

Preliminary Subdivision Application

Site Review

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



INSTRUCTIONS: This form is used when submitting a Preliminary Subdivision (UDO Section 10.2.5). Please check the appropriate review type and include the plan checklist document. Please email all documents and your preliminary subdivision plans to SiteReview@raleighnc.gov.

DEVELOPMENT OPTIONS (UDO Chapter 2)		
<input type="checkbox"/> Conventional Subdivision	<input checked="" type="checkbox"/> Compact Development	<input type="checkbox"/> Conservation Development
<input type="checkbox"/> Cottage Court	<input type="checkbox"/> Flag lot	<input type="checkbox"/> Frequent Transit Development Option

NOTE: Subdivisions may require City Council approval if located in a Historic Overlay District.

GENERAL INFORMATION

Scoping/sketch plan case number(s):				
Development name (subject to approval): Forestville Road Townhomes				
Property Address(es): 4208 Forestville Road				
Recorded Deed PIN(s): 1747-30-6143				
Building type(s):	<input type="checkbox"/> Detached House	<input type="checkbox"/> Attached House	<input checked="" type="checkbox"/> Townhouse	<input type="checkbox"/> Apartment
<input type="checkbox"/> General Building	<input type="checkbox"/> Mixed Use Building	<input type="checkbox"/> Civic Building	<input type="checkbox"/> Open Lot	<input type="checkbox"/> Tiny House

CURRENT PROPERTY OWNER/APPLICANT/DEVELOPER INFORMATION

Current Property Owner(s) Names: Michael Nedriga	
Company: Capital Properties of North Carolina LLC	Title: Manager
Address: 1540 Grand Willow Way, Raleigh NC 27614	
Phone #: 919-779-9664	Email: cpncllc@gmail.com
Applicant Name (If different from owner. See "who can apply" in instructions):	
Relationship to owner:	<input type="checkbox"/> Lessee or contract purchaser <input checked="" type="checkbox"/> Owner's authorized agent <input type="checkbox"/> Easement holder
Company: TMTLA Associates	Address: 5011 Southpark Drive #200, Durham NC 27713
Phone #: 919-484-8880	Email: pam@tmtla.com

NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.

Developer Contact Names: Michael Nedriga	
Company: Capital Properties of North Carolina LLC	Title: Manager
Address: 1540 Grand Willow Way, Raleigh NC 27614	
Phone #: 919-779-9664	Email: cpncllc@gmail.com

DEVELOPMENT TYPE + SITE DATE TABLE – ZONING INFORMATION

Gross site acreage: 3.10 acres			
Zoning districts (if more than one, provide acreage of each): ROW Dedication: 0.68 AC; Net area: R-4 (1.59 AC) and CM (0.83)			
Overlay district(s): n/a	Inside City Limits?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Historic District/Landmark: N/A
Conditional Use District (CUD) Case # Z-	Board of Adjustment Case # BOA-	Design Alternate Case # DA-	

STORMWATER INFORMATION

Imperious Area on Parcel(s): Existing (sf) <u>18,028</u> Proposed total (sf) <u>21,980</u>	Impervious Area for Compliance (includes right-of-way): Existing (sf) _____ Proposed total (sf) _____
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NUMBER OF LOTS AND DENSITY

# of Detached House Lots:	# of Attached House Lots:	# of Townhouse Lots: 12
# of Tiny House Lots:	# of Open Lots: 1	# of Other Lots (Apartment, General, Mixed Use, Civic):
Total # of Lots: 13	Total # Dwelling Units:	
# of bedroom units (if known): 1br _____ 2br _____ 3br ¹² _____ 4br _____		
Proposed density for each zoning district (UDO 1.5.2.F): R-4: 7.55 du/ac (based on net area) CM: n/a		

APPLICANT SIGNATURE BLOCK

Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

Acting as an authorized agent requires written permission from the property owner for the purposes of making this development approval and/or permit application. Written permission from the property owner to act as an authorized agent must be made available to the City of Raleigh upon request.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that development approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b1)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued, and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

Signature: <i>Pamela Porter</i>	Date: 12/3/2024
Printed Name: Pamela Porter	
Signature:	Date:
Printed Name:	

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Site Review
Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



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Revision 05.07.24
raleighnc.gov

FORESTVILLE ROAD TOWNHOMES

PRELIMINARY SUBDIVISION PLAN

R-4 COMPACT DEVELOPMENT

4208 FORESTVILLE RD
RALEIGH, NC 27616
PIN# 1747-30-6143



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Signature: <i>Pamela Porter</i>	Date: 12/3/2024
Printed Name: Pamela Porter	
Signature:	Date:
Printed Name:	

CONTACT INFORMATION

owner/developer:

Capital Properties of North Carolina LLC
1540 Grand Willow Way
Raleigh NC 27614
(919) 779-9664
Contact: Michael Nedriga

landscape architect:

TMTLA Associates
5011 Southpark Drive, Ste. 200
Durham, North Carolina 27713
(919) 484-8880
Contact: Pamela Porter, PLA

civil engineer:

Piedmont Land Design, PLLC
8522 Six Forks Rd STE 204
Raleigh, NC 2761
(919) 845-7600
Contact: Mike Schneider, PE

SITE DATA

PIN:	1747-30-6143
ZONING:	R-4 & CM
GROSS AREA:	3.10
NET AREA:	2.42 AC (AFTER R-O-W DEDICATION)*
ZONING OVERLAY:	N/A
FRONTAGE TYPE:	N/A
CURRENT USE:	RESIDENTIAL / VACANT (SEE PERMIT #LDG-005151-2024)
PROPOSED USE:	TOWNHOMES (COMPACT DEVELOPMENT OPTION)
NUMBER OF UNITS:	12
DENSITY:	4.96 DU/AC
EXISTING PARKING:	N/A
PROPOSED PARKING:	2 SPACE/UNIT

SHEET INDEX

- L-0 — COVER SHEET
- L-1 — EXISTING CONDITIONS
- L-2 — SITE LAYOUT PLAN
- CC1.0 — UTILITY PLAN
- CC1.0 — GRADING PLAN
- L-3 — SITE LIGHTING PLAN
- L-4 — LANDSCAPE PLAN
- L-5 — TCA PLAN
- L-6 — SITE DETAILS
- L-7 — SITE DETAILS

SUBMITTAL DATES

FIRST SUBMITTAL — 12/3/2024



REVISIONS:

COVER SHEET
FORESTVILLE ROAD TH'S
4208 FORESTVILLE RD, RALEIGH, NC 27616
CAPITAL PROPERTIES OF NORTH CAROLINA LLC
PRELIMINARY
NOT FOR CONSTRUCTION

SCALE:
AS NOTED
DRAWN BY:
PMP
PROJECT #
23170
DATE:
11-22-2024
SHEET
L-0
OF



EXISTING CONDITIONS NOTES

- SURVEY PROVIDED BY ROBINSON & PLANTÉ, P.C. LAND SURVEYING ON AUGUST 2024.
- PROJECT SITE IS LOCATED WITHIN ANY SPECIAL FLOOD HAZARD AREAS OR FUTURE CONDITIONS FLOOD HAZARD AREAS, AS SHOWN ON FIRM PANEL # 3720174700K (ZONE AE) DATED 7/19/2022.
- THERE ARE NPOTENTIALLY JURISDICTIONAL WETLANDS WITHIN THE PROJECT SITE AS DETERMINED MITCHELL ENVIRONMENTAL.
- THERE ARE BUFFERED STREAMS WITHIN THE PROJECT SITE AS DETERMINED BY NORTH CAROLINA DEPARTMENT OF ENVIRONMENTAL QUALITY.
- EXISTING CONDITIONS AS SHOWN ON THESE PLANS ARE GENERAL AND ILLUSTRATIVE IN NATURE AND DO NOT INCLUDE MECHANICAL, ELECTRICAL AND MISCELLANEOUS STRUCTURES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW THE PROJECT SITE AND FAMILIARIZE WITH ACTUAL FIELD CONDITIONS PRIOR TO BIDDING AND COMMENCING WORK. IF FIELD CONDITIONS ARE FOUND TO BE SIGNIFICANTLY DIFFERENT THE CONTRACTOR SHALL NOTIFY THE PROJECT LANDSCAPE ARCHITECT OR ENGINEER IMMEDIATELY.

