



Administrative Approval Action

Case File / Name: SUB-0062-2023
DSLCL - OLDE BIRCH TOWNHOMES

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

- LOCATION:** This 10.38 acre site is mostly zoned R-10 CU (TCZ-26-22) with a very small portion zoned NX-3-CU and is located on the east side of Olde Birch Drive just north of the intersection of Olde Birch and Slippery Elm Drive at 3300 Olde Birch Drive.
- REQUEST:** This is a townhome subdivision consisting of 80 residential lots and two HOA/Common lots for a total of 82 lots.
- DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** N/A
- FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated April 11, 2024 by RDU Consulting, PLLC.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

SITE PERMITTING REVIEW - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

Public Utilities

1. A Downstream Sewer Capacity Study in compliance with the City of Raleigh Public Utilities Department Handbook shall be submitted by the Project Engineer for review and approval.

Stormwater

2. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
3. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
4. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).

Urban Forestry

5. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.
6. Submit a final tree conservation plan that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required (UDO 9.1.5).



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LEGAL DOCUMENTS - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Stormwater Maintenance Covenant Required
<input checked="" type="checkbox"/>	Right of Way Deed of Easement Required

<input checked="" type="checkbox"/>	Public Access Deed of Easement Required
<input checked="" type="checkbox"/>	Utility Placement Deed of Easement Required

RECORDED MAP(S) - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

General

1. Provide documentation indicating a Property Owner's Association has been established for the subject development.
2. Street names for this development shall be approved by the Raleigh GIS Division and by Wake County.

Engineering

3. A 5' utility placement easement deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
4. A public infrastructure surety shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.



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5. A public street right-of-way deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
6. A public access deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

Public Utilities

7. Site Permit Review plans (SPR) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.

Stormwater

8. The maximum allocated impervious area for all applicable lots in the subdivision should be identified on all maps for recording.
9. The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office (UDO 9.2.2.G).
10. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
11. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).

Urban Forestry

12. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1). This development proposes 1.03 acres of tree conservation area.
13. A public infrastructure surety for 48 street trees shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 125% of the improvement cost for the City of Raleigh infrastructure.



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BUILDING PERMITS - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

Public Utilities

1. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

Urban Forestry

2. Tree impact permits must be obtained for the approved streetscape tree installations in the rights-of-way. This development proposes 22 street trees along Olde Birch Drive and 26 street trees along Silver Bark Lane for a total of 48 street trees.

The following are required prior to issuance of building occupancy permit:

General

1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
2. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).
3. Final inspections of tree conservation areas and rights-of-way street trees by Urban Forestry Staff

Stormwater

4. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).

EXPIRATION DATES: If significant construction has not taken place on a project after preliminary subdivision approval, that approval may "sunset" and be declared void, requiring re-approval before permits may be issued. To avoid allowing this preliminary approval to "sunset", the following must take place by the following dates:

3-Year Sunset Date: April 24, 2027

Record at least ½ of the land area approved.

5-Year Sunset Date: April 24, 2029

Record entire subdivision.



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I hereby certify this administrative decision.

Signed: _____ *Michael Walters* _____ Date: 04/24/2024
Development Services Dir/Designee
Staff Coordinator: Michael Walters



VICINITY MAP
1" = 400'

SITE DATA	
PROPERTY OWNER/DEVELOPER:	CONCEPT 8 HOLDINGS, LLC 307 S. SALEM ST. SUITE 200 APEX, NC 27502
SITE ADDRESS:	3300 OLDE BIRCH DRIVE
GROSS SITE AREA:	10.38 AC/452,274 SF
RIGHT-OF-WAY DEDICATION:	OLD BIRCH DRIVE: 0.04 AC/1,897 SF NEW PUBLIC STREET: 0.72 AC/31,150 SF TOTAL DEDICATION: 0.76 AC/33,047 SF
NET SITE AREA:	9.62 AC/419,227 SF
SITE DENSITY:	419,227 / 80 UNITS = 5,240 SF/UNIT (3,000 SF/UNIT MINIMUM)
WAKE COUNTY PIN #:	1712857919
ZONING DISTRICT:	R-10-CU
EXISTING USE:	VACANT
PROPOSED USE:	SUBDIVISION - MULTIFAMILY TOWNHOME BUILDING TYPE
STREET CLASSIFICATION:	OLDE BIRCH DRIVE - NEIGHBORHOOD STREET NEW PUBLIC STREET - NEIGHBORHOOD LOCAL
EXISTING STREETScape:	OLDE BIRCH 15' TREE LAWN NO SIDEWALK
PROPOSED STREETScape:	OLDE BIRCH NEW NEIGHBORHOOD LOCAL 6' TREE LAWN 6' SIDEWALK 6' TREE LAWN 6' SIDEWALK
AMENITY AREA REQUIRED:	TOTAL: 41,923 SF (10%) PEDESTRIAN ACCESSIBLE AMENITY AREA: 20,962 SF (5%)
PROVIDED:	TOTAL: 66,790 SF (15.8%) PEDESTRIAN ACCESSIBLE AMENITY AREA: 20,962 SF (5%)
PROVIDED PARKING:	10 SPACES INCLUDING 1 VAN HANDICAP ACCESSIBLE SPACES
REQUIRED TCA:	9.62 AC X 10% = 0.962 AC
PROVIDED TCA:	1.03 AC (10.68%)

UDO SEC. 2.2.7 RESIDENTIAL INFILL
THE PROPOSED DEVELOPMENT IS NOT SUBJECT TO RESIDENTIAL INFILL STANDARDS IN ACCORDANCE WITH UDO SEC. 2.2.7. NO COMPARATIVE SAMPLE EXISTS ALONG OLDE BIRCH DRIVE AND THE OTHER REMAINING LOTS DO NOT HAVE FRONTAGE ON

UDO SEC. 8.3.5.D.5.B.I CROSS ACCESS
IN ACCORDANCE WITH UDO 8.3.5.D CROSS ACCESS REQUIREMENTS ARE NOT APPLICABLE TO THE PROPOSED DEVELOPMENT DUE TO THE PRESENCE OF AN EXISTING DETACHED BUILDING TYPE TO THE SOUTH, A PLACE OF WORSHIP TO THE EAST, AND STEEP SLOPES & OPEN SPACE TO THE NORTH, CROSS ACCESS TO THE SOUTHEAST IS BEING PROVIDED BY DEDICATION OF PUBLIC RIGHT-OF-WAY.

INDEX	
CE-1.0	BOUNDARY AND TOPOGRAPHIC SURVEY
CE-2.0	SUBDIVISION PLAN
CE-2.1	LAYOUT PLAN
CE-2.2	SOLID WASTE PLAN
CE-2.3	SIGHT DISTANCE EXHIBIT
CE-2.4	FIRE ACCESS EXHIBIT
CE-3.0	UTILITY PLAN
CE-4.0	GRADING AND DRAINAGE PLAN
CE-4.1	STORMWATER MANAGEMENT PLAN - SCM 1
CE-4.2	STORMWATER MANAGEMENT PLAN - SCM 2
LA-1	LANDSCAPE PLAN
TCA-1.0	TREE CONSERVATION PLAN
TCA-1.1	TREE CONSERVATION DETAILS

OLDE BIRCH TOWNHOMES

PRELIMINARY SUBDIVISION

SUB-0062-2023

RALEIGH, NORTH CAROLINA

NOVEMBER 03, 2023
 REVISED FEBRUARY 1, 2024
 REVISED MARCH 11, 2024
 REVISED APRIL 11, 2024

TCZ-26-22 - 3300 OLDE BIRCH DRIVE ZONING CONDITIONS

ORDINANCE NO. (2022) 430 ZC 846 EFFECTIVE 10/23/2022

4. TCZ-26-22 - 3300 OLDE BIRCH DRIVE LOCATED ON THE EAST SIDE OF OLDE BIRCH DRIVE ACROSS FROM SOUTHEAST RALEIGH HIGH SCHOOL, APPROXIMATELY 500 FEET SOUTH OF ROCK QUARRY ROAD, BEING WAKE COUNTY PIN 1712857919, APPROXIMATELY 10.4 ACRES REZONED TO RESIDENTIAL-10-CONDITIONAL USE (R-10-CU) WITH AMENDED CONDITIONS.

ORIGINAL CONDITIONS DATED: NOVEMBER 6, 1997 (Z-71-97), ORDINANCE NO. (1998) 284 ZC 428)

- STORMWATER RUNOFF FROM THE SITE SHALL COMPLY WITH CR 7107.
- USES SHALL BE LIMITED TO LIFE CARE COMMUNITY, CONGREGATE CARE FACILITIES OR REST HOME AT DENSITIES AS ALLOWED BY RESIDENTIAL-10 ZONING REQUIREMENTS, OR SINGLE FAMILY DWELLING AT DENSITIES AS ALLOWED IN RESIDENTIAL-10 DISTRICT.
- FUTURE SUBDIVISION PLANS WILL SHOW A PUBLIC STREET OR STREETS INTERSECTING WITH ROCK QUARRY ROAD AND TRAVERSING THE PROPOSED NEIGHBORHOOD BUSINESS CUD TRACT AND PROPOSED R-10 CUD TRACT AND CONNECT TO THE ADJACENT R-6 TRACT (PIN 1712847676) TO THE SOUTH.
- FOR THE PURPOSES OF THE REIMBURSEMENT, PUBLIC STREET RIGHT-OF-WAY VALUE FOR THE PROPOSED RESIDENTIAL-10 CUD SHALL BE RETAINED AT THE R-6 ZONING VALUE.

AMENDED CONDITIONS DATED: MARCH 25, 2022

THE TEXT CHANGE TO ZONING CONDITIONS WOULD REMOVE ALL CONDITIONS FROM REZONING CASE 27-1-97, AND REPLACE WITH THE FOLLOWING CONDITIONS:

- AN APARTMENT BUILDING TYPE MAY NOT INCLUDE DWELLING UNITS THAT ARE SEPARATED BY A HORIZONTAL PARTY, MEANING THAT DWELLING UNITS IN THE SAME BUILDING MUST BE SEPARATED BY A VERTICAL PARTY WALL. THIS SHALL NOT PROHIBIT A DWELLING UNIT FROM HAVING MULTIPLE STORIES. - This project proposes Townhome Building Type; units will be separated by a vertical party wall.

