BURLAP, LACING, AND WIRE BASKET FROM AT LEAST THE TOP 1/2 OF THE ROOTBALL AND DISCARD FROM PLANTING HOLE.
 - DO NOT MANEUVER BY TRUNK. HANDLE BY ROOT BALL ONLY.
- CONTAINERIZED PLANTS SHALL COMPLY WITH THE FOLLOWING GUIDELINES:
 - MATERIAL SHALL HAVE FIRM, NATURAL BALLS OF SOIL, RETAINING AS MANY FIBROUS ROOTS AS POSSIBLE, IN SIZES AND SHAPES AS SPECIFIED IN THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1
 - ROOT COLLAR SHALL BE APPARENT AT SURFACE OF BALL, OR THE CONTRACTOR WILL BE RESPONSIBLE FOR REMOVING EXCESS SOIL FROM THE TOP OF THE ROOTBALL.
 - REMOVE CONTAINER PRIOR TO PLANTING.
- PLANT BED PREPARATION:
 - ALL PLANT BEDS ARE TO RECEIVE A MINIMUM OF 4" OF APPROVED TOPSOIL FILLED IN TO A DEPTH OF 6" TO ENSURE INTEGRATION WITH EXISTING SOIL.
 - APPROVED TOPSOIL IS TO BE PREFERABLY FROM ON-SITE STOCKPILE FROM STRIPPING OPERATIONS - SEE EROSION AND SEDIMENT CONTROL PLANS.
 - IF ON-SITE TOPSOIL IS NOT AVAILABLE, CONTRACTOR SHALL PROVIDE TO SITE ACCORDINGLY.
- ALL MULCH TO BE CERTIFIED TO BE FREE OF WEEDS, NON-NATIVE INVASIVE SPECIES AND THEIR LAZIVAE. MULCH SAMPLE SUBMITTAL SHALL BE PROVIDED TO LANDSCAPE ARCHITECT BEFORE SITE DELIVERY.

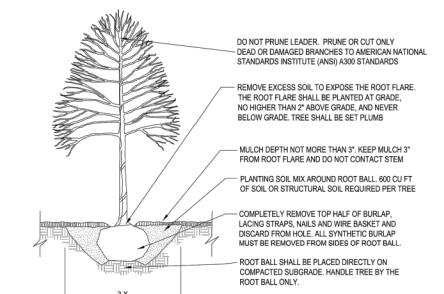
LANDSCAPE REQUIREMENTS

- STREET TREES**
GRANT AVE.
FRONTAGE: 533 FT
REQUIRED: 1 SHADE TREE PER 40' 533/40 = 13 SHADE TREES
PROVIDED: 8 SHADE TREES
PROPOSED EXISTING UTILITY CONFLICTS ALONG GRANT AVE EFFECT SPACING & QUANTITIES OF TREES.
- VEHICLE SURFACE AREA (VSA)**
13,514 SF
REQUIRED: 1 SHADE TREE PER 2,000 SF
13,514 / 2,000 = 6.8 SHADE TREES
PROVIDED: 7 SHADE TREES



PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	CALIPER	HEIGHT	B&B OR CONT.
	6	Acer saccharum 'Arrowhead'	Arrowhead Sugar Maple	3"	10'	B&B
	3	Carpinus betulus	European Hornbeam	3"		B&B
	1	Halesia carolina	Silverbell	3"	10'	B&B
	8	Liquidambar styraciflua 'Golden Sun'	Golden Sun Sweet Gum	15 GAL.	8'-10'	B&B
	3	Pistacia chinensis 'Keith Davey'	Keith Davey Chinese Pistache	4"	8'	B&B
	10	Quercus phellos 'QPMTF'	Wynstar Willow Oak	4"		B&B



CONTACT INFORMATION:
CITY OF RALEIGH PARKS, RECREATION AND CULTURAL RESOURCES DEPARTMENT URBAN FORESTER:
TREES@RALEIGH.GOV
WWW.RALEIGH.GOV

NOTES:

- TREES MUST MEET THE TREE QUALITY STANDARDS IN CH. 2 OF THE CITY TREE MANUAL.
- CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITS. (POSITIVE DRAINAGE AWAY FROM PIT)
- TREES SHALL BE PLANTED BETWEEN OCTOBER 1ST AND APRIL 30TH.
- A TREE IMPACT PERMIT IS REQUIRED.
- ELECTRICAL OUTLETS AND OTHER UTILITIES ARE PROHIBITED IN THE PLANTING AREA IMMEDIATELY SURROUNDING THE TREE.
- IF STAKING IN ACCORDANCE WITH THE CITY TREE MANUAL, THE STAKING MUST BE REMOVED WITHIN ONE YEAR.
- TREES WILL HAVE A MINIMUM 1 YEAR WARRANTY AFTER THE INITIAL PLANTING IS APPROVED BY THE CITY.

SCALE: 1" = 20'-0"

CITY OF RALEIGH
STANDARD DETAIL
TREE PLANTING DETAIL
TPP-03



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GRANTE AVENUE TOWNHOMES
LEGACY CUSTOM HOMES INC
3304 SIX FORKS RD, STE 100, RALEIGH, NC

PROJECT NUMBER: 23066
PROJECT PHASE:
DATE: 10.16.2023
01.10.2024
02.09.2024
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SHEET TITLE:
PLANTING PLAN

SHEET NUMBER:
L-4.0