DEMOLITION NOTES

- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL LOCAL AND STATE PERMITS TO PERFORM DEMOLITION WORK ON-SITE AND IN THE RIGHT-OF-WAY.
- IF ANY HAZARDOUS MATERIALS ARE FOUND ON SITE, THEY SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIALS HANDLER. CONTRACTOR SHALL NOTIFY OWNER IMMEDIATELY IF HAZARDOUS MATERIALS ARE ENCOUNTERED.
- CONTRACTOR SHALL PROTECT ADJACENT STRUCTURES AND INFRASTRUCTURE FROM DAMAGE DUE TO DEMOLITION ACTIVITIES. ANY DAMAGE OUTSIDE OF THE PROJECT LIMITS SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST.
- DEMOLITION SHALL BE PERFORMED WITH DUE CARE AND DILIGENCE. ALL STRUCTURES AND UTILITIES NOT DESIGNATED FOR REMOVAL OR MODIFICATION SHALL REMAIN AND BE PROTECTED FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGED INFRASTRUCTURE ON-SITE OR IN THE RIGHT-OF-WAY SHALL BE REPAIRED TO NCDOT OR CITY OF RALEIGH STANDARDS AND SPECIFICATIONS BY THE CONTRACTOR AT NO ADDITIONAL COST.
- ALL EXISTING IMPROVEMENTS WITHIN THE LIMITS OF DISTURBANCE ABOVE AND BELOW GROUND SHALL BE DEMOLISHED AS NECESSARY TO CONSTRUCT THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS. THIS INCLUDES, BUT IS NOT LIMITED TO, EXISTING TREES, VEGETATION, FENCES, PAVEMENTS, CURB AND GUTTER, STRUCTURES, FOUNDATIONS, POLES, SIGNAGE, WALLS, AND OTHER MISCELLANEOUS SITE ELEMENTS.
- CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES ABOVE AND BELOW GROUND AND SHALL BE RESPONSIBLE FOR ANY DAMAGE RESULTING FROM THEIR ACTIVITIES. CONTRACTOR SHALL NOTIFY NORTH CAROLINA ONE CALL (1-800-632-4949) LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR TO CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF NORTH CAROLINA ONE CALL. THE CONTRACTOR MAY ALSO NEED TO ENGAGE A PRIVATE UTILITY LOCATING FIRM AT THEIR OWN COST TO EFFICIENTLY HAVE ALL UTILITIES LOCATED. CONTRACTOR SHALL REPORT ALL DISCOVERED UTILITIES DURING CONSTRUCTION TO THE PROJECT LANDSCAPE ARCHITECT OR ENGINEER.
- CONTRACTOR SHALL COORDINATE UTILITY ABANDONMENT, REMOVAL, AND RELOCATION WITH THE APPROPRIATE UTILITY SERVICE PROVIDER. ALL UTILITY ABANDONMENT, REMOVAL AND RELOCATION WORK SHALL BE PERFORMED PER THE SERVICE PROVIDERS STANDARDS AND SPECIFICATIONS.
- REFERENCE SITE LAYOUT PLAN SHEET L-2 FOR LAYOUT DIMENSIONS AND EXTENT OF DEMOLITION AREAS. ALL PAVEMENT, CURB AND GUTTER AND SIDEWALK TO BE REMOVED SHALL BE SAW CUT TO PROVIDE A STRAIGHT AND UNIFORM LINE FOR REMOVAL. EXISTING PAVEMENT, CURB AND GUTTER, AND SIDEWALK NOT INDICATED FOR REMOVAL, WHICH IS DAMAGED DURING CONSTRUCTION SHALL BE REPLACED TO MATCH ORIGINAL CONFIGURATION.
- ALL DEMOLITION AND CONSTRUCTION WASTE SHALL BE REMOVED FROM THE PROJECT SITE BY THE CONTRACTOR AND DISPOSED OF PROPERLY PER STATE, LOCAL, AND FEDERAL REGULATIONS.
- UNLESS OTHERWISE DIRECTED, THE CONTRACTOR SHALL PROTECT ALL TREES THAT ARE TO REMAIN AND FENCE THOSE WHICH MAY RISK DAMAGE FROM CONSTRUCTION EQUIPMENT OR WORK. TREE PROTECTION FENCING SHALL BE INSTALLED AS SHOWN ON THESE PLANS. ALL TREES WHICH ARE TO BE REMOVED SHALL BE DONE IN A MANNER WHICH WILL NOT INJURE PLANT MATERIAL TO REMAIN. STUMPS SHALL BE COMPLETELY REMOVED AND HAULED OFF.
- CONTRACTOR SHALL STRIP TOPSOIL AND STOCKPILE FOR LATER REUSE.
- EROSION AND SEDIMENTATION CONTROL MEASURES PER APPROVED EROSION CONTROL PLANS SHALL BE IN PLACE AND IN WORKING ORDER PRIOR TO THE START OF ANY DEMOLITION ACTIVITIES.

LINE	BEARING	DISTANCE
L1	S 02°56'15" W	11.28'
L2	S 00°36'41" E	50.15'
L3	S 03°31'21" E	50.97'
L4	S 04°26'25" E	50.53'
L5	S 06°48'03" E	51.85'
L6	S 07°56'05" E	49.89'
L7	S 10°01'02" E	51.24'
L8	S 10°48'18" E	13.36'
L9	S 49°44'15" W	10.97'
L10	S 40°58'11" W	11.52'
L11	S 54°27'47" W	22.51'
L12	S 50°09'00" W	18.19'
L13	S 43°26'13" W	10.90'
L14	S 48°17'49" W	24.84'
L15	S 50°43'29" W	34.13'
L16	S 71°06'32" W	27.59'
L17	S 68°53'25" W	14.73'
L18	S 76°25'11" W	29.02'
L19	S 79°10'35" W	18.15'
L20	S 80°38'51" W	16.32'
L21	S 83°07'56" W	22.50'
L22	S 74°37'04" W	13.23'
L23	S 69°28'29" W	20.20'
L24	N 88°56'24" W	14.70'
L25	S 64°47'28" W	8.13'
L26	S 55°07'32" W	13.67'
L27	S 68°29'11" W	28.28'
L28	S 74°36'24" W	20.49'
L29	N 52°45'18" E	37.68'
L30	S 00°55'43" W	34.86'
L31	S 00°36'41" E	48.28'
L32	S 03°31'21" E	49.96'
L33	S 04°26'25" E	49.67'
L34	S 06°48'03" E	50.94'
L35	S 07°56'05" E	49.05'
L36	S 10°01'02" E	35.68'
L37	S 38°08'17" W	21.58'
L38	S 31°08'17" W	16.15'
L39	S 49°44'15" W	3.60'

LEGEND
(O)-POSSIBLE OVERLAP LINE BEARING AND DISTANCE
OHPHL-OVERHEAD PHONE LINES
RBF-REBAR FOUND
UGOFM-UNDERGROUND FIBER OPTIC MARKER
UGFOB-UNDERGROUND FIBER OPTIC BOX
UGGLM-UNDERGROUND GASLINE MARKER
GV-GAS VALVE
RWMK-REUSE WATER MARKER
RWMH-REUSE WATER MANHOLE
UGTSB-UNDERGROUND TRAFFIC SIGNAL BOX
TSB-TRAFFIC SIGNAL BOX
EM-ELECTRIC METER
FES-FLARED END SECTION
STMH-STORM MANHOLE
CB-CATCH BASIN
CP/X-CALCULATED POINT
BF-BENT IRON STAKE FOUND
NF-NAIL FOUND
RBS-REBAR SET
SOBF-SQUARE IRON BAR FOUND
AXL-AXLE FOUND
STL-SEPTIC TANK LID
TP-TELEPHONE POLE
VWSS- VARIABLE WIDTH SANITARY SEWER EASEMENT
TC-TEMPORARY CONSTRUCTION EASEMENT
UE-UTILITY EASEMENT
SUP-SUPPORT POLE
OHSUPL-OVERHEAD SUPPORT LINE
CO-CLEAN OUT
GW-GUY WIRE
TS-TRAFFIC SIGN
IPF-IRON PIPE FOUND
LP-LIGHT POLE
RCP-REINFORCED CONCRETE PIPE
PP-POWER POLE
OHP-OVERHEAD POWER LINES
OHP&PHL-OVERHEAD POWER AND PHONE LINES
MH-SANITARY SEWER MANHOLE
BC-BACK OF CURB
EOP-EDGE OF PAVEMENT
UE-UTILITY EASEMENT
TC-TEMPORARY CONSTRUCTION EASEMENT
OHP-POWER EASEMENT
RW-UNDERGROUND REUSE WATER LINE
S-UNDERGROUND POWER LINE
S-UNDERGROUND SEWER FORCEMAIN LINE
PB - PHONE BOX
SE - NCDOT SLOPE EASEMENT
PDE - NCDOT PERMANENT DRAINAGE EASEMENT
TPAD - TRANSFORMER PAD
WF - WETLANDS FLAG
OHWM - ORDINARY HIGH WATER MARK
CPP - CORRUGATED PLASTIC PIPE
CMP - CORRUGATED METAL PIPE

1 EXISTING CONDITIONS PLAN
L-1 SCALE: 1"=30'



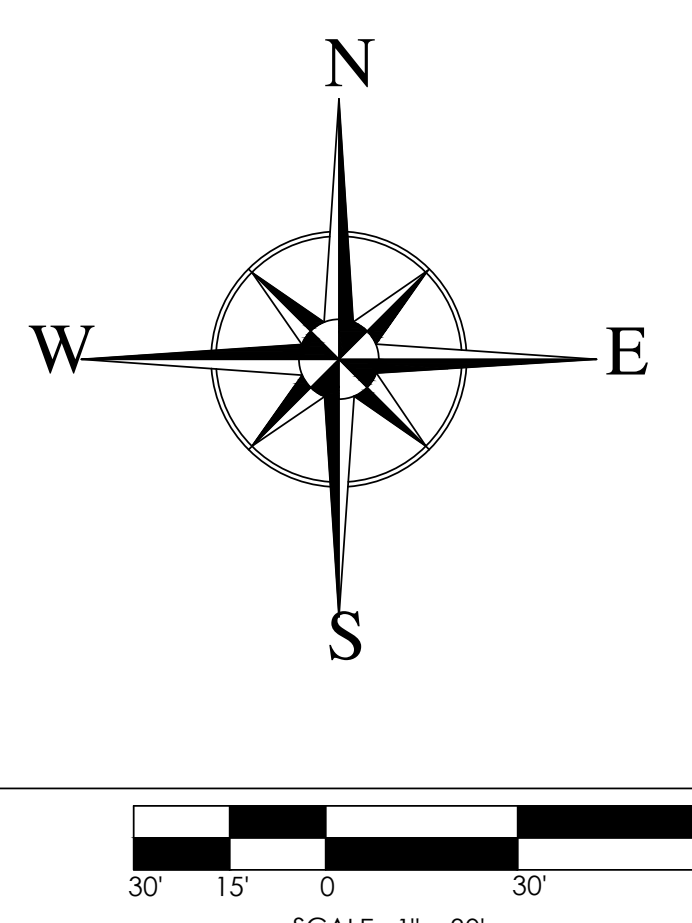
TMTLA ASSOCIATES
LANDSCAPE ARCHITECTURE & LAND PLANNING
5011 SOUTH PARK DRIVE, STE. 200-DURHAM, NC 27713
P: (919) 484-8880 E: info@tmtla.com