DEVELOPER:
CONCEPT 8 HOLDINGS, LLC
 307 S. Salem St. Suite 200
 Apex, NC 27502
 919-601-5078
 shawn@concepteight.com

CIVIL ENGINEER:
RDU
 CONSULTING PLLC

NC LICENSE P-2425
 PHONE: 252-908-5722
 EMAIL: LEWIS@RDUCONSULTING.COM
 P.O. BOX 418
 CLAYTON, NC 27528

INSTRUCTIONS: This form is used when submitting a Preliminary Subdivision (UDO Section 10.2.5). Please check the appropriate review type and include the plan check documents. Please email all documents and your preliminary subdivision plans to UDO@raleighnc.gov.

DEVELOPMENT OPTIONS (UDO Chapter 2)	
<input checked="" type="checkbox"/> Conventional Subdivision	<input type="checkbox"/> Conservation Development
<input type="checkbox"/> Cottage Court	<input type="checkbox"/> Flag lot
<input type="checkbox"/> Present Transit Development Option	
GENERAL INFORMATION	
Scoping/Match plan case number(s):	
Development name (subject to approval): Olde Birch Townhomes	
Property Address(es): 3300 Olde Birch Rd	
Recorded Deed PIN#: 1712857919	
Building type(s):	<input type="checkbox"/> Detached House <input type="checkbox"/> Attached House <input checked="" type="checkbox"/> Townhouse <input type="checkbox"/> Apartment
<input type="checkbox"/> General Building	<input type="checkbox"/> Mixed Use Building <input type="checkbox"/> Civic Building <input type="checkbox"/> Open Lot <input type="checkbox"/> Tiny House
CURRENT PROPERTY OWNER/APPLICANT/DEVELOPER INFORMATION	
Current Property Owner(s) Name(s):	
Company: MOTAPARTHY PROPERTIES LLC <input type="checkbox"/> Authorized Signatory	
Address: 105 CASHWELL DR	
Phone #: 919-394-2008 <input type="checkbox"/> Email:	
Applicant Name of different from owner. See "who can apply" in instructions:	
Relationship to owner: <input type="checkbox"/> lease or contract purchaser <input type="checkbox"/> Owner's authorized agent <input type="checkbox"/> Assessor holder	
Company: Concept 8 Holdings	
Address: 307 S. Salem St. #200	
Phone #: 919-601-5078 <input type="checkbox"/> Email: shawn@concepteight.com	
NOTE: please attach purchase agreement or contract, lease or assessment when submitting this form.	
Developer Contact Name(s): Jason G. Meadows	
Company: RDU Consulting, PLLC <input type="checkbox"/> Manager	
Address: 910 Tryon Hill Drive, Suite 101	
Phone #: 919-889-2614 <input type="checkbox"/> Email: jason@rduconsulting.com	

DEVELOPMENT TYPE - SITE DATA TABLE - ZONING INFORMATION	
Gross site acreage: 10.38	
Zoning districts (if more than one, provide acreage of each):	
R-10	
Overlay district(s):	Inside City Limits? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Historic District/Landmark: N/A <input checked="" type="checkbox"/>
Conditional Use District (CUD):	Board of Adjustment Case #
Case # 26-22	Design Alternate Case #
	124
STORMWATER INFORMATION	
Impervious Area on Parcel(s):	Impervious Area for Compliance (includes right-of-way)
Existing (sf):	Existing (sf):
Proposed total (sf): 154,170	Proposed total (sf): 45,501
NUMBER OF LOTS AND DENSITY	
# of Detached House Lots:	# of Attached House Lots:
# of Open Lots: 2	# of Other Lots (Apartment, General, Mixed Use, Civic, Jason G.B.):
# of Tiny House Lots:	Total # Dwelling Units:
	29
# of bottom units (if known):	40
Proposed density for each zoning district (UDO 15.2.2): 419,227 SF (NET) / 80 Units = 5,240 SF/Unit	

SIGNATURE BLOCK
 Pursuant to state law (N.C. Gen. Stat. § 160C-020), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An assessment holder may also apply for development approval for such development as is authorized by the assessor.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160C-020) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that development approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160C-020.

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(1)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application will be discontinued and a new application is required to be prepared and the development regulations in effect at the time the permit processing is resumed shall apply to the new application.

Signature: Shawn Dorozyn Date: 11/20/2023
 Printed Name: Shawn Dorozyn
 Signature: _____ Date: _____
 Printed Name: _____

HORIZONTAL DATUM: NAD83
 VERTICAL DATUM: NAVD83

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS.

SOLID WASTE INSPECTIONS STATEMENT
 DEVELOPERS HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE CITY OF RALEIGH SOLID WASTE MANUAL, STANDARD 56. GAL ROLL OUT CONTAINERS WILL BE STORED WITHIN THE GARAGE AREA OF THE UNITS AND ROLLED CURBSIDE FOR COLLECTION.

LINE #	DIRECTION	LENGTH
L1	S89°40'03"E	61.07'
L2	S29°50'30"W	11.63'
L3	S59°11'01"E	60.05'
L4	S59°02'32"E	60.15'
L5	S62°28'01"E	48.35'
L6	S68°09'44"E	14.32'
L7	S68°25'24"E	11.64'
L8	S44°32'53"E	12.86'
L9	S70°55'21"E	25.74'
L10	S53°14'41"E	11.29'
L11	S53°14'41"E	16.79'
L12	S46°57'52"E	28.70'
L13	S32°25'57"E	11.85'
L14	S78°45'44"E	19.60'
L15	S55°03'30"E	13.97'
L16	S55°03'30"E	11.69'
L17	S52°09'16"E	25.02'
L18	S54°23'40"E	30.70'
L19	S36°58'23"E	36.78'
L20	S18°57'08"E	58.38'

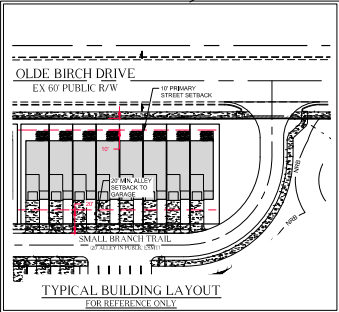
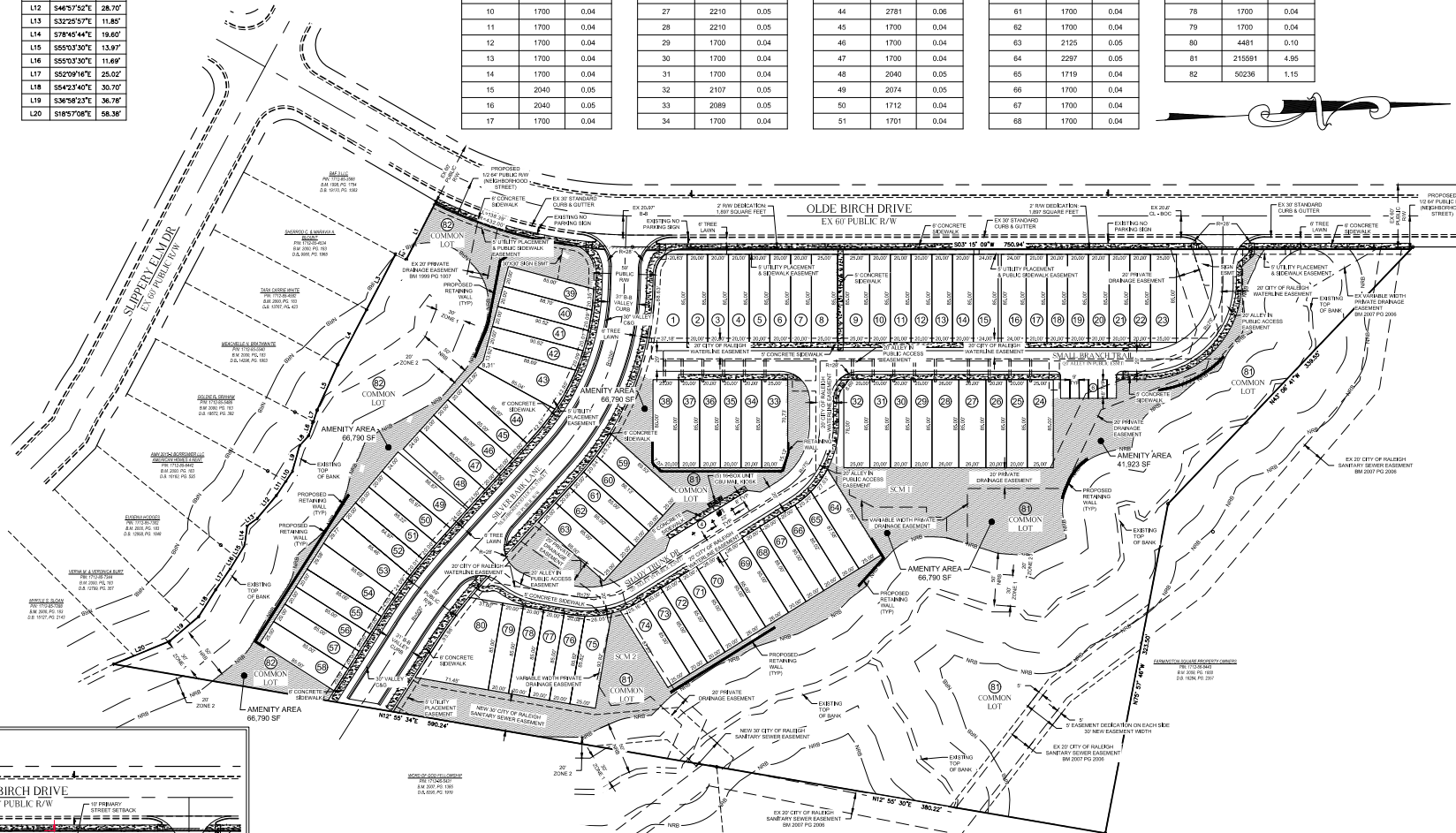
LOT AREA TABLE		
LOT NUMBER	AREA (SF)	AREA (AC)
1	2655	0.06
2	1700	0.04
3	1700	0.04
4	1700	0.04
5	1700	0.04
6	1700	0.04
7	1700	0.04
8	2125	0.05
9	2125	0.05
10	1700	0.04
11	1700	0.04
12	1700	0.04
13	1700	0.04
14	1700	0.04
15	2040	0.05
16	2040	0.05
17	1700	0.04

LOT AREA TABLE		
LOT NUMBER	AREA (SF)	AREA (AC)
18	1700	0.04
19	1700	0.04
20	1700	0.04
21	1700	0.04
22	1700	0.04
23	2125	0.05
24	2125	0.05
25	1700	0.04
26	1700	0.04
27	2210	0.05
28	2210	0.05
29	1700	0.04
30	1700	0.04
31	1700	0.04
32	2107	0.05
33	2089	0.05
34	1700	0.04

LOT AREA TABLE		
LOT NUMBER	AREA (SF)	AREA (AC)
35	1700	0.04
36	1700	0.04
37	1700	0.04
38	2112	0.05
39	1740	0.04
40	1795	0.04
41	1813	0.04
42	1795	0.04
43	2765	0.06
44	2781	0.06
45	1700	0.04
46	1700	0.04
47	1700	0.04
48	2040	0.05
49	2074	0.05
50	1712	0.04
51	1701	0.04

LOT AREA TABLE		
LOT NUMBER	AREA (SF)	AREA (AC)
52	1703	0.04
53	2311	0.05
54	2284	0.05
55	1700	0.04
56	1700	0.04
57	1700	0.04
58	2125	0.05
59	2191	0.05
60	1709	0.04
61	1700	0.04
62	1700	0.04
63	2125	0.05
64	2287	0.05
65	1719	0.04
66	1700	0.04
67	1700	0.04
68	1700	0.04

LOT AREA TABLE		
LOT NUMBER	AREA (SF)	AREA (AC)
69	2210	0.05
70	2210	0.05
71	1700	0.04
72	1700	0.04
73	1700	0.04
74	2140	0.05
75	2217	0.05
76	1703	0.04
77	1700	0.04
78	1700	0.04
79	1700	0.04
80	4481	0.10
81	21591	4.95
82	50236	1.15



IMPERVIOUS ALLOCATION

- LOTS 1-80 SHALL HAVE A MAXIMUM IMPERVIOUS ALLOCATION (MIA) OF 1600 SQUARE FEET.
- LOT 81 SHALL HAVE A MAXIMUM IMPERVIOUS ALLOCATION OF 34,000 SF.
- LOT 82 SHALL HAVE A MAXIMUM IMPERVIOUS ALLOCATION OF 1,000 SF.



NC LICENSE P-2125
PHONE: 252-406-5722
EMAIL: LEWIS@RDUCONSULTING.COM
P.O. BOX 118
CLAYTON, NC 27338

CONCEPT 8 HOLDINGS, LLC
307 S. SALEM ST., #200
APEX, NC 27502

OLDE BIRCH TOWNHOMES (SUB-0062-2023)

PRELIMINARY SUBDIVISION

LEGEND

- BOOK OF MAPS
- DEED BOOK
- PG PAGE
- R/W RIGHT OF WAY
- EP EXISTING IRON PIPE
- SP IRON PIPE SET
- CP COMPUTED POINT
- SS SANITARY SEWER
- CS SANITARY SEWER CLEAN OUT
- MH MANHOLE
- WV WATER VALVE
- RCP REINFORCED CONCRETE STORM PIPE
- CNC CONCRETE
- MH MANHOLE
- WM WATER METER
- LP LEFT POLE
- WP CABLE PRESTRESS
- TP TELEPHONE PRESTRESS
- PH FIRE HYDRANT
- CB CATCH BASIN
- PP POWER POLE
- D DROP INLET

PROPOSED CONCRETE
TREE CONSERVATION AREA
AMENITY AREA
TPF TREE PROTECTION FENCE
PROPERTY LINE
RIGHT OF WAY LINE
PROP. LINE NOT SURVEYED
STORM PIPE
SANITARY SEWER LINE
OVERHEAD POWER
FENCE LINE

CATV MH LP WV SS/MH
 CW MW CP PP TP

50' 25' 0' 50' 100'
1"=50'

Number	Description	Date
1	CITY OF RALEIGH COMMENTS	02/01/24
2	CITY OF RALEIGH COMMENTS	03/11/24

Subdivision Plan
SUBDIVISION PLAN

Sheet Number
CE-2.0

Date Issued 11/03/2023

LEGEND

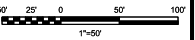
- BM BOOK OF MAPS
- DB DEED BOOK
- PG PAGE
- R/W RIGHT OF WAY
- EW EXISTING IRON PIPE
- EP EXISTING PIPE SET
- CP COMPUTED POINT
- CS SANITARY SEWER
- CO SANITARY SEWER CLEAN OUT
- MH MANHOLE
- WV WATER VALVE
- RCP REINFORCED CONCRETE STORM PIPE
- CONC CONCRETE
- MH MANHOLE
- WM WATER METER
- LP LIGHT POLE
- CATV CABLE PEDESTAL
- TP TELEPHONE PEDESTAL
- FH FIRE HYDRANT
- CB CATCH BASIN
- PP POWER POLE
- D DROP INLET

PROPOSED CONCRETE

- TC TREE CONSERVATION AREA
- AMENITY AREA
- TPF TREE PROTECTION FENCE
- PL PROPERTY LINE
- RL RIGHT OF WAY LINE
- NSL NOT SURVEYED
- SP STORM PIPE
- SS SANITARY SEWER LINE
- OP OVERHEAD POWER
- EL EASEMENT LINE
- FL FENCE LINE

SYMBOLS

- CATV
- FH
- LP
- WV
- SS/MH
- CW
- MW
- PP
- TP



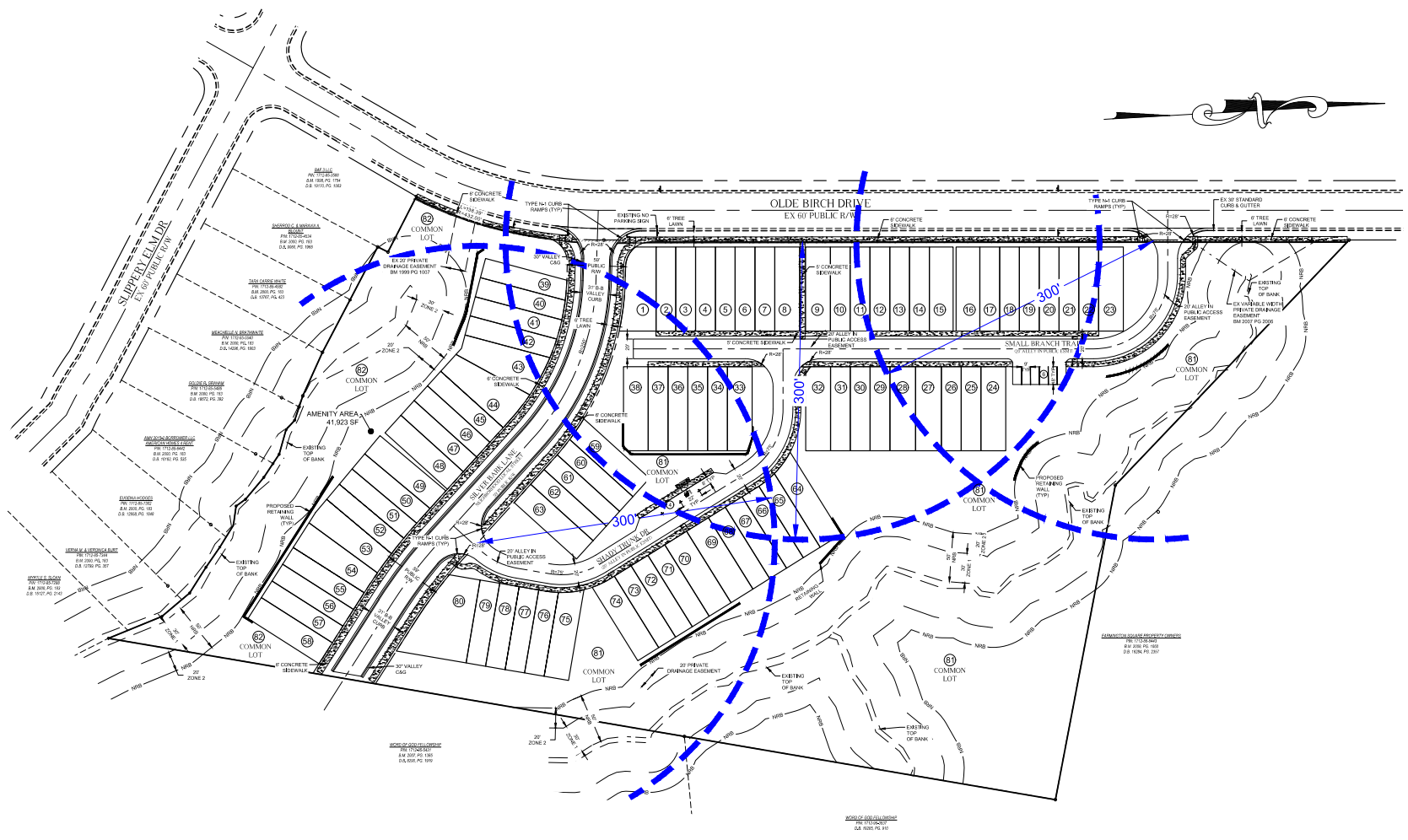
Revisions

Number	Description	Date
1	CITY OF RALEIGH COMMENTS	02/01/24
2	CITY OF RALEIGH COMMENTS	03/11/24

Drawing Title: **SITE LAYOUT PLAN**

Sheet Number: **CE-2.1**

Date Issued: 11/03/2023



BUILDING SEPARATION
 ALL BUILDINGS SHALL HAVE A MINIMUM 10'
 SEPARATION IN ACCORDANCE WITH SEC. 2.2.3.C.6.