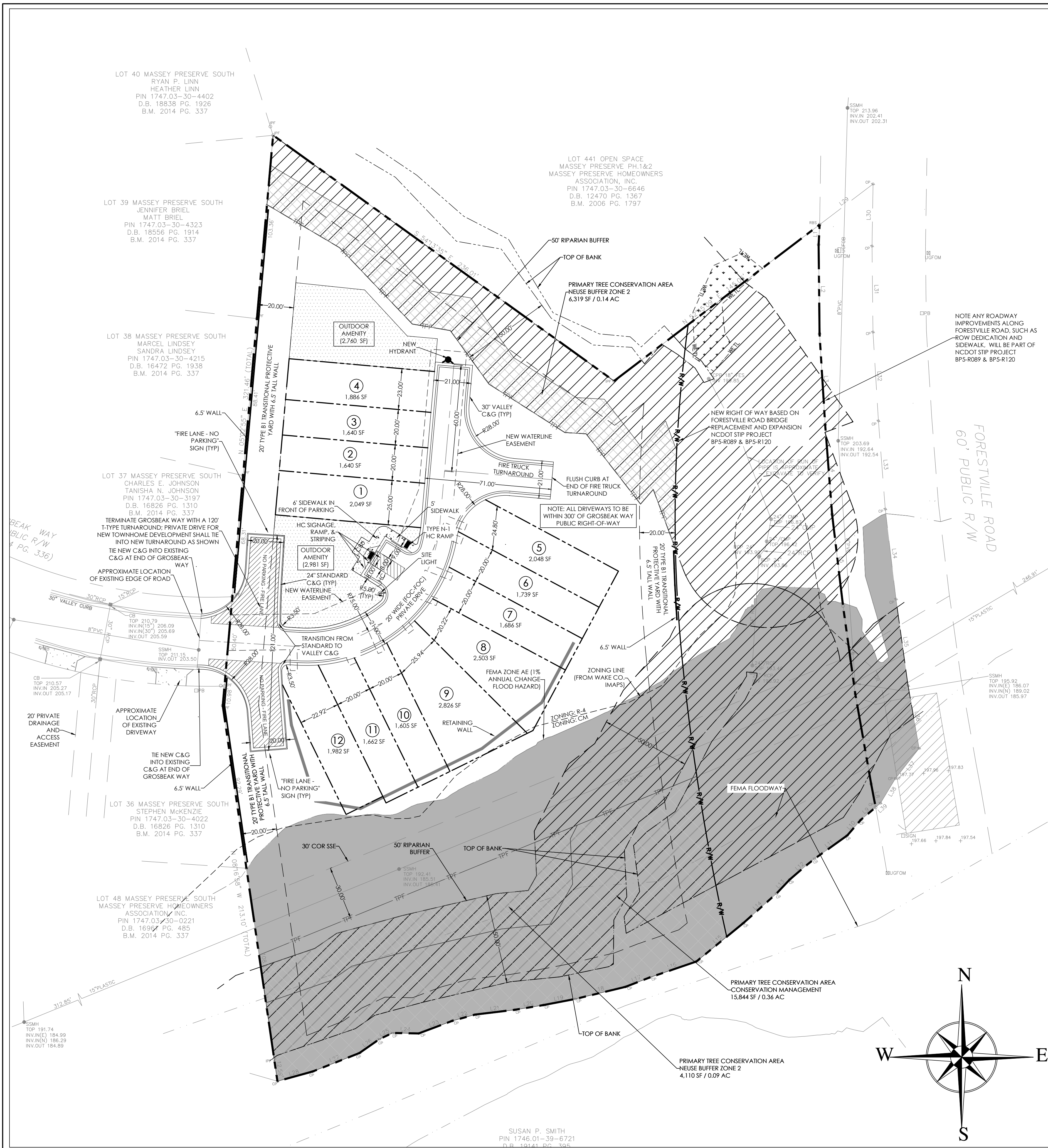


REVISIONS:

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SCALE: AS NOTED
DRAWN BY: PMP
PROJECT # 23170
DATE: 11-22-2024
SHEET L-1 OF





SITE DATA

OWNER: CAPITAL PROPERTIES OF NORTH CAROLINA LLC
 OWNER ADDRESS: 1540 GRAND WILLOW WAY, RALEIGH, NC 27614

PROPERTY ADDRESS: 4208 FORESTVILLE RD, RALEIGH, NC 27616
 PIN: 1747-30-6143
 REID: 43520
 GROSS AREA: 3.10 AC

ROW DEDICATION SHOWN FOR BRIDGE: 0.68 AC

NET AREA: 2.42 AC
 CM ZONING: 0.83 AC
 R-4 ZONING: 1.59 AC

EX. USE: RESIDENTIAL (VACANT)
 PROPOSED USE: TOWNHOMES (R-4 COMPACT OPTION)

EX. ZONING: R-4 & CM
 OVERLAYS: N/A

FRONT SETBACK: 20' MIN.
 SIDE SETBACK: 5' MIN. BUILDING SEPARATION
 REAR SETBACK: 20' MIN.

BUILDING HEIGHT: 45' MAX / 3 STORIES

RIVER BASIN: NEUSE
 WATERSHED OVERLAY: NONE

STREAM BUFFER: YES

WETLANDS: YES - POTENTIALLY JURISDICTIONAL

AREA WITHIN STREAM BUFFER AND FLOODPLAIN (NET): APPX. 0.78 AC
 APPX. 32% OF THE SITE

FLOODPLAIN: YES

PROPOSED IMPERVIOUS: 21,980 S.F. (16.2%)

SCM AREA: N/A - NO SCM REQUIRED

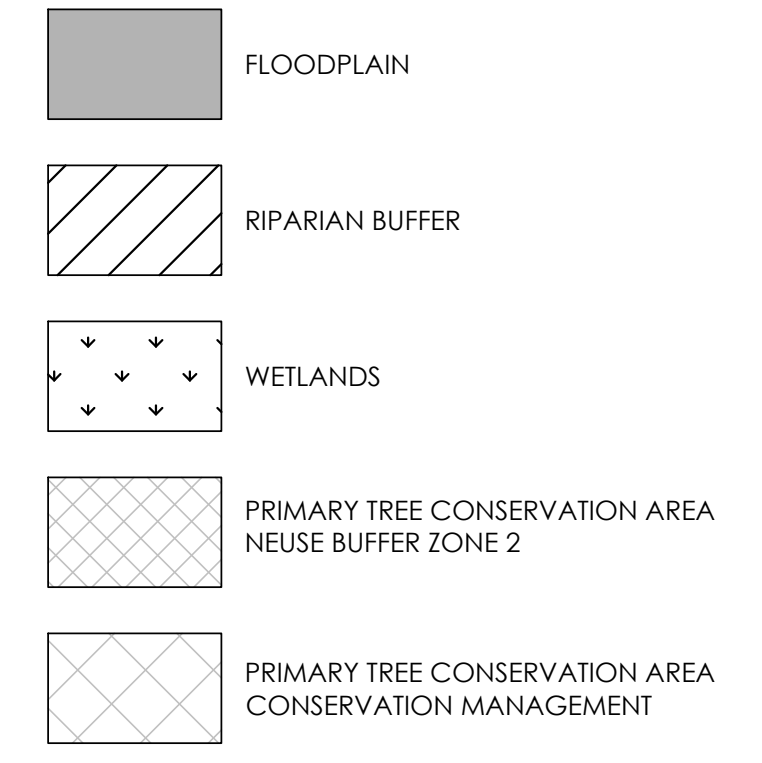
OPEN SPACE REQUIRED: 1 AC
 OPEN SPACE PROVIDED: 1.08 AC

OUTDOOR AMENITY REQUIRED: 5,271 SF (5%)
 OUTDOOR AMENITY PROVIDED: 5,741 SF (5%)

TREE CONSERVATION AREA REQUIRED: 0.24 AC (10%)
 TREE CONSERVATION AREA PROVIDED: 0.60 AC (24.8% - ALL PRIMARY TCA)
 NOTE 0.36 ACRES OF THE PROVIDED TCA IS CONSERVATION MANAGEMENT TCA

VEHICULAR PARKING: 2 SPACES/ UNIT
 CBU PARKING: 2 SPACES (1 STANDARD & 1 HC SPACE)

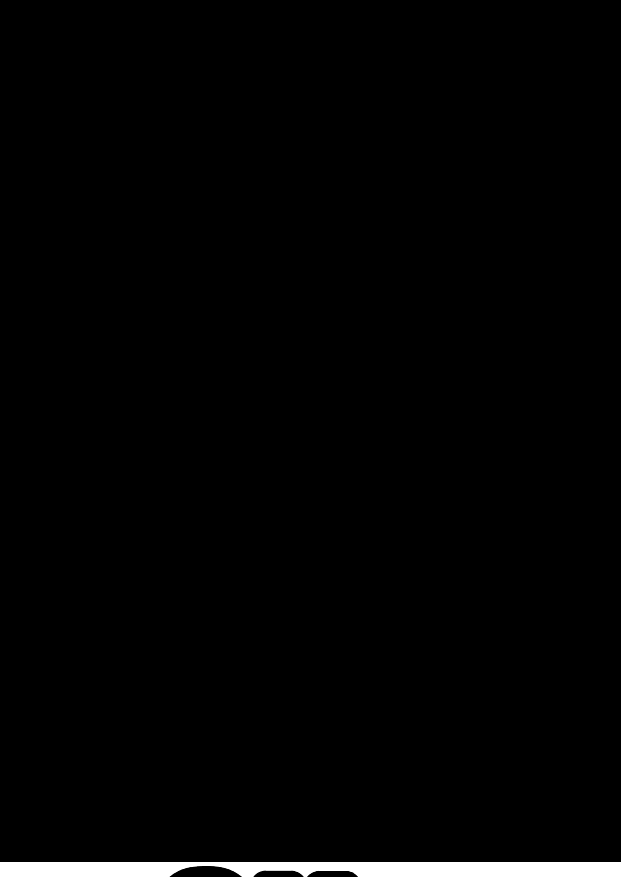
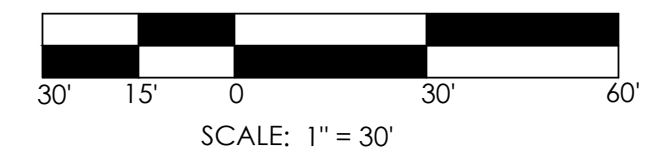
BICYCLE PARKING: N/A