January 30, 2024

Jason Meadows, PE, LEED AP
 RDU Consulting, PLLC
 PO BOX 418
 Clayton, NC 27326

Dear Jason:

This is a letter of support for trash and recycling services for the new housing development, *Olde Birch Townhomes*, planned for *Olde Birch Drive* in *Raleigh, NC*. I appreciate the detailed site plans. Our company has reviewed the drawing and has found that *GFL Environmental* can safely perform all needed services.

Current design plans call for each townhome to have one 96-gallon trash and one 96-gallon recycle service with weekly service. If the project design changes, this letter is void and a new letter must be issued. Additionally, this letter is non-transferable.

Our Operations team will review the property when construction concludes to map out the best route for the driver to collect the carts. Collection will be curbside, with the carts put out the night before the service day, unless otherwise notified.

As always, thank you for allowing *GFL Environmental* to review the plans for *Olde Birch Townhomes* and I look forward to beginning service in the future.

Sincerely,

Audrey Gentry

Account Manager
 GFL Environmental - Raleigh
 8743 Concord Drive
 Garner, NC 27529
 (M) 919-291-1140

Approved by P. Moseley

RDU
 CONSULTING PLLC

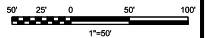
NC LICENSE P-2425
 PHONE: 252-406-5722
 EMAIL: LEWIS@RDUCONSULTING.COM
 P.O. BOX 118
 CLAYTON, NC 27328

CONCEPT 8
 HOLDINGS, LLC
 307 S. SALEM ST. #200
 APEX, NC 27502

OLDE BIRCH
 TOWNHOMES
 (SUB-0062-2023)

PRELIMINARY SUBDIVISION

- LEGEND**
- BM BOOK OF MAPS
 - DR DEED BOOK
 - PG PAGE
 - R/W RIGHT OF WAY
 - EP EXISTING IRON PIPE
 - RP IRON PIPE SET
 - CP COMPUTED POINT
 - SS SANITARY SEWER
 - CO SANITARY SEWER CLEAN OUT
 - MH MANHOLE
 - WV WATER VALVE
 - RCP REINFORCED CONCRETE STORM PIPE
 - CONC CONCRETE
 - MH MANHOLE
 - WV WATER VALVE
 - LP LIGHT POLE
 - CATV CABLE PEDESTAL
 - TP TELEPHONE PEDESTAL
 - FH FIRE HYDRANT
 - CB CATCH BASIN
 - PP POWER POLE
 - DI DROP INLET
 - PROPOSED CONCRETE
 - TREE CONSERVATION AREA
 - AMENITY AREA
 - TPF TREE PROTECTION FENCE
 - PROPERTY LINE
 - RIGHT OF WAY LINE
 - PROG. LINE NOT SURVEYED
 - STORM PIPE
 - SS SANITARY SEWER LINE
 - OVERHEAD POWER
 - AGUMENT LINE
 - FENCE LINE
 - CATV
 - FH
 - LP
 - WV
 - SSMH
 - CP
 - MH
 - PP
 - TP



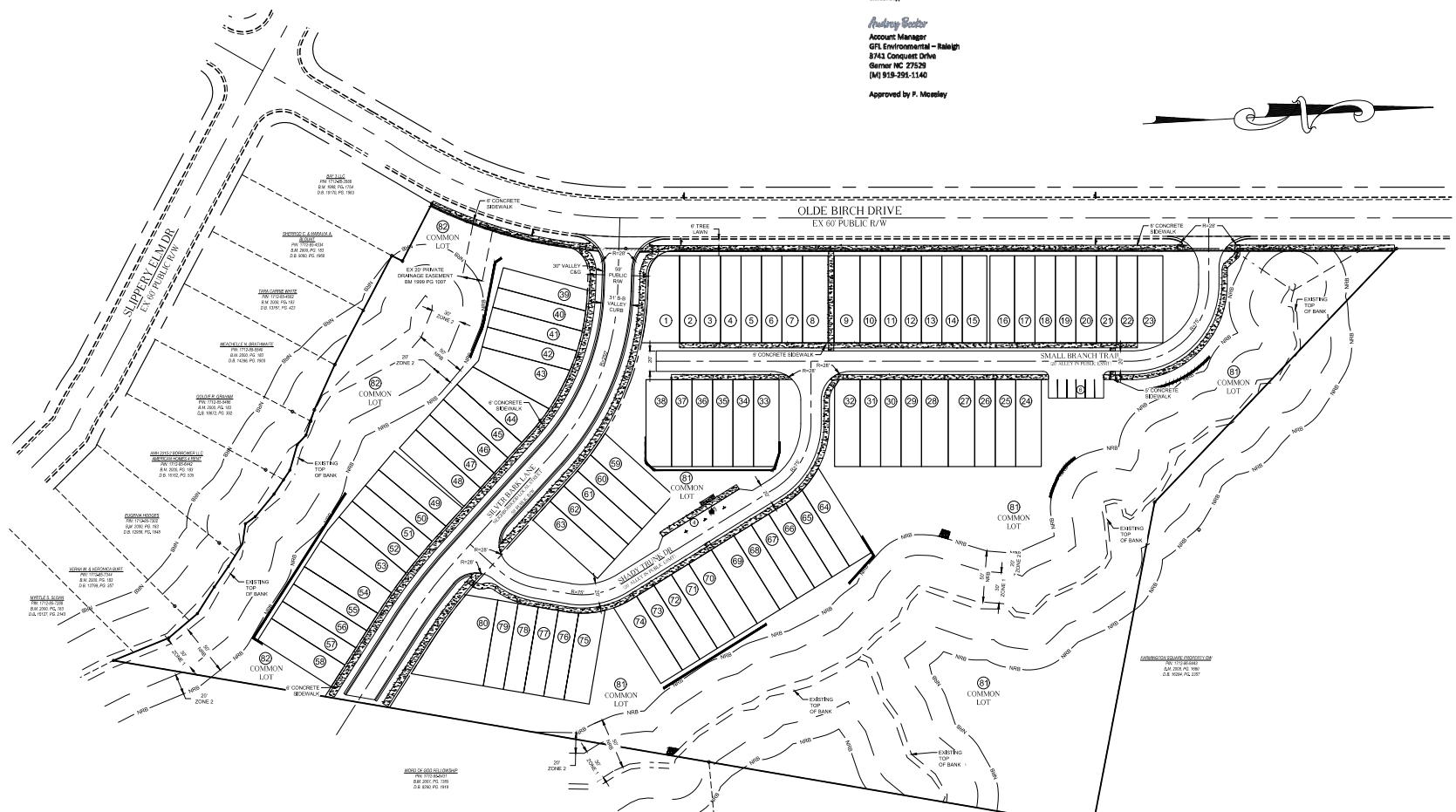
Revisions

Number	Description	Date
1	CITY OF RALEIGH COMMENTS	02/01/24
2	CITY OF RALEIGH COMMENTS	03/11/24

Drawing Title: **SOLID WASTE PLAN**

Sheet Number: **CE-2.2**

Date Issued: 11/03/2023



**CONCEPT 8
 HOLDINGS, LLC**
 307 S. SALEM ST., #200
 APEX, NC 27502

**OLDE BIRCH
 TOWNHOMES**
 (SUB-0062-2023)

PRELIMINARY SUBDIVISION

LEGEND

- BM BOOK OF MAPS
- DB DEED BOOK
- PG PAGE
- R/W RIGHT OF WAY
- EP EXISTING IRON PIPE
- IP IRON PIPE SET
- CP COMPUTED POINT
- SS SANITARY SEWER
- CO SANITARY SEWER CLEAN OUT
- MH MANHOLE
- WV WATER VALVE
- RCP REINFORCED CONCRETE STORM PIPE
- CNC CONCRETE
- MH MANHOLE
- WM WATER METER
- LP LIGHT POLE
- CATV CABLE PEDESTAL
- TP TELEPHONE PEDESTAL
- FP FIRE HYDRANT
- CB CATCH BASIN
- PP POWER POLE
- D DROP INLET

PROPOSED CONCRETE

- TC TREE CONSERVATION AREA
- AMENITY AREA
- TPF TREE PROTECTION FENCE
- PL PROPERTY LINE
- R/W RIGHT OF WAY LINE
- NS NOT SURVEYED
- SS STORM PIPE
- SS SANITARY SEWER LINE
- OP OVERHEAD POWER
- ASB ALIGNMENT LINE
- FENCE LINE