SITE LAYOUT PLAN NOTES

- ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH ALL CITY OF RALEIGH, AND NCDOT STANDARDS AND SPECIFICATIONS AS APPLICABLE. IF DISCREPANCIES ARE FOUND THE MORE STRINGENT REQUIREMENTS WILL PREVAIL.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS TO COMPLETE THE PROPOSED WORK. NO CHANGES MAY BE MADE TO THE APPROVED DRAWINGS WITHOUT WRITTEN PERMISSION FROM THE ISSUING AUTHORITY.
- DIMENSIONS ARE TO EDGE OF PAVEMENT, EDGE OF SIDEWALK, FACE OF CURB, CENTERLINE OF COLUMN AND FACE OF BUILDING WALL UNLESS OTHERWISE NOTED. ALL ANGLES ARE 90 DEGREES UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL COORDINATE ALL WORK WITH ALL CONSTRUCTION TRADES PRIOR TO START OF CONSTRUCTION. CONTRACTOR TO REFERENCE CURRENT ARCHITECTURAL DRAWINGS FOR BUILDING INFORMATION.
- ALL PAINT STRIPING, PAVEMENT MARKINGS, AND SIGNAGE SHALL CONFORM TO THE LATEST MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES. PAINT STRIPING SHALL BE WHITE UNLESS OTHERWISE NOTED.
- ALL LANDSCAPE ISLANDS SHALL HAVE RAISED CURB AND GUTTER. MINIMUM CURB RADII SHALL BE 3' UNLESS OTHERWISE NOTED.
- A SEPARATE PERMIT AND APPROVAL IS REQUIRED FOR SIGNS.
- FIRE LANE MARKING AND SIGNAGE TO BE IN ACCORDANCE WITH LOCAL GUIDELINES. CONTRACTOR TO CONTACT THE LOCAL FIRE MARSHAL FOR INSTRUCTIONS.
- THE SITE WILL BE FULLY COMPLIANT WITH THE NORTH CAROLINA ACCESSIBILITY CODES (ANSI 117.1 -2009 AND CHAPTER 11 OF THE NCBC) UNLESS AND EXCEPT IN AREAS WHERE AN APPROVED STATEMENT FROM A SITE ENGINEER, SURVEYOR OR ARCHITECT VERIFIES THAT SITE CONDITIONS EXIST WHERE THE TOPOGRAPHY OF THE SITE IS EXTREME AND ONLY ALTERNATE METHODS OF COMPLIANCE ARE POSSIBLE.
- ALL PAVEMENT PATCHING SHALL BE PERFORMED PER CITY OF RALEIGH OR NCDOT STANDARDS AND SPECIFICATION. AS APPLICABLE.
- CONTRACTOR SHALL UTILIZE SIGNS, BARRICADES, FLAGMEN OR GUARDS AS REQUIRED TO PROTECT THE SAFETY OF ALL VEHICULAR AND PEDESTRIAN TRAFFIC DURING CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR LAYOUT OF ALL WORK AS ILLUSTRATED ON THE PLANS. ALL PROJECT STAKING SHALL BE PERFORMED BY A REGISTERED PROFESSIONAL SURVEYOR PAID BY THE CONTRACTOR. DO NOT SCALE THE DRAWINGS. DIGITAL INFORMATION IS PROVIDED FOR CONSTRUCTION DRAWINGS. IF EXISTING CONDITIONS DIFFER FROM THOSE ILLUSTRATED ON THE PLANS, NOTIFY THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL FURNISH ALL MATERIALS AND LABOR TO COMPLETE THE WORK ILLUSTRATED ON THE DRAWINGS.
- WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN TWO (2) FEET AND EIGHT (8) FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION OR THE NEAREST TRAVELED WAY IF NO CURBING EXISTS.
- ALL NEW UTILITIES SHALL BE LOCATED UNDERGROUND UNLESS OTHERWISE NOTED.
- SOLID WASTE REMOVAL SHALL BE HANDLED BY A PRIVATE HAULER.

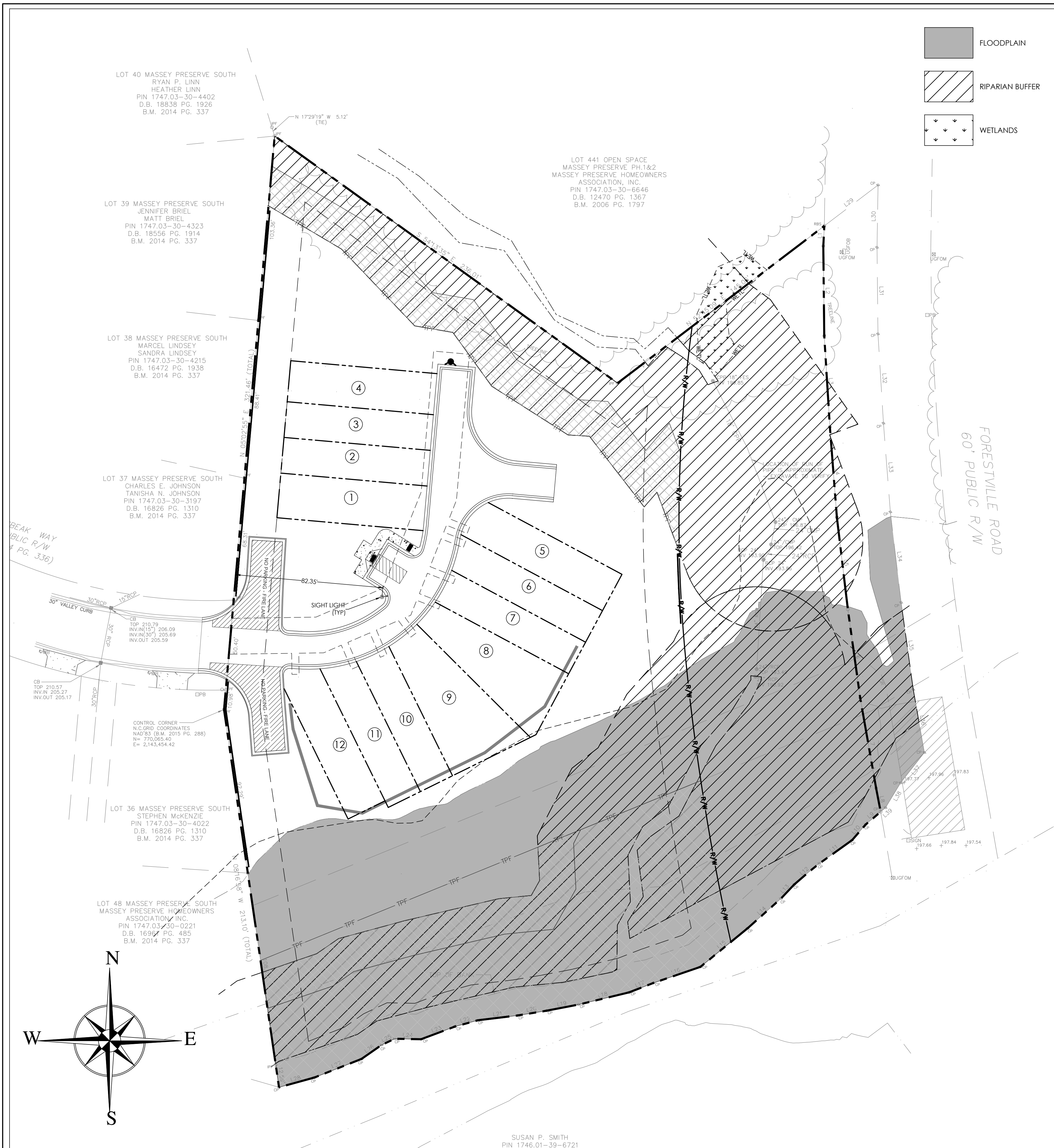
1 SITE LAYOUT PLAN
 L-2 SCALE: 1"=30'



REVISIONS:

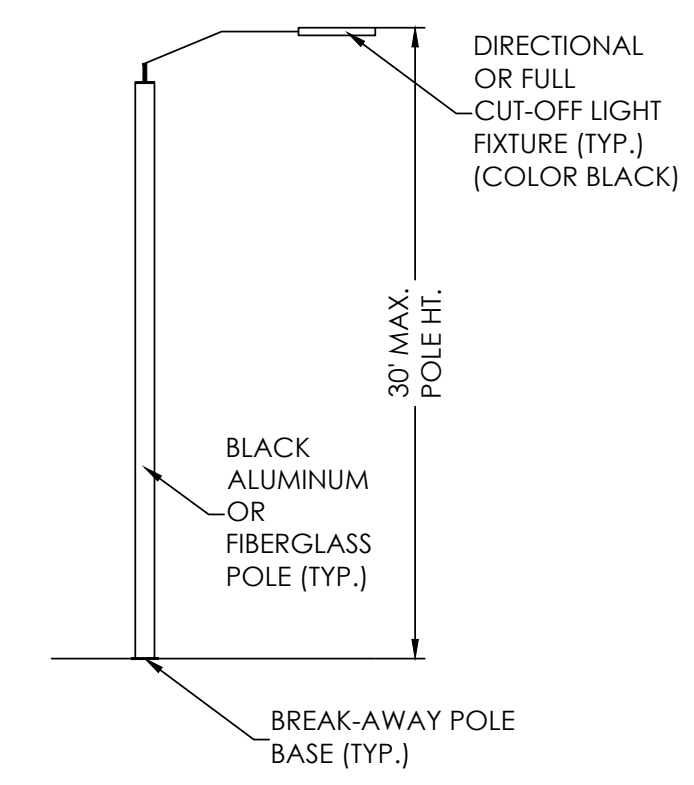
SITE LAYOUT PLAN
 FORESTVILLE ROAD TH'S
 4208 FORESTVILLE RD, RALEIGH, NC 27616
 CAPITAL PROPERTIES OF NORTH CAROLINA LLC
 PRELIMINARY
 NOT FOR CONSTRUCTION

SCALE: AS NOTED
 DRAWN BY: PMP
 PROJECT # 23170
 DATE: 11-22-2024
 SHEET L-2
 OF



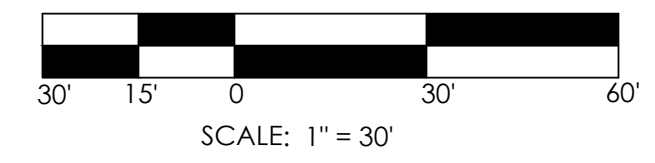
SITE LIGHTING PLAN NOTES

1. PROPOSED SITE LIGHTING SHALL MEET ALL STANDARDS AND SPECIFICATIONS OF THE CITY OF RALEIGH AND NCDOT AS APPLICABLE.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS TO COMPLETE THE PROPOSED WORK.
3. LIGHTING SHALL BE ORIENTED NOT TO DIRECT GLARE OR EXCESSIVE ILLUMINATION ONTO STREETS IN A MANNER THAT MAY DISTRACT OR INTERFERE WITH THE VISION OF MOTOR VEHICLE DRIVES ON SUCH STREETS.
4. CONTRACTOR TO COORDINATE ALL BUILDING MOUNTED LIGHTING WITH ELECTRICAL DESIGNER.
5. CONTRACTOR SHALL COORDINATE LIGHT FIXTURE, AND LIGHT POLE INSTALLATION WITH DUKE ENERGY.
6. CONTRACTOR TO PROVIDE 2" SCHEDULE 40 PVC ELECTRICAL CONDUIT UNDER PAVEMENT, UNDER HEAVILY LANDSCAPED AREAS AND AS NECESSARY TO PROVIDE ACCESS TO ALL LIGHT FIXTURES/POLES AND CONNECT BACK TO ELECTRICAL TIE IN LOCATION.
7. CONTRACTOR TO COORDINATE LIGHT POLE AND CONDUIT LOCATIONS PRIOR TO PAVING.
8. ALL ELECTRICAL CONDUIT, LIGHT POLES, AND FIXTURES TO BE FURNISHED BY THE CONTRACTOR.
9. ALL CONDUIT ENDS ARE TO BE CAPPED TO PREVENT ENTRY OF DEBRIS.
10. ALL CONDUITS MORE THAN 20' IN LENGTH SHALL HAVE A POLY STRING INSTALLED.
11. ALL PVC JOINTS ARE TO BE SOLVENT WELDED.



② PARKING AREA LIGHT
L-3 NTS

① SITE LIGHTING PLAN
L-3 SCALE: 1"=30'



Know what's below.
 Call before you dig.
 Dial 811 or 1-800-632-4949

REVISIONS:

SITE LIGHTING PLAN
 FORESTVILLE ROAD TH'S
 4208 FORESTVILLE RD, RALEIGH, NC 27616
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- FLOODPLAIN
- RIPARIAN BUFFER
- WETLANDS
- PRIMARY TREE CONSERVATION AREA NEUSE BUFFER ZONE 2
- PRIMARY TREE CONSERVATION AREA CONSERVATION MANAGEMENT

Tree Conservation Plan Data Sheet
UDO Article 9.1 Tree Conservation
 (Include applicable information on the plan sheet)

Project Name: FORESTVILLE ROAD TOWNHOMES
 Gross Site Acres: 3.10 ac
 Right-of-way to be dedicated with this project: 0.68 ac
 Net Site Acres: 2.42 ac

	Number of Acres	Percent of Tract
UDO 9.1.4.A. Primary Tree Conservation Areas		
1. Primary Tree Conservation Area - SHOD 1	_____ ac	_____ %
2. Primary Tree Conservation Area - SHOD 2	_____ ac	_____ %
3. Primary Tree Conservation Area - Parkway Frontage	_____ ac	_____ %
4. Primary Tree Conservation Area - CM	0.36 ac	14.88 %
5. Primary Tree Conservation Area - MPOD	_____ ac	_____ %
6. Primary Tree Conservation Area - Champion Tree "XX" dbh species	_____ ac	_____ %
7. Primary Tree Conservation Area - Neuse Buffer Zone 2	0.24 ac	9.92 %
8. Primary Tree Conservation Area - 45% Slopes	_____ ac	_____ %
9. Primary Tree Conservation Area - Thoroughfare	_____ ac	_____ %
Subtotal of Primary Tree Conservation Areas:	0.60 ac	24.8 %

UDO 9.1.4.D.2 Tree Conservation Area - Greenway _____ ac _____ %

UDO 9.1.4.B.1.a. & b. Secondary Tree Conservation Areas
 (Include perimeter buffers and their alternate compliance areas) _____ ac _____ %

UDO 9.1.4.B.1.c. & d. Individual Tree Secondary Tree Conservation Areas
 (Include individual trees and their alternate compliance areas) _____ ac _____ %

Subtotal of Secondary Tree Conservation Areas: _____ ac _____ %

TOTAL ALL TREE CONSERVATION AREA PROVIDED: 0.60 ac 24.8 %

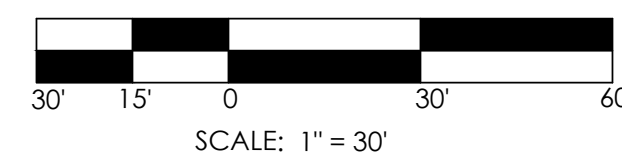
UDO 9.1.9. Watershed Protection Overlay Districts

UWPOD - Wooded Area (preserved)	_____ ac	_____ %
UWPOD - Wooded Area (planted)	_____ ac	_____ %
FWPOD - Wooded Area (preserved)	_____ ac	_____ %
FWPOD - Wooded Area (planted)	_____ ac	_____ %
SWPOD - Wooded Area (preserved)	_____ ac	_____ %
SWPOD - Wooded Area (planted)	_____ ac	_____ %

TCA PLAN NOTES

- TCA SHALL NOT BE USED FOR CONSTRUCTION WORK SPACE.
- ALL FINAL TCA AREA BOUNDARIES SHALL BE RECORDED ON FINAL PLAT PRIOR TO BUILDING PERMIT.
- ALL TREE CONSERVATION AREAS SHOWN ARE PRIMARY SO A TREE CONSERVATION REPORT IS NOT REQUIRED PER THE ADMINISTRATIVE SITE REVIEW CHECKLIST.