CATV FP LP WV SS/MH
 CW MH PP TP

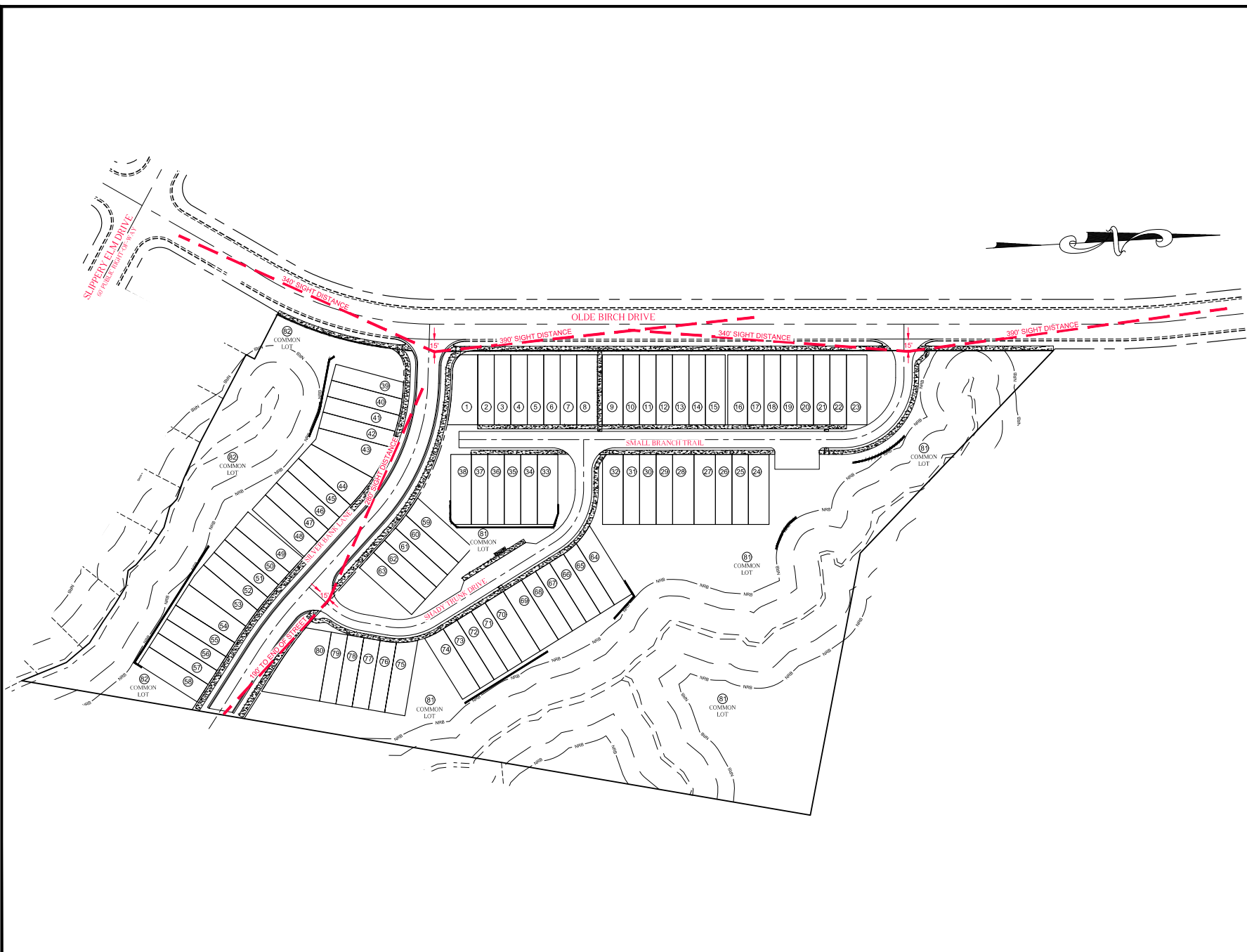
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 1"=50'

Revisions		
Number	Description	Date
1	CITY OF RALEIGH COMMENTS	02/01/24
2	CITY OF RALEIGH COMMENTS	03/11/24

Drawing Title:
**SIGHT DISTANCE
 EXHIBIT**

Sheet Number:
CE-2.3

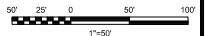
Date Issued: 11/03/2023



LEGEND

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RPS	IRON PIPE SET
CP	COMPUTED POINT
SS	SANITARY SEWER
CS	SANITARY SEWER CLEAN OUT
MH	MANHOLE
WV	WATER VALVE
RCP	REINFORCED CONCRETE STORM PIPE
CONC	CONCRETE
MH	MANHOLE
WM	WATER METER
LP	LEFT POLE
TP	CABLE PEDESTAL
CATV	TELEPHONE PEDESTAL
FH	FIRE HYDRANT
CB	CATCH BASIN
PP	POWER POLE
D	DROP INLET
PC	PROPOSED CONCRETE
TC	TREE CONSERVATION AREA
AM	AMENITY AREA
TPF	TREE PROTECTION FENCE
PL	PROPERTY LINE
RL	RIGHT OF WAY LINE
NS	PROV. LINE NOT SURVEYED
SP	STORM PIPE
SS	SANITARY SEWER LINE
OP	OVERHEAD POWER
AS	ASBESTOS LINE
F	FENCE LINE

CATV FH LP WV SS/MH
 CB MH PP TP



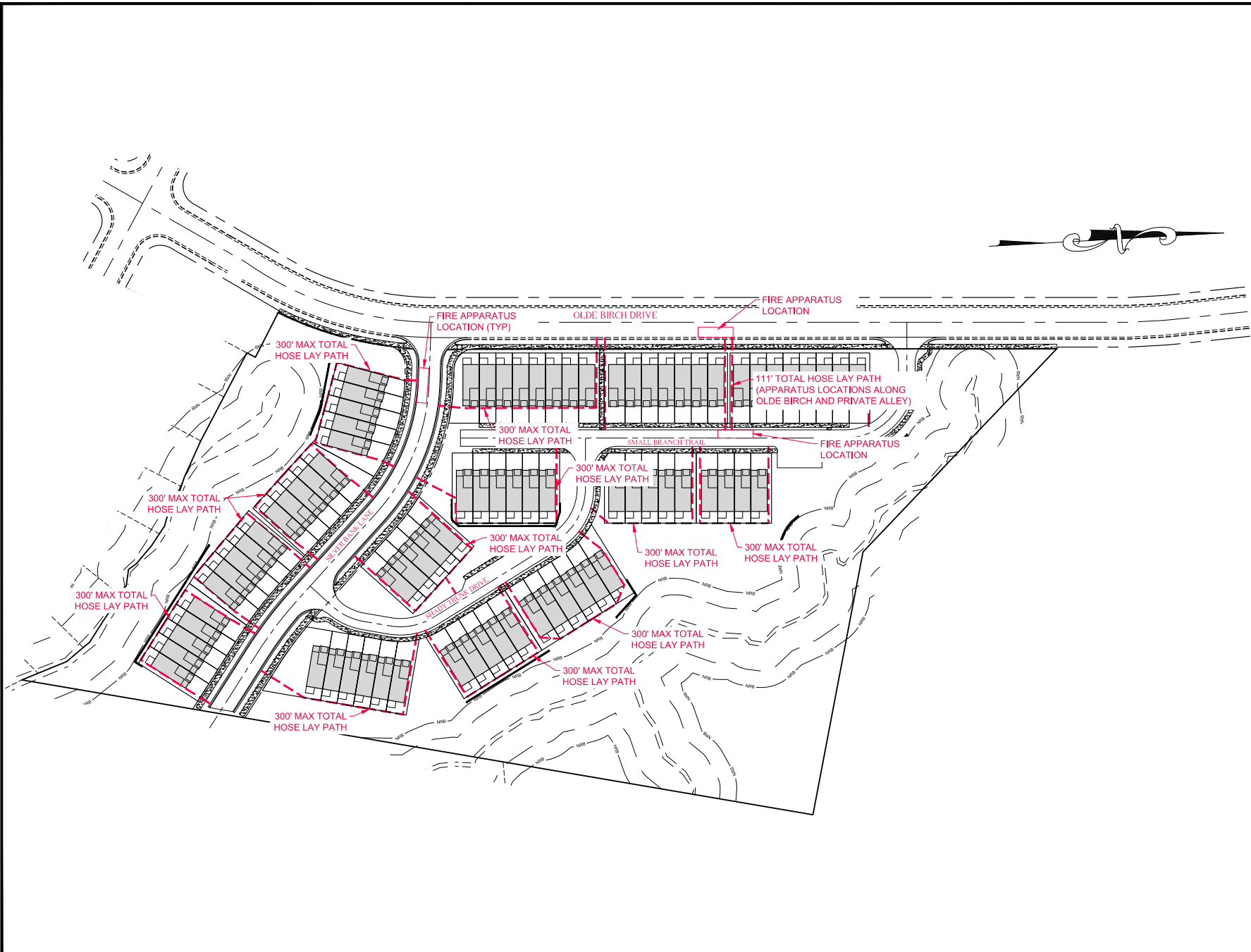
Revisions

Number	Description	Date
1	CITY OF RALEIGH COMMENTS	02/01/24
2	CITY OF RALEIGH COMMENTS	03/11/24

Drawing Title:
FIRE ACCESS PLAN

Sheet Number:
CE-2.4

Date Issued: 11/03/2023



STANDARD UTILITY NOTES:

- All materials & construction methods shall be in accordance with City of Raleigh design standards, details & specifications (reference: CRPUD Handbook, current edition)
- Utility separation requirements:
 - A distance of 10' shall be maintained between sanitary sewer & any private or public water supply source such as an improved surface used as a source of drinking water. If adequate lateral separation cannot be achieved, ferris sanitary sewer pipe shall be specified & installed to maintain specifications. However, the minimum separation shall not be less than 2' from a private well or 5' from a public well.
 - When installing water & sewer mains, the horizontal separation between utilities shall be 10'. If this separation cannot be maintained due to existing conditions, the separation allowed in the water main is a separate trench with the elevation of the water main at least 18" above the top of the sewer & must be approved by the Public Utilities Director. 18" diameter air risers from outside diameter to outside diameter.
 - When it is impossible to obtain proper separation, or install a sanitary sewer pass over a watermain, DIP materials or steel casement extended 12" on each side of casing must be specified & installed to maintain specifications.
 - 5.0' minimum horizontal separation is required between all sanitary sewer & storm sewer facilities, unless otherwise specified for sanitary sewer.
 - Minimum 12" min. vertical separation of all watermain & RCP storm drain coverings, maintain 18" min. vertical separation of all sanitary sewer & RCP storm drain coverings. Where adequate separation cannot be achieved, specify DIP materials & a concrete curb having 6" min. clearance over C/CRPUD depth by 4:1 & 6:1 slope.
 - All other underground utilities shall cross water & sewer facilities with 18" min. vertical separation required.
- Any necessary field revisions are subject to review & approval of an amended plan &/or profile by the City of Raleigh Public Utilities Department prior to construction.
- Developer shall provide 30 days advance written notice to cover for any work required within an existing City of Raleigh Utility Easement involving private property.
- Contractor shall maintain continuous water & sewer service to existing residences & businesses throughout construction of project. Any necessary service interruptions shall be preceded by 24 hour advance notice to the City of Raleigh Public Utilities Department.
- 3.0' minimum cover is required on all water mains & sewer force mains. 4.0' minimum cover is required on all trash mains.
- It is the developer's responsibility to abandon or remove existing water & sewer services not being used in redevelopment of a site unless otherwise directed by the City of Raleigh Public Utilities Department. This includes abandoning top of main & removal of service from ROW or easement per CRPUD Handbook procedure.
- Install 1/2" copper water services with meters located at ROW or within a 2.42' Waterline Easement immediately adjacent. NOTE: It is the applicant's responsibility to properly size the water service for each structure to provide adequate flow & pressure.
- Install 12" PVC sewer services (0.1% minimum grade with cleanouts located at ROW or easement line & spaced every 15 linear feet maximum).
- Pressure reducing valves are required on all water services exceeding 80 psi, but backflow valves are required on all sanitary sewer services having building drains lower than 10' above the city upstream mainline.
- All environmental permits applicable to the project must be obtained from NCEM, USACE, ARJ, FEMA for any stream buffer, wetland &/or floodplain impacts (previously) prior to construction.
- NCDOT Railroad Encroachment Agreements are required for any utility work (including main extension & service taps) within state or railroad ROW prior to construction.
- General Interceptor (GI) Water Separator siting calculation & installation specifications shall be approved by the RW TOC Program Coordinator prior to issuance of a LC / Bldg Permit. Contact (919) 996-2616 or rwtoctoc@raleighnc.gov for more information.
- Pressure reducing valves are required on all water services exceeding 80 psi, but backflow valves are required on all sanitary sewer services having building drains lower than 10' above the city upstream mainline.
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RDU CONSULTING PLLC

NC LICENSE P2-125
PHONE: 252/406-5722
EMAIL: LEWIS@RDUCONSULTING.COM
P.O. BOX 118
CLAYTON, NC 27338

CONCEPT 8 HOLDINGS, LLC
307 S. SALEM ST. #200
APEX, NC 27502

OLDE BIRCH TOWNHOMES (SUB-0062-2023)

PRELIMINARY SUBDIVISION

LEGEND

- BM BOOK OF MAPS
- DB DEED BOOK
- RP PAGE
- R/W RIGHT OF WAY
- EP EXISTING IRON PIPE
- R/SB IRON PIPE SET
- CP COMPUTED POINT
- CS SANITARY SEWER
- MH SANITARY SEWER CLEAN OUT
- WH WATER MANHOLE
- WV WATER VALVE
- RCP REINFORCED CONCRETE STORM PIPE
- CONC CONCRETE
- MANHOLE WATER METER
- LP LIGHT POLE
- CATV CABLE PEDESTAL
- TP TELEPHONE PEDESTAL
- FH FIRE HYDRANT
- CB CATCH BASIN
- PP POWER POLE
- DI DROP INLET
- PCP PROPOSED CONCRETE
- MH TREE CONSERVATION AREA
- AMENITY AREA
- TPF TREE PROTECTION FENCE
- PL PROPERTY LINE
- RL RIGHT OF WAY LINE
- PS PROX. LINE NOT SURVEYED
- SS STORM PIPE
- SL SANITARY SEWER LINE
- OP OVERHEAD POWER
- EA EASEMENT LINE
- FL FENCE LINE
- CM CATV
- MH MH
- LP LP
- WV WV
- SSMH SSMH
- CR CR
- NW NW
- CD CD
- TP TP

Scale: 1"=50'

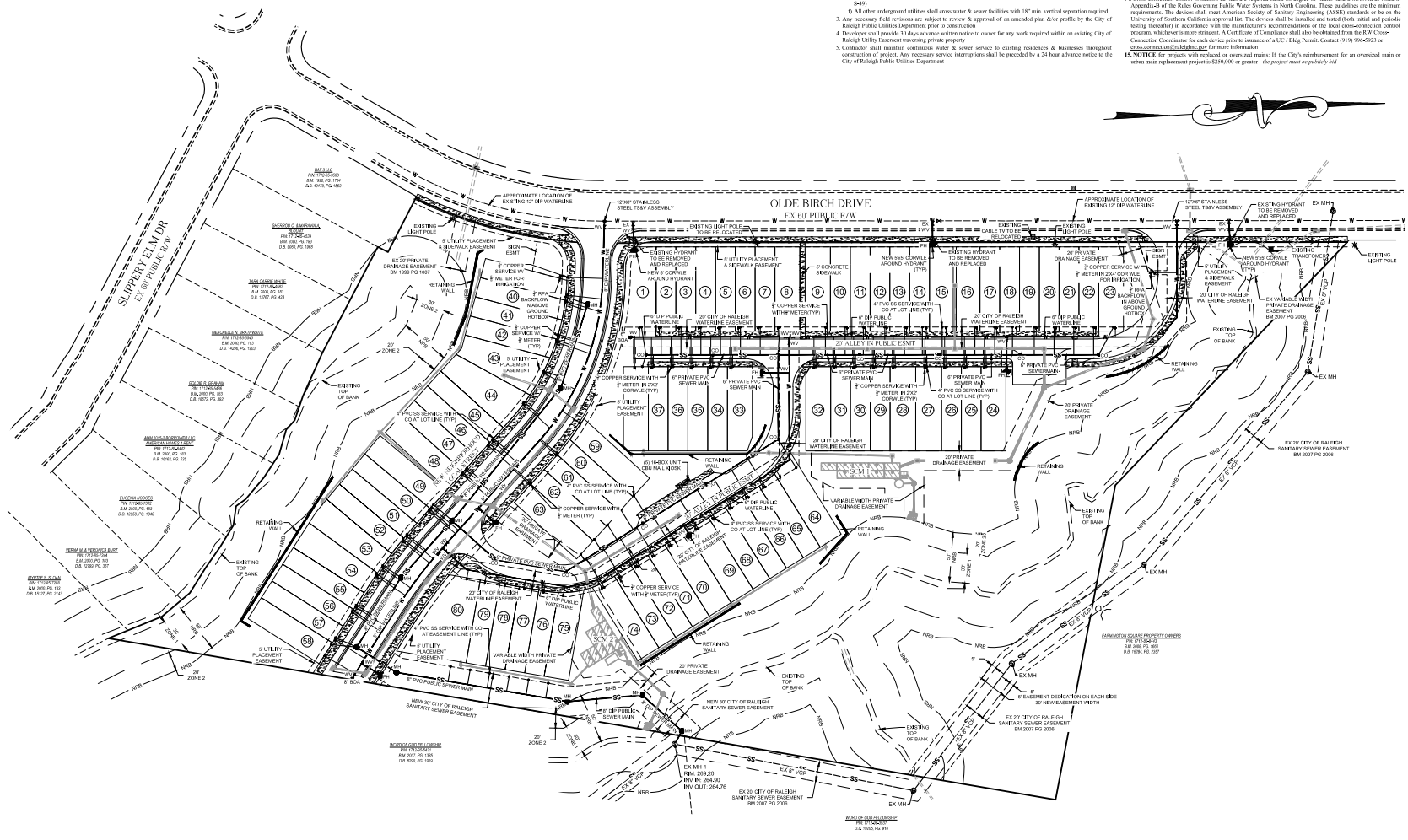
Revisions

Number	Description	Date
1	CITY OF RALEIGH COMMENTS	02/01/24
2	CITY OF RALEIGH COMMENTS	03/11/24
3	CITY OF RALEIGH COMMENTS	04/11/24

Drawing Title: **UTILITY PLAN**

Sheet Number: **CE-3.0**

Date Issued: 11/03/2023



LEGEND

- BM BOOK OF MAPS
- DB DEED BOOK
- PG PAGE
- R/W RIGHT OF WAY
- EP EXISTING IRON PIPE
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- CP COMPUTED POINT
- SS SANITARY SEWER
- CO SANITARY SEWER CLEAN OUT
- MV MANHOLE
- WC WATER VALVE
- RCP REINFORCED CONCRETE STORM PIPE
- BVC CONCRETE
- MH MANHOLE
- WM WATER METER
- LP LIGHT POLE
- CATV CABLE PEDESTAL
- TP TELEPHONE PEDESTAL
- FH FIRE HYDRANT
- CB CATCH BASIN
- PP POWER POLE
- D DROP INLET

PROPOSED CONCRETE

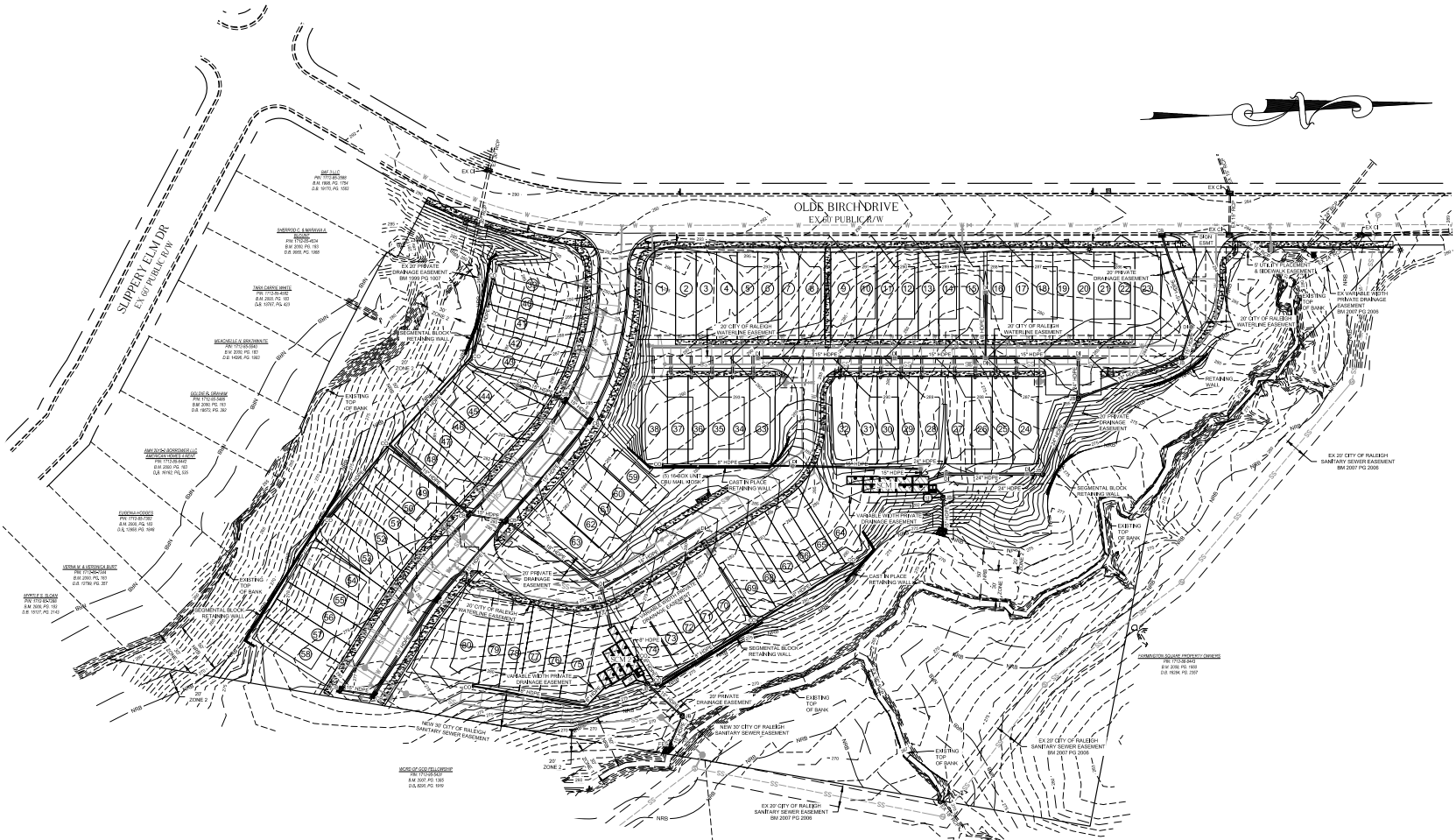
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- AM AMENITY AREA
- TPF TREE PROTECTION FENCE
- PL PROPERTY LINE
- RL RIGHT OF WAY LINE
- NS NOT SURVEYED
- SP STORM PIPE
- SS SANITARY SEWER LINE
- OP OVERHEAD POWER
- LS LASHMENT LINE
- FL FENCE LINE

SYMBOLS

- CATV
- FH
- LP
- MV
- SSMH
- WC
- MW
- PP
- TP

Revisions

Number	Description	Date
1	CITY OF RALEIGH COMMENTS	02/01/24
2	CITY OF RALEIGH COMMENTS	03/11/24
3	CITY OF RALEIGH COMMENTS	04/11/24



TOWNHOME LOT IMPERVIOUS

EACH TOWNHOME LOT SHALL HAVE A
 MAXIMUM IMPERVIOUS ALLOCATION
 (MIA) OF 1600 SQUARE FEET.

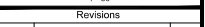
**CONCEPT 8
 HOLDINGS, LLC**
 307 S. SALEM ST., #200
 APEX, NC 27502

**OLDE BIRCH
 TOWNHOMES**
 (SUB-0062-2023)

PRELIMINARY SUBDIVISION

LEGEND

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- CP COMPUTED POINT
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- CO CONCRETE
- WV WATER VALVE
- RCP REINFORCED CONCRETE STORM PIPE
- CONC CONCRETE
- MH MANHOLE
- LP WATER METER
- LF LIGHT POLE
- IP CABLE PEDESTAL
- TP TELEPHONE PEDESTAL
- FH FIRE HYDRANT
- CB CATCH BASIN
- PP POWER POLE
- DI DROP INLET
- PROPOSED CONCRETE
- TR TREE CONSERVATION AREA
- AMT AMENITY AREA
- TPF TREE PROTECTION FENCE
- PL PROPERTY LINE
- NSL NOT SURVEYED
- SP STORM PIPE
- SS SANITARY SEWER LINE
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- FL FENCE LINE
- CATV CATV
- TH TH
- PP PP
- WV WV
- SSMH SSMH



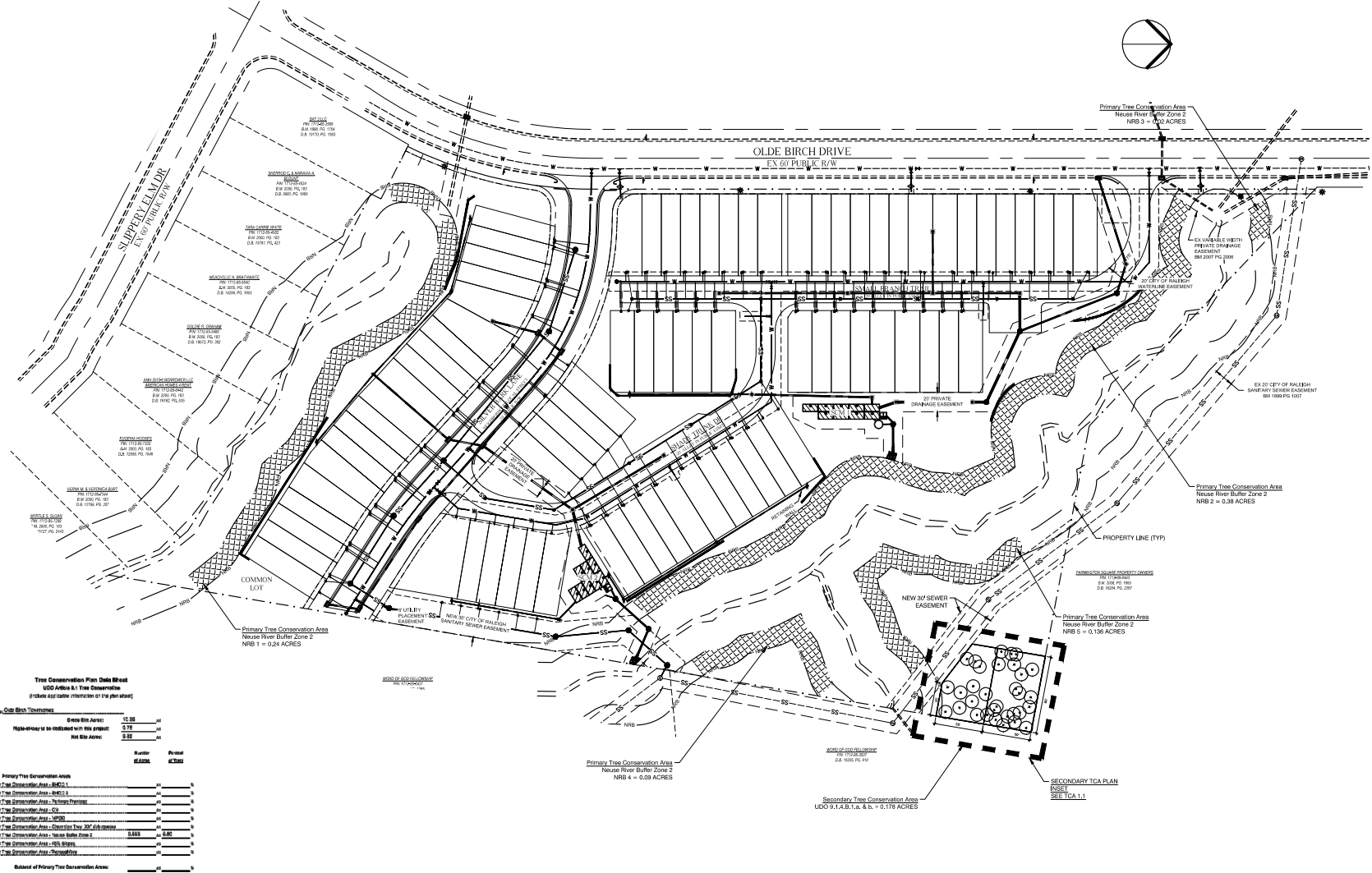
Revisions

Number	Description	Date
1	CITY OF RALEIGH COMMENTS	01/25/24
2	CITY OF RALEIGH COMMENTS	03/11/24
3	CITY OF RALEIGH COMMENTS	04/11/24

Tree Conservation Plan

TCA-1.0

Date Issued: 11/03/2023

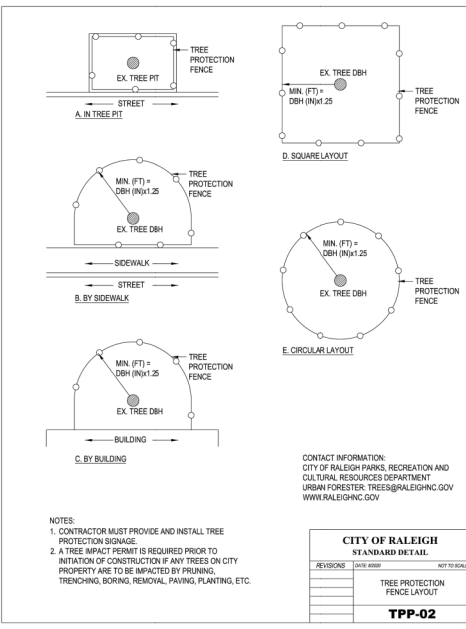
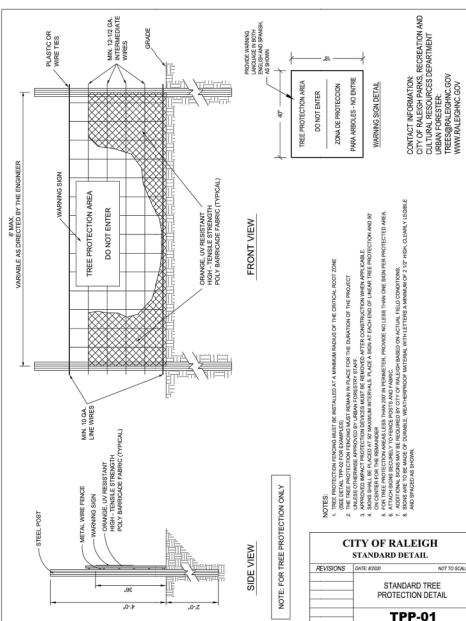


Tree Conservation Plan Data Sheet
 LOD Article 8.1 Tree Conservation
 (Includes appropriate information on the plan sheet)

Project Name: Olde Birch Townhomes	Case File Area:	LC 36	#
	Map Sheet to be combined with this project:	0.78	#
	Site File Area:	0.88	#

	Number	Percent
Area	ACRES	% TOTAL
LOD 8.1.A. Primary Tree Conservation Areas		
1. Primary Tree Conservation Area - BIRCH	0.00	0.00%
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86. Primary Tree Conservation Area - BIRCH 86	0.00	0.00%
87. Primary Tree Conservation Area - BIRCH 87	0.00	0.00%
88. Primary Tree Conservation Area - BIRCH 88	0.00	0.00%
89. Primary Tree Conservation Area - BIRCH 89	0.00	0.00%
90. Primary Tree Conservation Area - BIRCH 90	0.00	0.00%
91. Primary Tree Conservation Area - BIRCH 91	0.00	0.00%
92. Primary Tree Conservation Area - BIRCH 92	0.00	0.00%
93. Primary Tree Conservation Area - BIRCH 93	0.00	0.00%
94. Primary Tree Conservation Area - BIRCH 94	0.00	0.00%
95. Primary Tree Conservation Area - BIRCH 95	0.00	0.00%
96. Primary Tree Conservation Area - BIRCH 96	0.00	0.00%
97. Primary Tree Conservation Area - BIRCH 97	0.00	0.00%
98. Primary Tree Conservation Area - BIRCH 98	0.00	0.00%
99. Primary Tree Conservation Area - BIRCH 99	0.00	0.00%
100. Primary Tree Conservation Area - BIRCH 100	0.00	0.00%
Balance of Primary Tree Conservation Areas		
LOD 8.1.A.2. Tree Conservation Area - Secondary		
LOD 8.1.A.2.a. & b. Secondary Tree Conservation Areas		
1. Secondary Tree Conservation Area - BIRCH 1	0.172	1.78%
LOD 8.1.A.2.c. & d. Individual Tree Secondary Tree Conservation Areas		
1. Individual Tree Secondary Tree Conservation Area - BIRCH 1		
2. Individual Tree Secondary Tree Conservation Area - BIRCH 2		
3. Individual Tree Secondary Tree Conservation Area - BIRCH 3		
4. Individual Tree Secondary Tree Conservation Area - BIRCH 4		
5. Individual Tree Secondary Tree Conservation Area - BIRCH 5		
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97. Individual Tree Secondary Tree Conservation Area - BIRCH 97		
98. Individual Tree Secondary Tree Conservation Area - BIRCH 98		
99. Individual Tree Secondary Tree Conservation Area - BIRCH 99		
100. Individual Tree Secondary Tree Conservation Area - BIRCH 100		
Balance of Secondary Tree Conservation Areas		
TOTAL ALL TREE CONSERVATION AREAS PROVIDED	1.00	10.00%

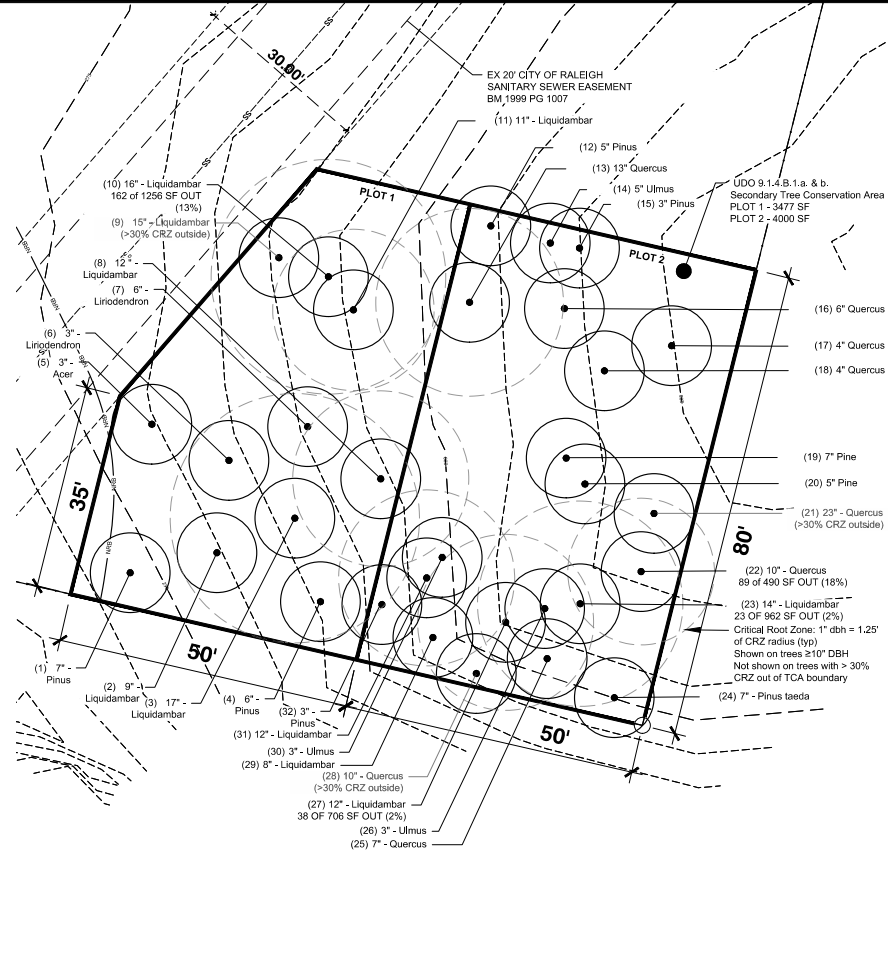
THIS TREE CONSERVATION PLAN AND ASSOCIATED DATA HAS BEEN CERTIFIED BY:
ADAM WALTERS
 ISA CERTIFIED ARBORIST
 SO-10149A



Plot 1			
3477 SF			
No	Species	DBH	Basal Area
1	Pinus taeda	7	0.27
2	Liquidambar styraciflua	9	0.44
3	Liquidambar styraciflua	17	1.58
4	Pinus taeda	6	0.20
5	Acer	3	0.05
6	Liriodendron tulipifera	3	0.05
7	Liriodendron tulipifera	6	0.20
8	Liquidambar styraciflua	12	0.79
9	Liquidambar styraciflua	15	1.40
10	Liquidambar styraciflua	16	1.40
11	Liquidambar styraciflua	11	0.66
BASAL AREA TOTAL			5.61
BASAL AREA/ACRE			70.34

Note: Trees listed in grey without basal density have > 30% of their CRZ outside of proposed TCA area

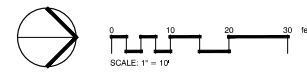
Plot 2			
4000 SF			
No	Species	DBH	Basal Area
12	Pinus taeda	5	0.14
13	Quercus	13	0.92
14	Ulmus alata	5	0.14
15	Pinus taeda	3	0.05
16	Quercus	6	0.20
17	Quercus	4	0.09
18	Quercus	4	0.09
19	Pinus taeda	7	0.27
20	Pinus taeda	5	0.14
21	Quercus	23	1.63
22	Quercus	10	0.55
23	Liquidambar styraciflua	14	1.07
24	Pinus taeda	7	0.27
25	Quercus	7	0.27
26	Ulmus alata	3	0.05
27	Liquidambar styraciflua	12	0.79
28	Quercus	10	0.55
29	Liquidambar styraciflua	8	0.35
30	Ulmus alata	3	0.05
31	Liquidambar styraciflua	12	0.79
32	Pinus taeda	3	0.05
BASAL AREA TOTAL			6.23
BASAL AREA/ACRE			67.85



PLOT 1 PHOTO



PLOT 2 PHOTO



THIS TREE CONSERVATION PLAN AND ASSOCIATED DATA HAS BEEN CERTIFIED BY:
ADAM WALTERS
 ISA CERTIFIED ARBORIST
 SO-10149A

Adam Walters



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 P.O. BOX 118
 CLAYTON, NC 27388

CONCEPT 8 HOLDINGS, LLC
 307 S. SALEM ST. #200
 APEX, NC 27502

OLDE BIRCH TOWNHOMES (SUB-0062-2023)

PRELIMINARY SUBDIVISION

LEGEND

- BM BOOK OF MAPS
- DR DEED BOOK
- PG PAGE
- R/W RIGHT OF WAY
- EP EXISTING IRON PIPE
- RP IRON PIPE SET
- CP COMPUTED POINT
- SS SANITARY SEWER
- CS SANITARY SEWER CLEAN OUT
- MH MANHOLE
- WV WATER VALVE
- RCP REINFORCED CONCRETE STORM PIPE
- CONC CONCRETE
- MH MANHOLE
- WM WATER METER
- LP LEFT POLE
- CATV CABLE PEDESTAL
- TP TELEPHONE PEDESTAL
- FH FIRE HYDRANT
- CB CATCH BASIN
- PP POWER POLE
- D DROP INLET

PROPOSED CONCRETE
 TREE CONSERVATION AREA
 AMENITY AREA

TREE PROTECTION FENCE
 PROPERTY LINE
 RIGHT OF WAY LINE
 PLOT LINE NOT SURVEYED
 STORM PIPE
 SANITARY SEWER LINE
 OVERHEAD POWER
 EASEMENT LINE
 FENCE LINE

CATV FH LP WV SS/MH
 CR MW PP

Revisions		
Number	Description	Date
1	CITY OF RALEIGH COMMENTS	01/25/24
2	CITY OF RALEIGH COMMENTS	03/11/24

Tree Conservation
TREE CONSERVATION DETAILS

Sheet Number
TCA-1.1
 Date Issued 11/03/2023