1 TREE CONSERVATION PLAN
 L-5 SCALE: 1"=30'



Know what's below.
 Call before you dig.
 Dial 811 or 1-800-632-4949

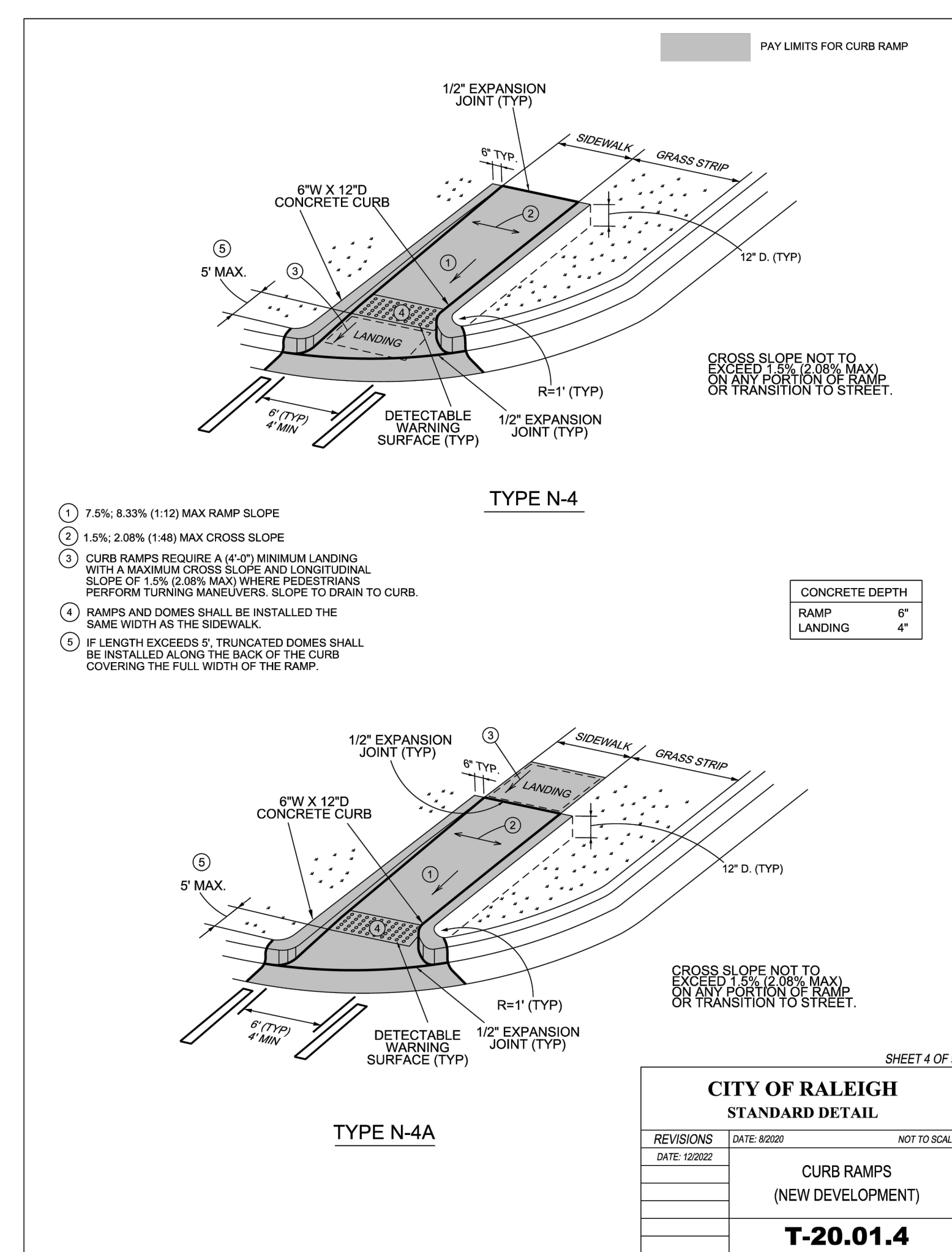
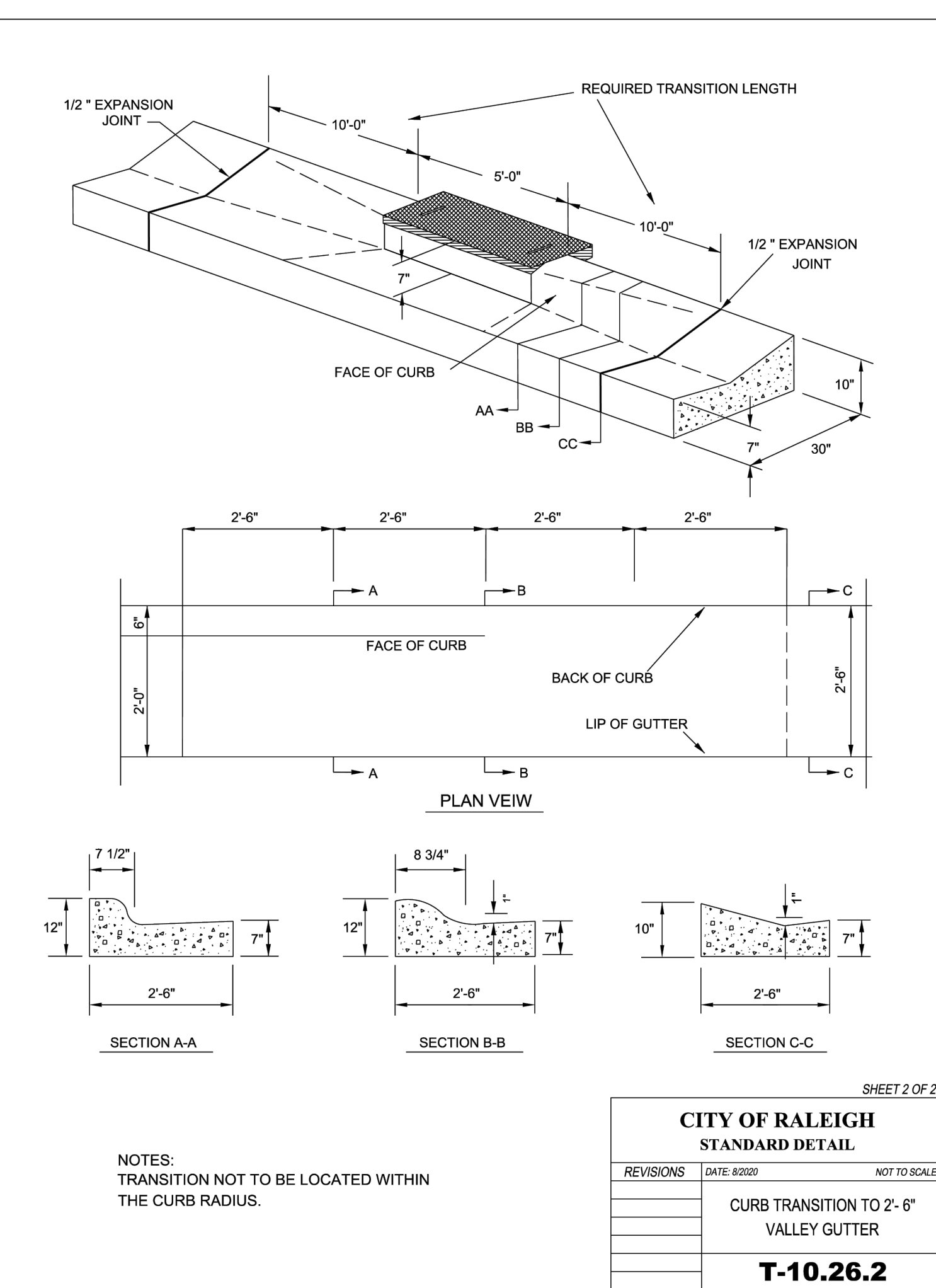
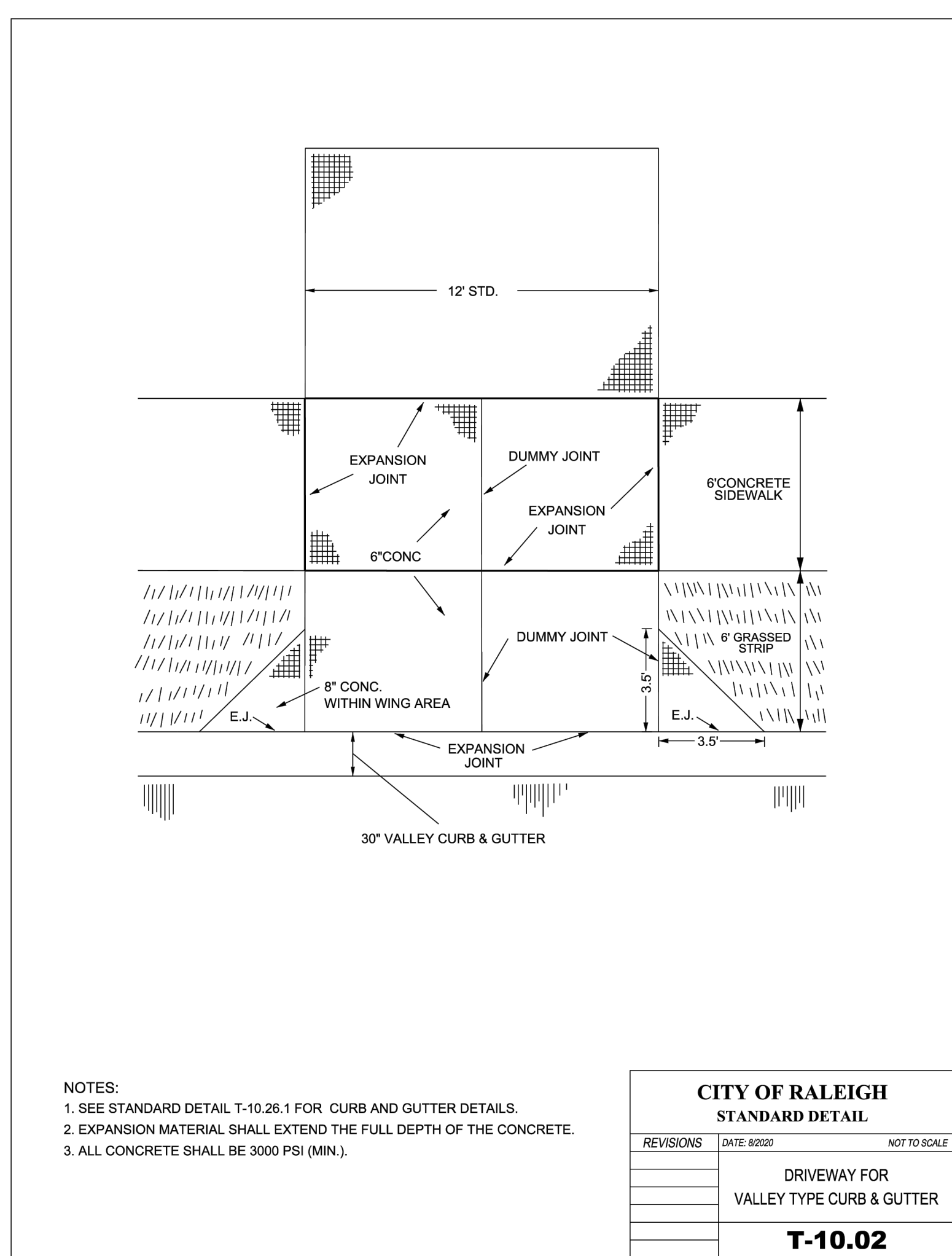
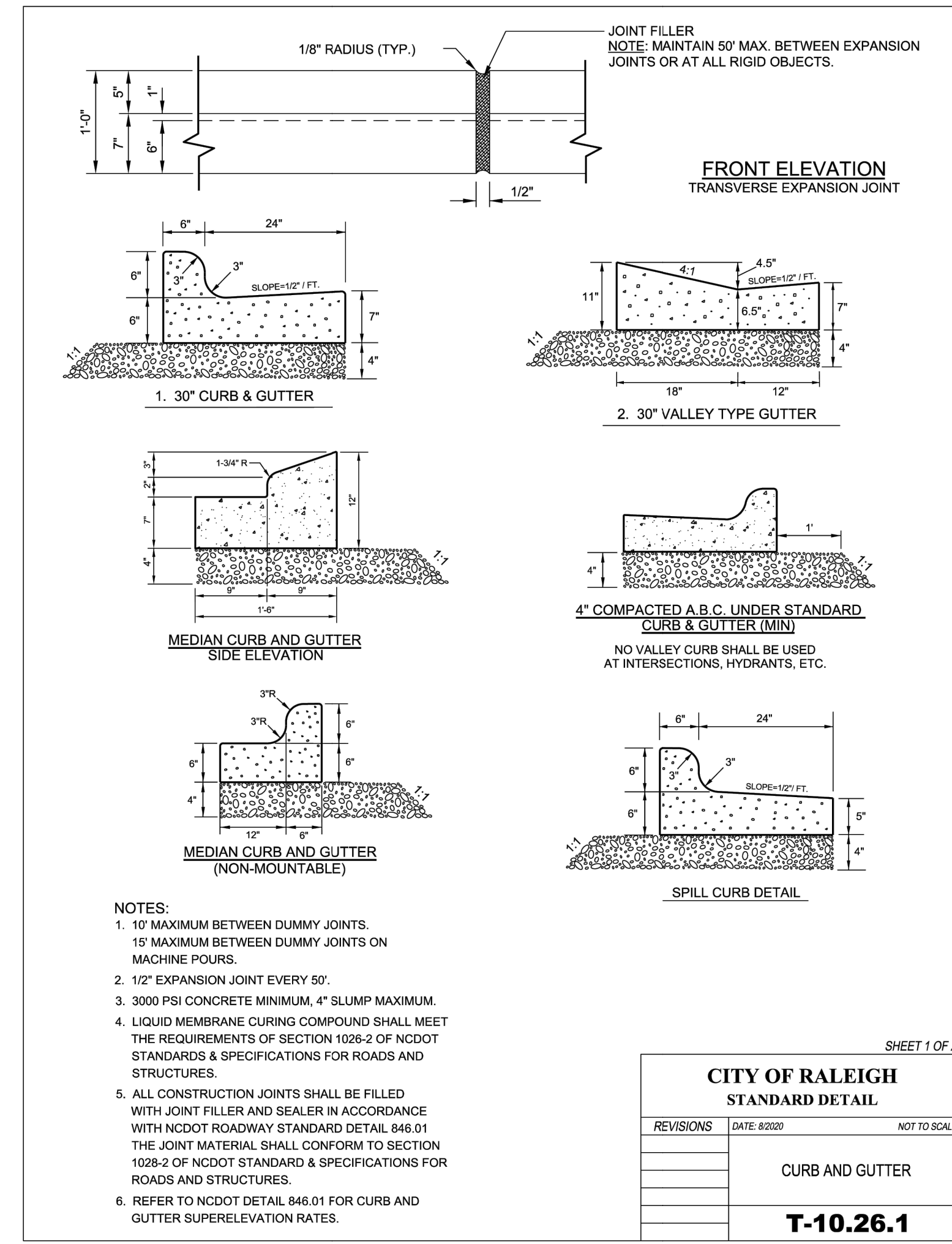
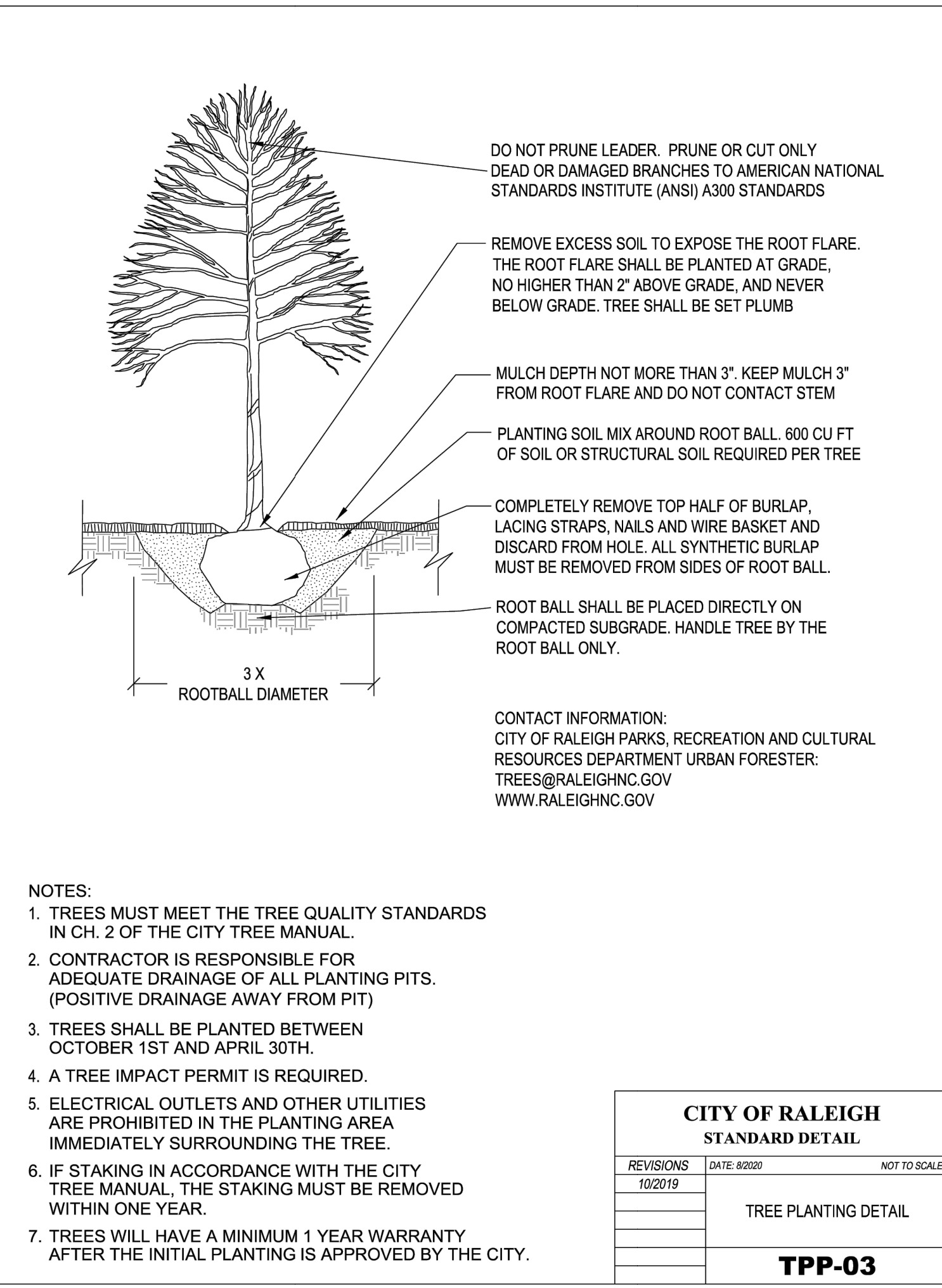
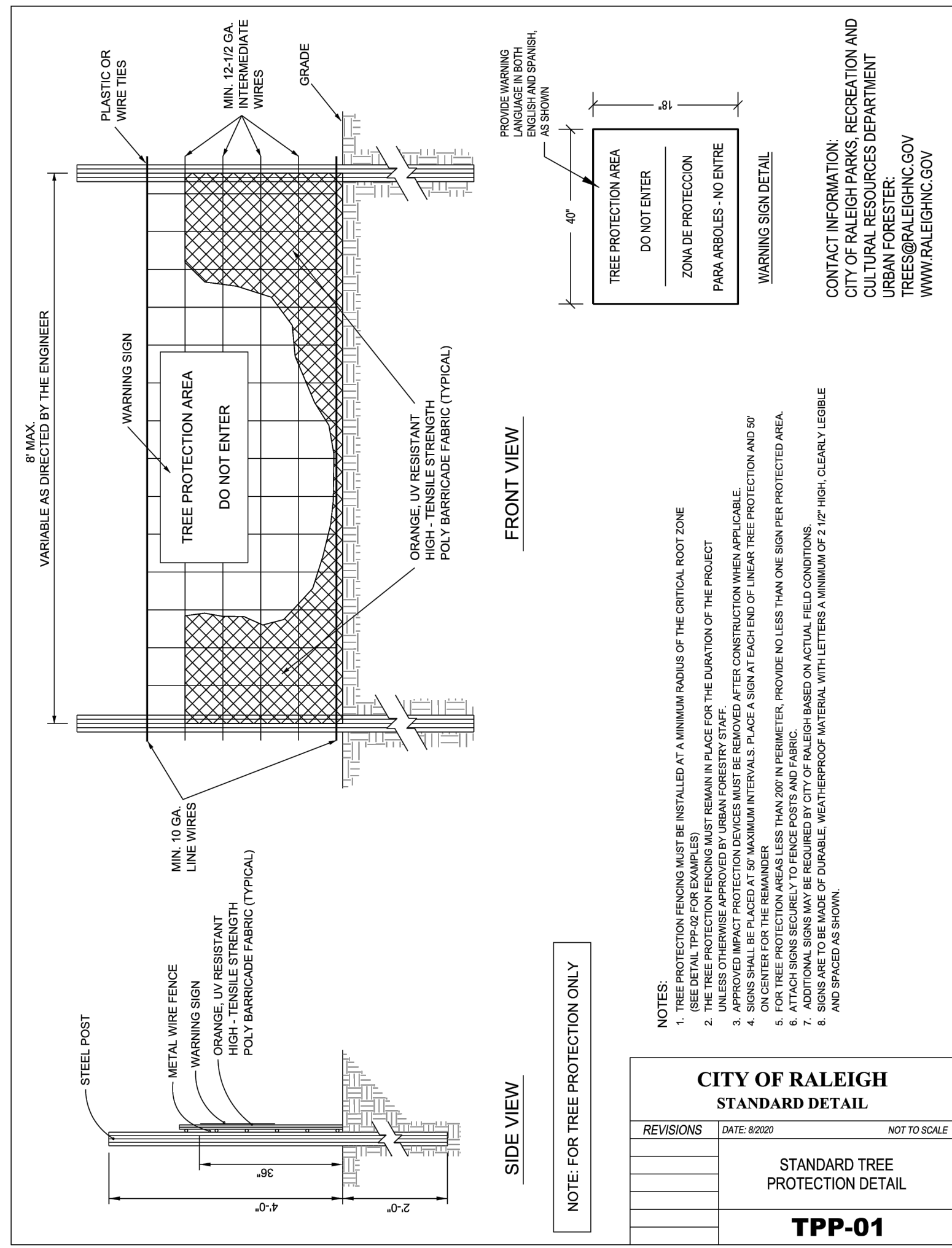
REVISIONS:

TREE CONSERVATION PLAN
 FORESTVILLE ROAD TH'S
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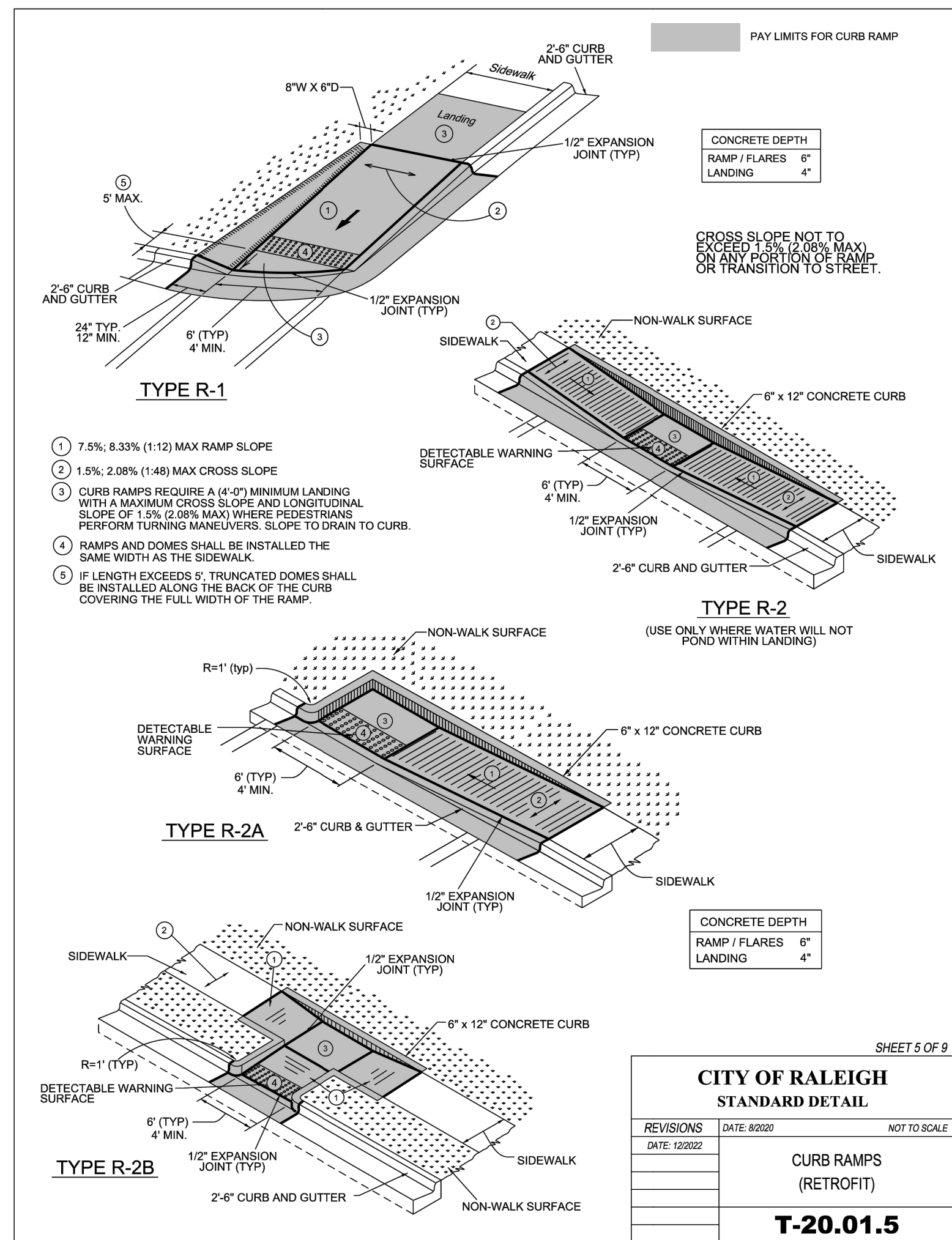
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OF



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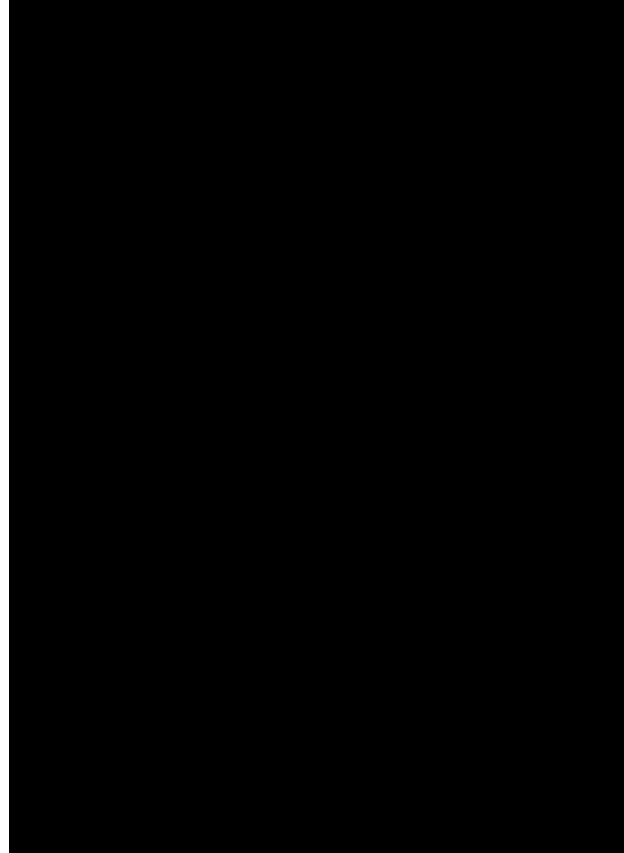
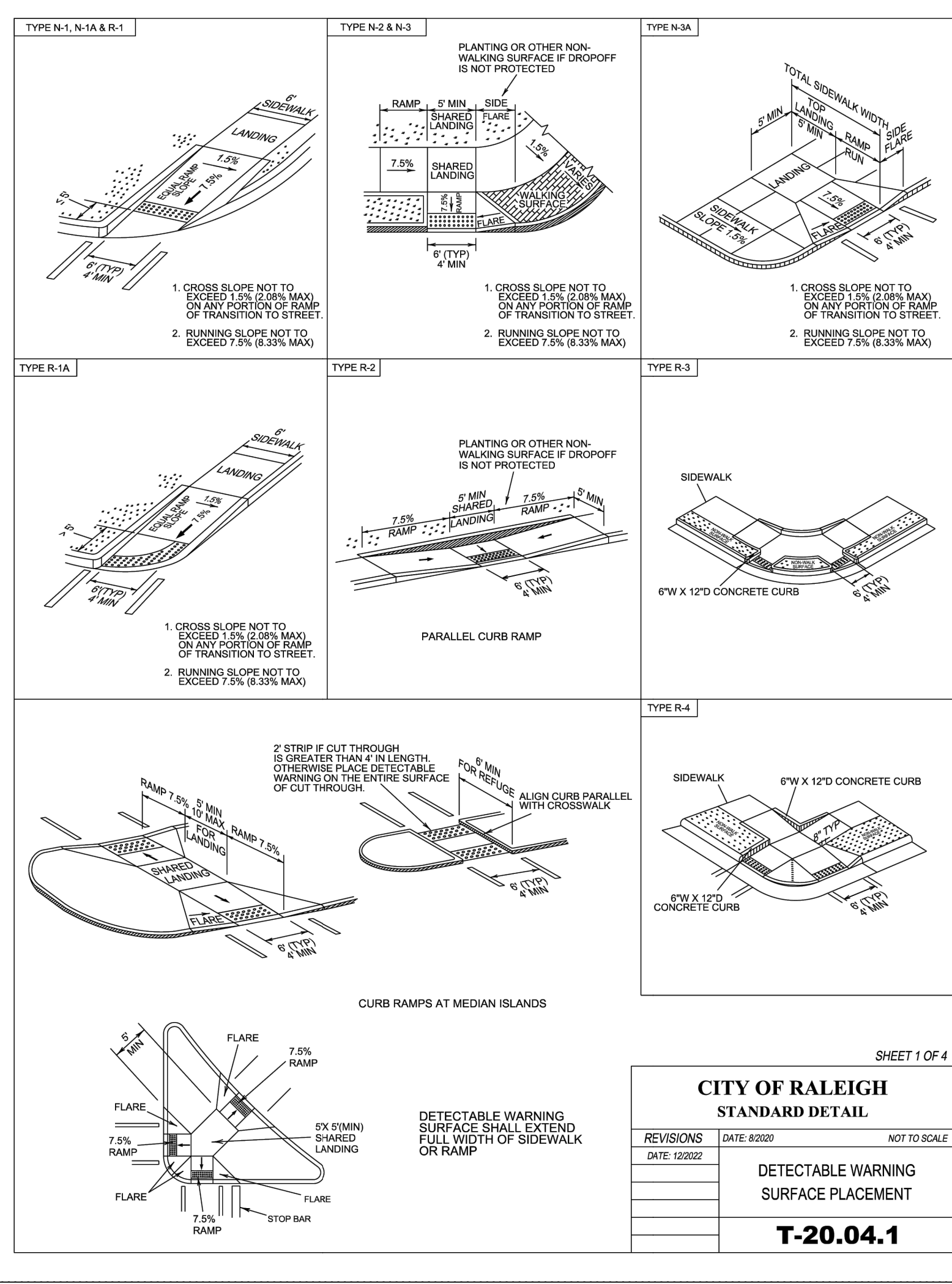
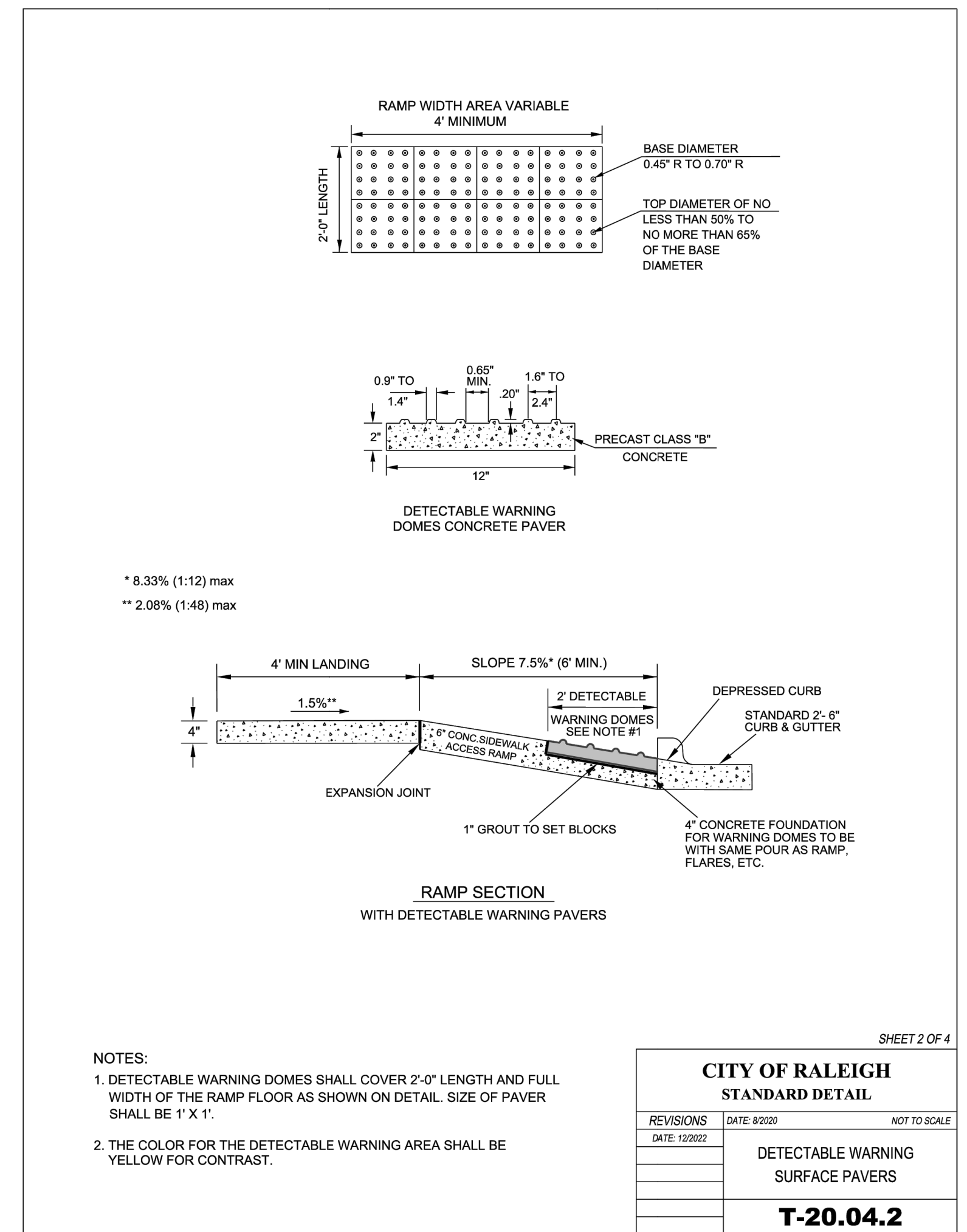


**CITY OF RALEIGH
 CURB RAMPS
 GENERAL NOTES**

1. CITY OF RALEIGH STANDARD CURB RAMPS HAVE BEEN DEVELOPED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND PUBLIC RIGHT OF WAY ACCESS GUIDELINES (PROWAG).
2. CURB RAMPS SHALL BE PROVIDED AT LOCATIONS AS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER. SIDEWALK ACCESS RAMPS SHALL BE LOCATED AS INDICATED IN THE DETAIL, HOWEVER, THE LOCATION MAY BE ADJUSTED IN COORDINATION WITH THE CITY OF RALEIGH WHERE EXISTING LIGHT POLES, FIRE HYDRANTS, DROP INLETS, ETC. AFFECT PLACEMENT.
3. DOUBLE WHEELCHAIR RAMPS ARE TO BE INSTALLED AT ALL PUBLIC STREET INTERSECTIONS WHERE SIDEWALK IS REQUIRED.
4. THE WALKING SURFACE SHALL BE SLIP RESISTANT. THE COLOR FOR THE DETECTABLE WARNING AREA SHALL BE YELLOW FOR CONTRAST.
5. NO SLOPE ON THE SIDEWALK ACCESS RAMP SHALL EXCEED 1"/FT (12:1) IN RELATIONSHIP TO THE GRADE OF THE STREET.
6. IN NO CASE SHALL THE WIDTH OF THE SIDEWALK ACCESS RAMP BE LESS THAN 48" ALL RAMPS SHALL BE INSTALLED THE SAME WIDTH AS THE SIDEWALK.
7. USE CLASS A (3000 PSI) CONCRETE WITH A SIDEWALK FINISH IN ORDER TO OBTAIN A ROUGH NONSKID SURFACE.
8. A 1/2" EXPANSION JOINT INSTALLED FULL DEPTH WILL BE REQUIRED WHERE THE CONCRETE SIDEWALK ACCESS RAMP JOINS THE CURB AND ALSO WHERE NEW CONCRETE ABUTS EXISTING CONCRETE.
9. CURB RAMPS SHOULD BE PLACED PARALLEL TO THE DIRECTION OF TRAVEL.

CITY OF RALEIGH STANDARD DETAIL
CURB RAMP NOTES
T-20.01.8

REVISIONS: DATE: 8/20/20 NOT TO SCALE
 DATE: 12/20/22



REVISIONS:
