

Preliminary Subdivision Plan Application

WALTERS

Development Services Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495



This form is used when submitting a Preliminary Subdivision (UDO Section 10.2.5.)
Please check the appropriate review type and include the plan checklist document.

Please email your completed application to DS.intake@raleighnc.gov.

Office Use Only: Case #: <u>SUB-0067-2019</u>	Planner (print): <u>R BOIVIN</u>
Pre-application Conference Date: <u>12/4/19</u>	Planner (signature): <u>[Signature]</u>

DEVELOPMENT TYPE (UDO Section 2.1.2)

☒ Conventional Subdivision ☐ Compact Development ☐ Conservation Development ☐ Cottage Court

NOTE: Subdivisions may require City Council approval if in a Metro Park Overlay or Historic Overlay District

GENERAL INFORMATION

Scoping/sketch plan case number(s): N/A

Development name (subject to approval): North Hills East Lot 17

Property Address(es): 4006 Market at North Hills Street

Recorded Deed PIN(s): 1705794136

What is your project type? ☐ Single family ☐ Townhouse ☐ Attached houses
☐ Apartment ☐ Non-residential ☒ Other: Subdivision to create additional lots

CURRENT PROPERTY OWNER/DEVELOPER INFORMATION

NOTE: Please attach purchase agreement when submitting this form

Company: McAdams Owner/Developer Name and Title: NHE Master Developer, John Kane, Manager

Address: 4321 Lassiter at North Hills Ave. Suite 250, Raleigh, North Carolina 27609

Phone #: 919-833-7755 Email: amccollum@kanerealtycorp.com

APPLICANT INFORMATION

Company: McAdams Contact Name and Title: Andy Padiak, Group Manager

Address: One Glenwood Avenue, Suite 201 Raleigh, NC 27603

Phone #: 919-823-4300 Email: padiak@mcadamsco.com

Continue to the next page>

Preliminary Subdivision Plan Application

WALTERS

Development Services Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495



This form is used when submitting a Preliminary Subdivision (UDO Section 10.2.5.)
Please check the appropriate review type and include the plan checklist document.

Please email your completed application to DS.intake@raleighnc.gov.

Office Use Only: Case #: <u>SUB-0067-2019</u>	Planner (print): <u>R BOIVIN</u>
Pre-application Conference Date: <u>12/4/19</u>	Planner (signature): <u>[Signature]</u>

DEVELOPMENT TYPE (UDO Section 2.1.2)

☒ Conventional Subdivision ☐ Compact Development ☐ Conservation Development ☐ Cottage Court

NOTE: Subdivisions may require City Council approval if in a Metro Park Overlay or Historic Overlay District

GENERAL INFORMATION

Scoping/sketch plan case number(s): N/A

Development name (subject to approval): North Hills East Lot 17

Property Address(es): 4006 Market at North Hills Street

Recorded Deed PIN(s): 1705794136

What is your project type? ☐ Single family ☐ Townhouse ☐ Attached houses
☐ Apartment ☐ Non-residential ☒ Other: Subdivision to create additional lots

CURRENT PROPERTY OWNER/DEVELOPER INFORMATION

NOTE: Please attach purchase agreement when submitting this form

Company: <u>McAdams</u>	Owner/Developer Name and Title <u>NHE Master Developer, John Kane, Manager</u>
Address: <u>4321 Lassiter at North Hills Ave. Suite 250, Raleigh, North Carolina 27609</u>	
Phone #: <u>919-833-7755</u>	Email: <u>amccollum@kanerealtycorp.com</u>

APPLICANT INFORMATION

Company: <u>McAdams</u>	Contact Name and Title: <u>Andy Padiak, Group Manager</u>
Address: <u>One Glenwood Avenue, Suite 201 Raleigh, NC 27603</u>	
Phone #: <u>919-823-4300</u>	Email: <u>padiak@mcadamsco.com</u>

Continue to the next page>

DEVELOPMENT TYPE + SITE DATE TABLE

(Applicable to all developments)

ZONING INFORMATION

Gross site acreage: 2.65 ac.

Zoning districts (if more than one, provide acreage of each):

PD-(MP-3-16)

Overlay district: N/A

Inside City limits? ☒ Yes ☐ No

Conditional Use District (CUD) Case # Z- N/A

Board of Adjustment (BOA) Case # A- N/A

STORMWATER INFORMATION

Existing Impervious Surface:

Acres: 1.62 Square Feet: 70,568

Proposed Impervious Surface:

Acres: 2.50 Square Feet: 109,662

Neuse River Buffer ☒ Yes ☐ NoWetlands ☐ Yes ☒ NoIs this a flood hazard area? ☐ Yes ☒ No

If yes, please provide the following:

Alluvial soils: _____

Flood study: _____

FEMA Map Panel #: _____

NUMBER OF LOTS AND DENSITY

Total # of townhouse lots: N/A Detached Attached

Total # of single-family lots: N/A

Proposed density for each zoning district (UDO 1.5.2.F):

0

Total # of open space and/or common area lots: 0

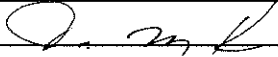
Total # of requested lots: 2

SIGNATURE BLOCK

In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors, and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City of Raleigh.

I hereby designate Andy Padiak to serve as my agent regarding this application, to receive and response to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.

I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.

Signature: 

Date: 11/15/19

Printed Name: John Kane, Manager

Signature: _____

Date: _____

Printed Name: _____

Please email your completed application to DS.intake@raleighnc.gov.

Preliminary Subdivision Plan Checklist

Development Services Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495



Use this checklist as a guide for Preliminary Subdivision Review ([UDO Section 10.2.5.](#)) submittal requirements. This checklist must be submitted with your application.

MAILED NOTIFICATION REQUIREMENTS

Mailed notification must be submitted with all preliminary subdivision applications. Mailed notice submission requirements include the following:

- Stamped, unsealed envelopes each containing a notification letter addressed to all property owners within 100' of subject parcel(s)
- A copy of the completed notification letter
- A copy of the list of all property owners within 100', with the address and PIN of each property
- A copy of a map showing all properties to be notified

NOTE: [Click here to download the letter template](#) and other helpful information.

GENERAL REQUIREMENTS Applicant to provide the following plan information:	APPLICANT		CITY STAFF		
	YES	N/A	YES	NO	N/A
1. Pre-application Conference Form: Per UDO Section 10.2.5.D.	X		✓		
2. Cover sheet and/or second sheet: include project name and location; copy of applications, site data table (<i>include Property Identification Numbers (PINs), Zoning, Overlay District(s)</i>), number of proposed lots, residential density and unit data; general notes; sheet index and legend defining symbols; contact information for owner, applicant, and all consultants; vicinity map no smaller than 1"=500' and no larger than 1"=1000'; and adopted zoning conditions (if any)	X		✓		
3. Existing conditions sheet: including, but not limited to - graphic scale; site size with meets and bounds; setbacks/ build-to lines; existing structures; utilities and easements; topography, infrastructure (<i>adjacent streets with names and r/w width, sidewalks, water, and sewer</i>); built improvements (<i>structures, driveways, alleys</i>); and vegetation	X		✓		
4. Demolition plan: Clearly indicate items to be removed	X		✓		
5. Proposed subdivision plan: including but not limited to – north arrow and graphic scale; show and distinguish between existing and proposed conditions (<i>structures, streets, driveways, etc.</i>); proposed property lines; setback/build-to lines; proposed streets, streetscape; sidewalks, walkways, trails; parking information (<i>UDO Section 7.1.2</i>); amenity area (<i>UDO Section 1.5.3</i>); open space and/or greenways (<i>UDO Section 2.5</i>); transition protective yard (<i>UDO Section 7.2.4</i>); Site Data (<i>Zoning, Housing Type (UDO Section 2.1.2), # of Lots, Proposed use(s), Parking data; open space calculations; Building Type (UDO Section 1.4); Setback/Build-to; transitional protective yard type (UDO Section 7.2.4.A); street protective yard type (UDO Section 7.2.4.B.)</i>)	X		✓		

Please continue to page two...

GENERAL REQUIREMENTS Applicant to provide the following plan information:	APPLICANT		CITY STAFF		
	YES	N/A	YES	NO	N/A
6. Proposed grading plan: including but not limited to - Limits of land disturbance; grading; stream buffers with labels; labeled impervious surfaces (and calculations); tree protection fencing information; retaining walls with top and bottom of wall; stormwater ponds, bioretention facilities, etc.	X		✓		
7. Proposed stormwater information: include preliminary stormwater quantity and quality summary and calculations information. If not required, provide notes indicating such and reference UDO section on front cover		N/A			✓
8. Proposed Utility Plan: All utilities (shown underground); above ground utilities and equipment with required screening (<i>UDO Section 7.2.5.D.</i>); include Fire	X		✓		
9. Lighting Plan: Pole mounted fixture locations and details (with height labeled to top of fixture; building mounted fixture locations; graphics and notes conveying compliance with UDO Section 7.4 (If applicable).	X		✓		
10. Proposed tree conservation plan: for secondary tree conservation areas, include two copies of the tree cover report completed by a certified arborist, NC licensed landscape architect, or NC registered forester. If not required, provide notes indicating such and reference UDO section on front cover		N/A			✓
11. Proposed landscape plan: (<i>UDO Section 7.2</i>) including but not limited to – existing vegetation to remain; proposed landscaping meeting minimum size and species mixing requirements; plant list; label yard types; show and label parking lot landscaping (<i>UDO Section 7.1.7.</i>) include existing and/or proposed parking lot light fixtures	X		✓		

NOTE: Revisions to previously approved preliminary subdivisions must contain the following minimum information:

REQUIREMENTS FOR REVISIONS TO EXISTING SUBDIVISIONS Applicant to provide the following plan information:	APPLICANT		CITY STAFF		
	YES	N/A	YES	NO	N/A
1. Provide documentation showing Development Services Staff have approved the proposed site plan changes as a revision					
2. Provide narrative of the proposed revisions on the cover page and modify the project name to include revision					
3. List date of previously approved subdivision plan.					
4. Cloud areas of proposed change on all applicable sheets, and provide a legend specifying the proposed changes on all applicable sheets					
5. Provide updated site data table including number of proposed lots, open space calculations, etc.					
6. Provide documented history of impervious surfaces with dates					

CONTACT

ANDY PADIAC
padiak@mcadamsco.com
PHONE: 919. 823. 4300

CLIENT

KANE REALTY CORPORATION
4321 LASSITER AT NORTH HILLS
SUITE 250
RALEIGH, NORTH CAROLINA 27609
PHONE: 919. 719. 3573



PROJECT DIRECTORY

NORTH HILLS EAST LOT 17

4006 MARKET AT NORTH HILLS STREET
RALEIGH, NORTH CAROLINA 27609

PRELIMINARY SUBDIVISION PLAN

PROJECT NUMBER: KAN-19030

DATE: NOVEMBER 19, 2019

SHEET INDEX

C0.00	PROJECT NOTES
C1.00	EXISTING CONDITIONS
C1.01	DEMOLITION PLAN
C2.00	OVERALL SUBDIVISION PLAN
C2.01	SUBDIVISION PLAN
C3.00	GRADING AND STORM DRAINAGE PLAN
C4.00	UTILITY PLAN
C8.00	SITE DETAILS
L5.00	LANDSCAPE PLAN

DEVELOPMENT SERVICES

Preliminary Subdivision Plan Application

Development Services Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495



This form is used when submitting a Preliminary Subdivision (UDO Section 10.2.5.)
Please check the appropriate review type and include the plan checklist document.

Please email your completed application to DS.intake@raleighnc.gov.

Office Use Only: Case #:	Planner (print):
Pre-application Conferences Date:	Planner (signature):

DEVELOPMENT TYPE (UDO Section 2.1.2)	
☒ Conventional Subdivision	☐ Compact Development
☐ Conservation Development	☐ Cottage Court
NOTE: Subdivisions may require City Council approval if in a Metro Park Overlay or Historic Overlay District	

GENERAL INFORMATION	
Scoping/sketch plan case number(s): N/A	
Development name (subject to approval): North Hills East Lot 17	
Property Address(es): 4006 Market at North Hills Street	
Recorded Deed PIN(s): 1705794136	

What is your project type?	☐ Single family	☐ Townhouse	☐ Attached houses
	☐ Apartment	☐ Non-residential	☒ Other: Subdivision to create additional lots

CURRENT PROPERTY OWNER/DEVELOPER INFORMATION	
NOTE: Please attach purchase agreement when submitting this form	
Company: McAdams	Owner/Developer Name and Title: 181E Master Developer, John Kane, Manager
Address: 4321 Lassiter at North Hills Ave. Suite 250, Raleigh, North Carolina 27609	
Phone #: 919-833-7755	Email: amccollum@kanerealtycorp.com
APPLICANT INFORMATION	
Company: McAdams	Contact Name and Title: Andy Padiak, Group Manager
	Address: One Glenwood Avenue, Suite 201 Raleigh, NC 27603
Phone #: 919-823-4300	Email: padiak@mcadamsco.com

Continue to the next page>

Page 1 of 2

REVISION 08.01.19

raleighnc.gov

DEVELOPMENT TYPE • SITE DATE TABLE	
(Applicable to all developments)	
ZONING INFORMATION	
Gross site acreage: 2.65 ac.	
Zoning districts (if more than one, provide acreage of each): PD-(MP-3-16)	
Overlay district: N/A	Inside City limits? ☒ Yes ☐ No
Conditional Use District (CUD) Case # Z- N/A	Board of Adjustment (BOA) Case # A- N/A

STORMWATER INFORMATION	
Existing Impervious Surface: Acres: 1.62 Square Feet: 70,568	Proposed Impervious Surface: Acres: 2.50 Square Feet: 109,662
Neuse River Buffer: ☒ Yes ☐ No	Wetlands: ☐ Yes ☒ No
Is this a flood hazard area? ☐ Yes ☒ No	
If yes, please provide the following:	
Alluvial soils:	
Flood study:	
FEMA Map Panel #:	

NUMBER OF LOTS AND DENSITY	
Total # of townhouse lots: N/A	Detached Attached
Total # of single-family lots: N/A	
Proposed density for each zoning district (UDO 1.5.2.F): 0	
Total # of open space and/or common area lots: 0	
Total # of requested lots: 2	

SIGNATURE BLOCK	
In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors, and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City of Raleigh.	
I hereby designate Andy Padiak to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.	
I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.	
Signature:	Date: 11/15/19
Printed Name: John Kane, Manager	
Signature:	Date:
Printed Name:	

Please email your completed application to DS.intake@raleighnc.gov.

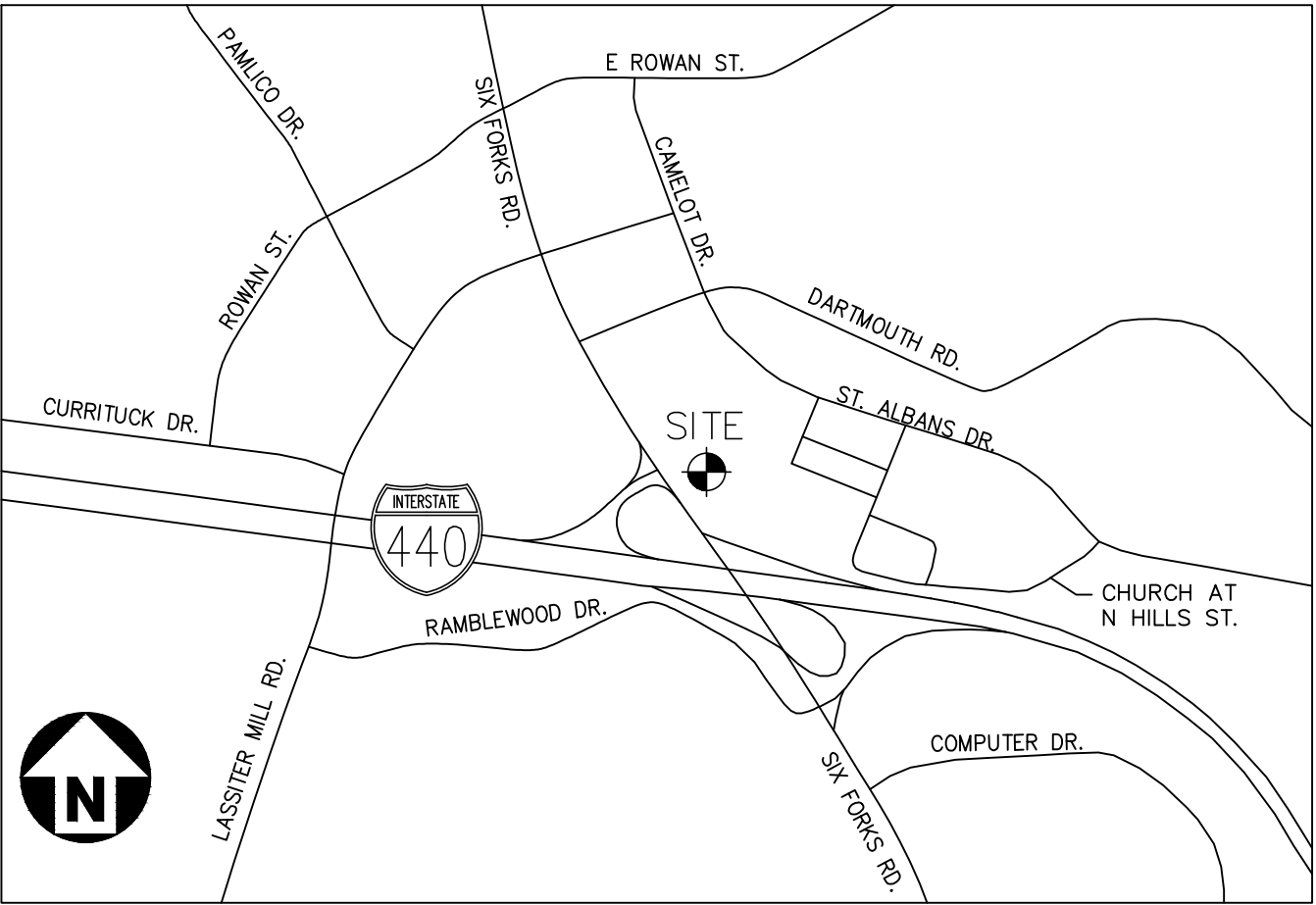
Page 2 of 2

REVISION 08.01.19

raleighnc.gov

SITE DATA	
PHYSICAL ADDRESS:	4006 MARKET AT NORTH HILLS STREET RALEIGH, NORTH CAROLINA 27609
OWNER:	NORTH HILLS EAST MASTER DEVELOPER LLC KANE REALTY CORPORATION PO BOX 19107 RALEIGH, NC 27619
PIN:	1705794136
REAL ESTATE ID:	0366508
ZONING:	PD-(MP-3-16)
WATERSHED:	NEUSE RIVER
LOT AREA:	109,662 SF / 2.65 AC
PROJECT AREA:	2.65 AC
AREA IN FLOODWAY/FLOODPLAIN:	NONE
LOT IMPERVIOUS:	1.62 AC. (61.5% OF LOT 17 AREA)

LOT ACREAGE TABLE	
EXISTING LOT 17	2.65 AC.
PROPOSED LOTS	
NEW LOT 17	0.65 AC.
NEW LOT 25	0.89 AC.
NEW LOT 26	1.11 AC.
*MAXIMUM IMPERVIOUS LOT AREA IS SHOWN ON C3.00	



VICINITY MAP
N.T.S.



Know what's below.
Call before you dig.

ATTENTION CONTRACTORS

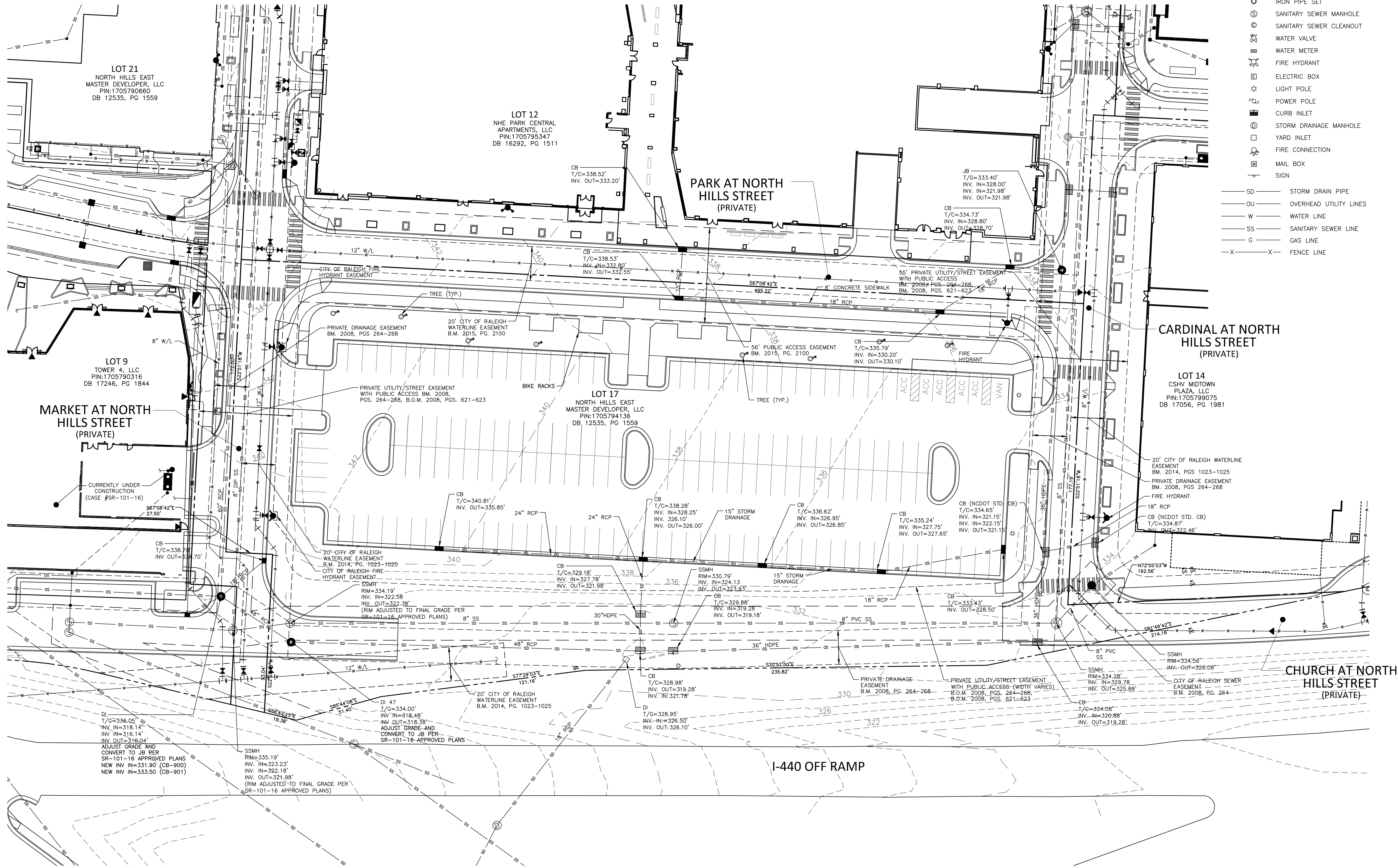
The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Public Works Department at (919) 996-2409, and the Public Utilities Department at (919) 996-4540 at least twenty four hours prior to beginning any of their construction.

Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for Inspection, Install a Downstream Plug, have Permitted Plans on the jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.

ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST VERSION OF THE CITY OF RALEIGH AND NCDOT STANDARDS, SPECIFICATIONS AND DETAILS.

CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.



LEGEND

- EXISTING IRON PIPE
- IRON PIPE SET
- SANITARY SEWER MANHOLE
- SANITARY SEWER CLEANOUT
- WATER VALVE
- WATER METER
- FIRE HYDRANT
- ELECTRIC BOX
- LIGHT POLE
- POWER POLE
- CURB INLET
- STORM DRAINAGE MANHOLE
- YARD INLET
- FIRE CONNECTION
- MAIL BOX
- SIGN
- SD STORM DRAIN PIPE
- OU OVERHEAD UTILITY LINES
- W WATER LINE
- SS SANITARY SEWER LINE
- G GAS LINE
- X FENCE LINE

McADAMS
The John R. McAdams Company, Inc.
2905 Meridian Parkway
Durham, NC 27713
phone 919. 361. 5000
fax 919. 361. 2269
license number: C-0293
www.mcadamsco.com

CLIENT
KANE REALTY CORPORATION
4321 LASSITER AT NORTH HILLS AVENUE
SUITE 250
RALEIGH, NORTH CAROLINA 27609
KANE
REALTY CORPORATION

NORTH HILLS EAST LOT 17
PRELIMINARY SUBDIVISION PLAN
4000 FRONT AT NORTH HILLS STREET
RALEIGH, NORTH CAROLINA, 27609

REVISIONS

NO.	DATE
-----	------

PLAN INFORMATION

PROJECT NO.	KAN-19030
FILENAME	KAN19030-PRE SUB-XC1
CHECKED BY	AP
DRAWN BY	CGH
SCALE	1"=30'
DATE	11. 19. 2019

SHEET

EXISTING CONDITIONS

C1.00

NOTES:

1. EXISTING CONDITIONS WAS COMPILED USING SURVEY AND DESIGN DRAWINGS.
CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF ANY DISCREPANCIES ARISE.

GRAPHIC SCALE
0 15 30 60
1 inch = 30 ft.

ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST
VERSION OF THE CITY OF RALEIGH AND NCDOT STANDARDS,
SPECIFICATIONS AND DETAILS.

X:\Projects\NAN\NAN-16090\Land\Construction Drawings\Current Drawings\NAN19030-Preliminary Sub-XC1.dwg, 11/15/2019 10:10:38 AM, Harrell, Gray

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

#	NAME:	MAIL ADDRESS:	CITY, STATE:	WAKE COUNTY PIN #:
01	FIRST CITIZENS BANK & TRUST COMPANY	P.O. BOX 27131	RALEIGH, NC 27611-7131	1706-60-3584
02	FIRST CITIZENS BANK & TRUST COMPANY	P.O. BOX 27131	RALEIGH, NC 27611-7131	1706-60-7653
03	ANN L CALHOUN	4300 CAMELOT DRIVE	RALEIGH, NC 27609-5840	1706-60-9548
07	MARY ANN OLSEN	144 SHELL BANK ROAD	NEWPORT, NC 28570-9636	1706-70-1375
08	WJF PROPERTIES LLC	12900 TOWNFIELD DRIVE	RALEIGH, NC 27614-7944	1706-70-2370
09	HHH INVESTMENTS LLC	421 FAYETTEVILLE STREET STE 1100	RALEIGH, NC 27601-3000	1706-70-3243
10	SUSAN JEANETTE GLOVER, SUSAN SHAFFER	PO BOX 1075	RALEIGH, NC 27609-1075	1706-70-4149
11	WILDA O. WOODARD	130 DARTMOUTH ROAD	RALEIGH, NC 27609-5844	1706-70-5178
12	JOHN R. LOW, RUST, GRACIELA AIRES	206 DARTMOUTH ROAD	RALEIGH, NC 27609-5848	1706-70-4269
13	SHEREN SHAMMAS, ABDALLAH B SHAMMAS	206 DARTMOUTH ROAD	RALEIGH, NC 27609-5846	1706-70-8045
14	IRENE S. HOWELL	117 WALNUT CREEK DRIVE	GOLDSBORO, NC 27534-8979	1705-79-9492
15	JAMES ROBERT, MCMILLEN	3123 ETON ROAD	RALEIGH, NC 27608-1113	1705-89-0951
16	MARILYN S. KILGORE	220 DARTMOUTH ROAD	RALEIGH, NC 27609-5846	1705-89-1858
17	JAMES D. & CAROL A. GROVES	300 DARTMOUTH ROAD	RALEIGH, NC 27609-5848	1705-89-3834
18	MICHAEL NASH HOWE, BARBARA ANNE BURNETTE	306 DARTMOUTH ROAD	RALEIGH, NC 27609-5848	1705-89-4893
19	SHADDOX DRIVE	89 SHADDOX DRIVE	NEW HILL, NC 27562-8900	1705-89-7616
20	MATTHEW K RONNING, MARYANNE DRAKE RONNING	417 LAMBETH DRIVE	RALEIGH, NC 27609-5873	1705-89-6774
21	COREY REAGAN CABRIETRE, TRACI RHYNE CABRIETRE	413 LAMBETH DRIVE	RALEIGH, NC 27609-5873	1705-89-7616
22	PAUL DANIEL DRYDEN, KATHERINE MCKNIGHT DRYDEN	4109 LAMBETH DRIVE	RALEIGH, NC 27609-5873	1705-89-8645
23	PETER & SARAH G. WILLIAMS	4105 LAMBETH DRIVE	RALEIGH, NC 27609-5873	1705-89-9541



McADAMS

The John R. McAdams Company, Inc.
2905 Meridian Parkway
Durham, NC 27713

phone 919. 361. 5000
fax 919. 361. 2269
license number: C-0293

www.mcadamsco.com

KANE REALTY CORPORATION
4321 LASSITER AT NORTH HILLS AVENUE
SUITE 250
RALEIGH, NORTH CAROLINA 27609



NORTH HILLS EAST LOT 17
PRELIMINARY SUBDIVISION PLAN
4000 FRONT AT NORTH HILLS STREET
RALEIGH, NORTH CAROLINA, 27609

NO. DATE

PROJECT NO.	KAN-19030
FILENAME	KAN19030-PRE SUB-OAS1
CHECKED BY	AP
DRAWN BY	CGH
SCALE	1"=100'
DATE	11. 19. 2019

**OVERALL
SUBDIVISION PLAN
C2.00**



www.mcadamsco.com

CLIENT

KANE
REALTY CORPORATION

NORTH HILLS EAST LOT 17
PRELIMINARY SUBDIVISION PLAN
4000 FRONT AT NORTH HILLS STREET
RALEIGH, NORTH CAROLINA, 27609

REVISIONS

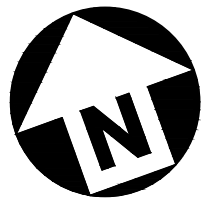
NO.	DATE
-----	------

PLAN INFORMATION

SHEET

SUBDIVISION PLAN

C2.01



GRAPHIC SCALE

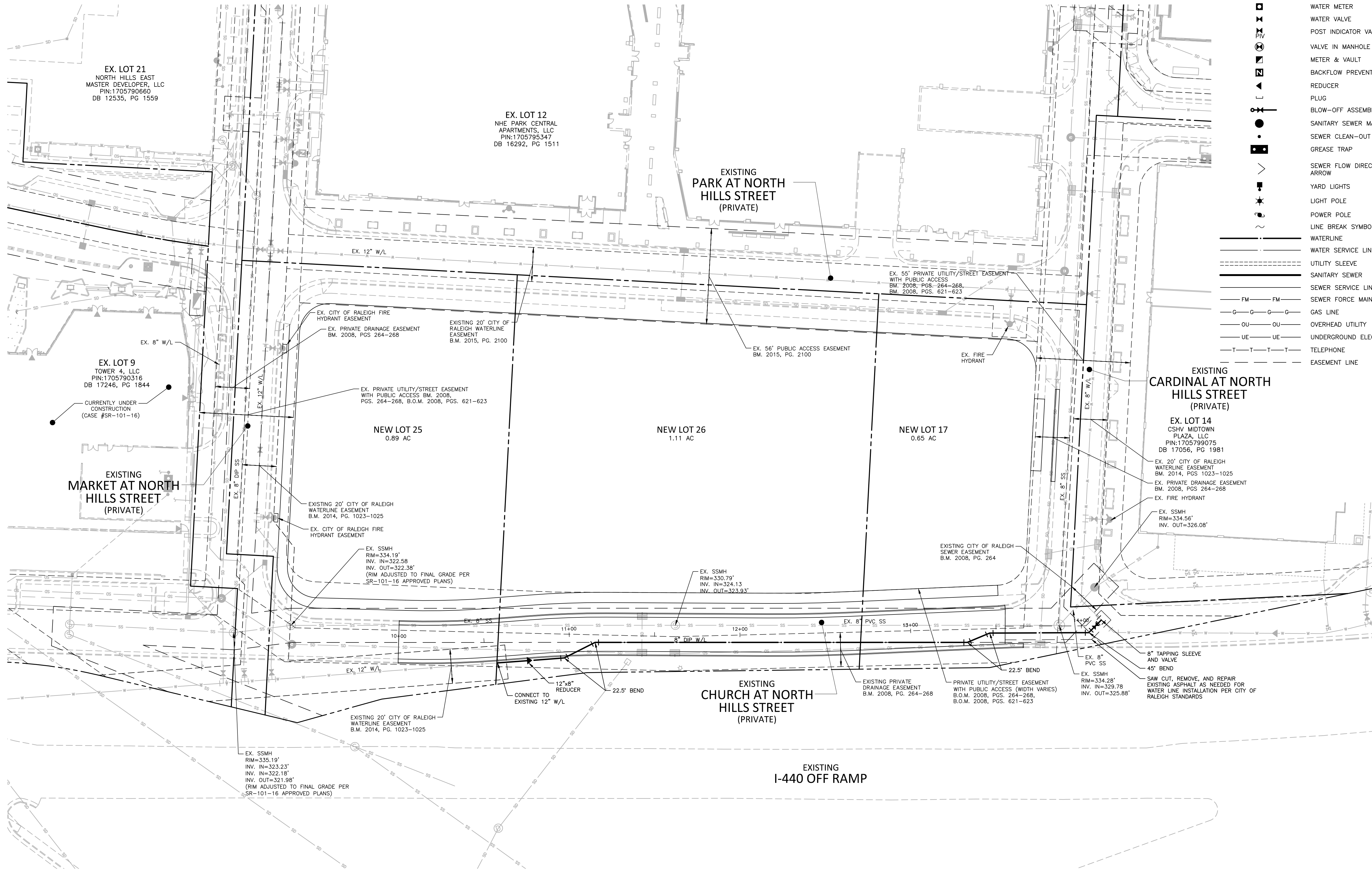


1 inch = 30 ft.

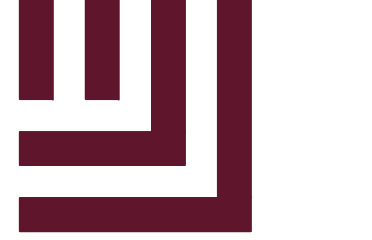
SEE SHEET C0.01 FOR ALL PROJECT NOTES.

ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST
VERSION OF THE CITY OF RALEIGH AND NCDOT STANDARDS,
SPECIFICATIONS AND DETAILS.

FINAL DRAWING - NOT RELEASED FOR CONSTRUCTION



UTILITY LEGEND	
	FIRE HYDRANT ASSEMBLY
	FIRE DEPARTMENT CONNECTION (FDC)
	WATER METER
	POST INDICATOR VALVE
	VALVE IN MANHOLE
	METER & VAULT
	BACKFLOW PREVENTER
	REDUCER
	PLUG
	BLOW-OFF ASSEMBLY
	SANITARY SEWER MANHOLE
	SEWER CLEAN-OUT
	GREASE TRAP
	SEWER FLOW DIRECTION ARROW
	YARD LIGHTS
	LIGHT POLE
	POWER POLE
	LINE BREAK SYMBOL
	WATERLINE
	WATER SERVICE LINE
	UTILITY SLEEVE
	SANITARY SEWER
	SEWER SERVICE LINE
	SEWER FORCE MAIN
	GAS LINE
	OVERHEAD UTILITY
	UNDERGROUND ELECTRIC
	TELEPHONE
	EASEMENT LINE



McADAMS

The John R. McAdams Company, Inc.
2905 Meridian Parkway
Durham, NC 27713

phone 919. 361. 5000
fax 919. 361. 2269
license number: C-0293

www.mcadamsco.com

CLIENT

KANE REALTY CORPORATION
4321 LASSITER AT NORTH HILLS AVENUE
SUITE 250
RALEIGH, NORTH CAROLINA 27609



NORTH HILLS EAST LOT 17
PRELIMINARY SUBDIVISION PLAN
4000 FRONT AT NORTH HILLS STREET
RALEIGH, NORTH CAROLINA, 27609

REVISIONS

NO. DATE

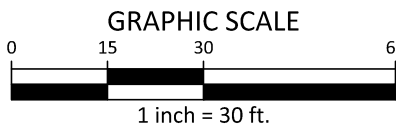
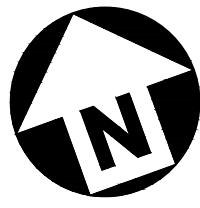
PLAN INFORMATION

PROJECT NO. KAN-19030
FILENAME KAN19030-PRE SUB-U1
CHECKED BY AP
DRAWN BY CGH
SCALE 1"=30'
DATE 11. 19. 2019

SHEET

UTILITY PLAN

C4.00

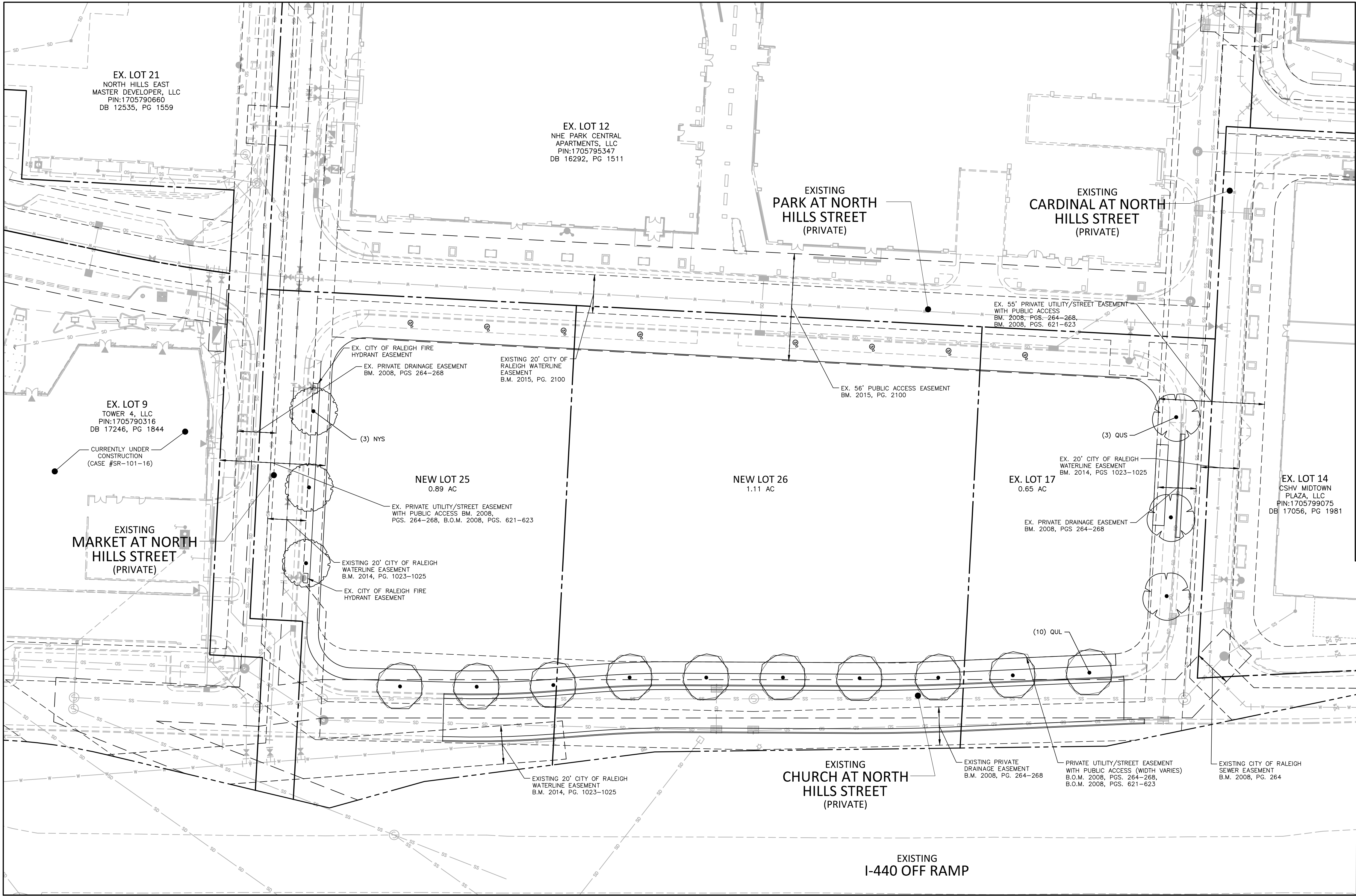


SEE SHEET C0.01 FOR ALL PROJECT NOTES.

ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST
VERSION OF THE CITY OF RALEIGH AND NCDOT STANDARDS,
SPECIFICATIONS AND DETAILS.

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

X:\Projects\NAN\KAN-19030\Land\Construction Drawings\KANSUBD-Preliminary Sub-LS1.dwg, 11/18/2019 1:46:02 PM, Vmparam, Michael



PLANT SCHEDULE

TREES	CODE	QTY	COMMON NAME	BOTANICAL NAME	CAL	HEIGHT
	NYS	3	Sour Gum	Nyssa sylvatica 'Black Tupelo'	3" min	10' min
	QUL	10	Overcup Oak	Quercus lyrata	3" min	10' min
	QUS	3	Shumard Red Oak	Quercus shumardii	3" min	10' min

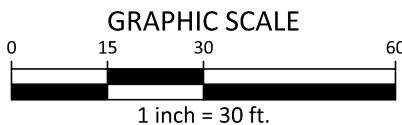
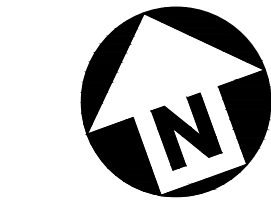
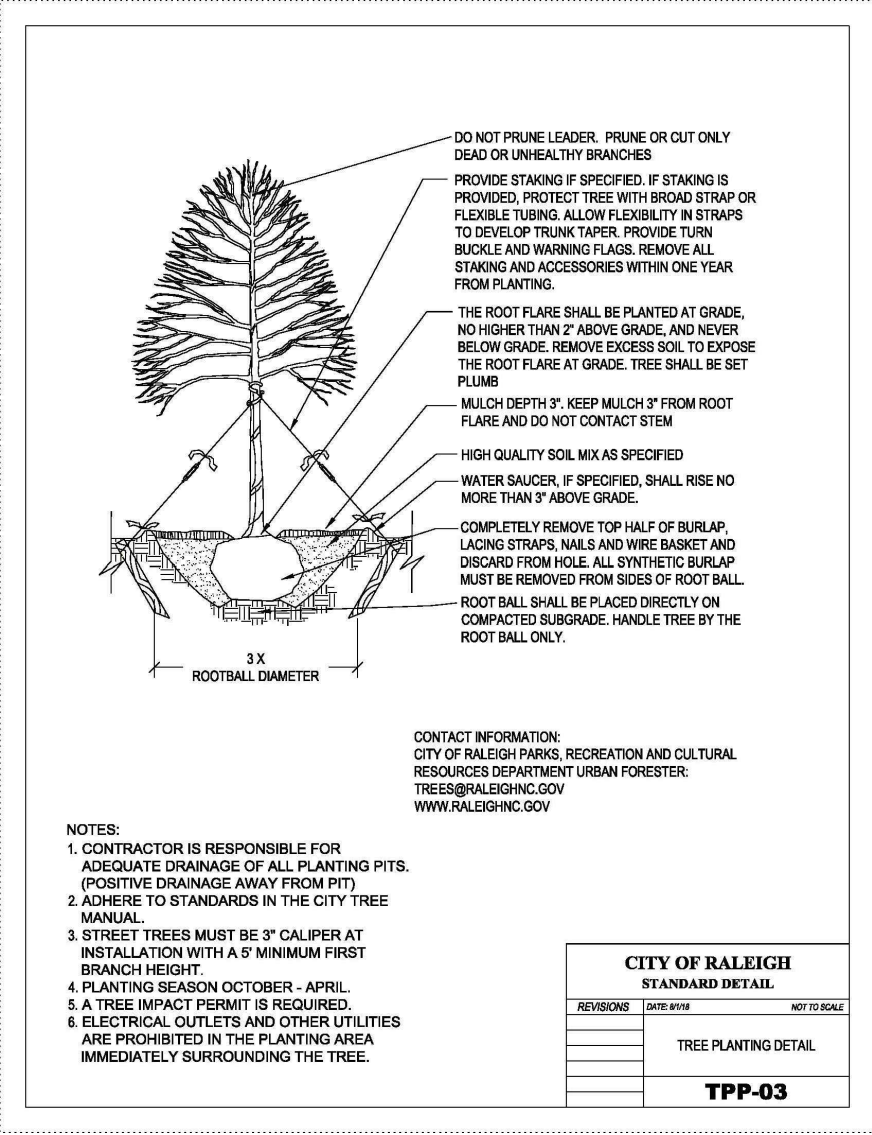
LANDSCAPE CALCULATIONS:

STREET TREES (PRIVATE ROADS)

PARK AT NORTH HILLS STREET:	400 LF
PROPOSED STREET TREES:	8 EXISTING TREES
CARDINAL AT NORTH HILLS STREET:	125 LF
PROPOSED STREET TREES:	3 TREES
CHURCH AT NORTH HILLS STREET:	400 LF
PROPOSED STREET TREES:	10 TREES
MARKET AT NORTH HILLS STREET:	140 LF
PROPOSED STREET TREES:	3 TREES

NOTES:

- STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY TREE MANUAL.
- STREET TREES SHALL BE LOCATED NO CLOSER THAN 30' FROM STOP SIGNS, 10' ON EITHER SIDE OF UTILITY PIPES, 10' FROM DRIVEWAY AND 20' FROM ANY LIGHT POLES. SEE RALEIGH CITY TREE MANUAL FOR ADDITIONAL MINIMUM SEPARATIONS FROM SITE ELEMENTS TO STREET TREES.
- CONTRACTOR SHALL REPLACE ANY EXISTING STREET TREE WHICH IS DAMAGED OR DESTROYED DURING CONSTRUCTION WITH AN EQUAL SPECIES AND SIZE TO BE APPROVED BY LANDSCAPE ARCHITECT AND/OR GOVERNING AGENCY.
- ALL EXISTING STREET TREES AND THEIR CRITICAL ROOT ZONES SHALL BE PROTECTED TO THE MAXIMUM EXTENT POSSIBLE THROUGHOUT CONSTRUCTION.

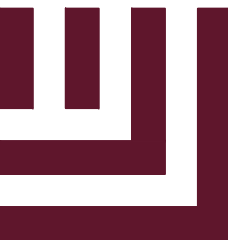


SEE SHEET CO.01 FOR ALL PROJECT NOTES.

ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST VERSION OF THE CITY OF RALEIGH AND NCDOT STANDARDS, SPECIFICATIONS AND DETAILS.

LANDSCAPE NOTES

- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
- CONTRACTOR IS RESPONSIBLE FOR THE SITE INSPECTION BEFORE LANDSCAPE CONSTRUCTION AND INSTALLATION IN ORDER TO BECOME FAMILIAR WITH THE EXISTING CONDITIONS.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES BEFORE BEGINNING DEMOLITION OR INSTALLATION.
- CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE NOTES, SPECIFICATIONS, DRAWINGS OR SITE CONDITIONS FOR RESOLUTION PRIOR TO INSTALLATION.
- ANY DAMAGE TO UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- THIS PLAN IS FOR PLANTING PURPOSES ONLY. FOR INFORMATION REGARDING BUILDINGS, GRADING, WALLS, ETC., REFER TO ARCHITECTURE, SITE AND GRADING PLANS.
- VERIFICATION OF TOTAL PLANT QUANTITIES AS SHOWN IN THE PLANT SCHEDULE SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
- CONTRACTOR TO ENSURE PROPER STABILIZATION AND SEEDING OF THE SITE IN ACCORDANCE WITH APPLICABLE REGULATIONS.
- LANDSCAPE MATERIAL SHALL BE WELL FORMED, VIGOROUS, GROWING SPECIMENS WITH GROWTH TYPICAL OF VARIETIES SPECIFIED AND SHALL BE FREE FROM DAMAGE, INSECTS AND DISEASES. MATERIAL SHALL EQUAL OR SURPASS #1 QUALITY AS DEFINED IN THE CURRENT ISSUE OF "AMERICAN STANDARD FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
- ALL PLANT MATERIAL IS TO BE CAREFULLY HANDLED BY THE ROOT BALL, NOT THE TRUNK, BRANCHES AND/OR FOLIAGE OF THE PLANT. MISHANDLED PLANT MATERIAL MAY BE REJECTED BY THE LANDSCAPE ARCHITECT.
- ALL PLANT MATERIAL IS TO BE WELL ROOTED, NOT ROOT BOUND, SUCH THAT THE ROOT BALL REMAINS INTACT THROUGHOUT THE PLANTING PROCESS. DEFICIENT PLANT MATERIAL MAY BE REJECTED BY THE LANDSCAPE ARCHITECT OR OWNER.
- ALL PLANTS TO BE A MINIMUM OF WHAT IS SPECIFIED IN THE PLANT SCHEDULE. ANY CHANGES OR SUBSTITUTIONS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT AND GOVERNING JURISDICTION PRIOR TO ANY HOLE BEING DUG.
- CONTRACTOR TO COORDINATE WITH OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT TO ESTABLISH THE EXTENTS OF MULCH/SEED/SOD IF NOT SPECIFICALLY SHOWN ON PLANS.
- CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE IN ALL PLANTING AREAS.
- PROPOSED TREES TO BE PLANTED A MINIMUM 10 FEET FROM ANY LIGHT POLE AS MEASURED FROM TRUNK OF THE TREE TO THE POLE.
- PROPOSED TREES TO BE PLANTED A MINIMUM 5 FEET FROM ANY FIRE HYDRANT AS MEASURED FROM TRUNK OF THE TREE TO THE HYDRANT.
- CONTRACTOR SHALL COMPLETE SOIL TEST IN ALL PLANTING AREAS TO DETERMINE SOIL AMENDMENT REQUIREMENTS UNLESS WAIVED BY OWNER'S REPRESENTATIVE. CONTRACTOR SHALL ADJUST PH AND FERTILITY BASED UPON THE SOIL TEST RESULTS.
- TOPSOIL SHALL BE FREE OF MATERIAL LARGER THAN 1.0 INCH IN DIAMETER OR LENGTH AND SHALL NOT CONTAIN SLAG, CINDERS, STONES, LUMPS OF SOIL, STICKS, ROOTS, TRASH, OR OTHER EXTRANEANEOUS MATERIAL.
- LOOSEN SUBGRADE / SURFACE SOIL TO A MINIMUM DEPTH OF 6 INCHES. APPLY SOIL AMENDMENTS AND FERTILIZERS AS REQUIRED BY THE SOIL TEST RESULTS TO ACHIEVE A HEALTHY GROWING MEDIA AND MIX THOROUGHLY INTO TOP 4 INCHES OF SOIL. SPREAD PLANTING SOIL MIX TO A DEPTH OF 6 INCHES BUT NOT LESS THAN REQUIRED TO MEET FINISH GRADES AFTER NATURAL SETTLEMENT. DO NOT SPREAD IF PLANTING SOIL OR SUBGRADE IS FROZEN, MUDDY, OR EXCESSIVELY WET.
- IF IMPORTED TOPSOIL IS REQUIRED, THE SUBGRADE SHALL BE SCARIFIED OR TILLED TO A DEPTH OF AT LEAST 6 INCHES PRIOR TO INSTALLATION OF IMPORTED TOPSOIL. FOLLOWING INSTALLATION OF IMPORTED TOPSOIL, THE TOPSOIL SHALL BE TILLED TO INTEGRATE THE SOIL PROFILES.
- PLANT MATERIALS ARE TO BE GUARANTEED FOR A PERIOD OF 12 MONTHS. PLANT MATERIALS WHICH REMAIN UNHEALTHY WILL BE REPLACED BY THE LANDSCAPE CONTRACTOR BEFORE THE EXPIRATION OF THE GUARANTEE PERIOD OR IMMEDIATELY IF SO DIRECTED BY THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT.
- ALL TREE PLANTINGS SHALL BE MULCHED TO A DEPTH OF 3 INCHES, AND WITH A MINIMUM 3 FOOT RADIUS FROM BASE OF TREE OR TO DRIFLINE. MULCH SHALL BE FREE OF TRASH AND MAINTAINED WEED FREE. MULCH SHALL NOT COVER THE ROOT FLARE. CONFIRM MULCH SPECIFICATIONS WITH OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT.
- DO NOT PRUNE TREES AND SHRUBS BEFORE DELIVERY. PROTECT BARK, BRANCHES, AND ROOT SYSTEMS FROM SUN SCALD, DRYING, SWEATING, WHIPPING, AND OTHER HANDLING AND TYING DAMAGE. DO NOT BEND OR BIND THE TREES OR SHRUBS IN SUCH A MANNER AS TO DESTROY THEIR NATURAL SHAPE. PROVIDE PROTECTIVE COVERING OF EXTERIOR PLANTS DURING DELIVERY. DO NOT DROP EXTERIOR PLANTS DURING DELIVERY AND HANDLING.
- DELIVER EXTERIOR PLANTS AFTER PREPARATIONS FOR PLANTING HAVE BEEN COMPLETED AND INSTALL IMMEDIATELY AFTER UNLOADING. STAND THE TREES UP TO REDUCE THE RISK OF SUN SCALD. PROPERLY STAGED TREES ARE STANDING, UNTIED AND SPACED. UNLESS IMMEDIATELY INSTALLED, SET EXTERIOR PLANTS AND TREES IN SHADE. PROTECT FROM WEATHER AND MECHANICAL DAMAGE, AND KEEP ROOTS MOIST.
- SEE LANDSCAPE DETAILS FOR TREE STAKING REQUIREMENTS.
- CONTRACTOR SHALL REMOVE DEBRIS AND FINE GRADE ALL PLANTING AREAS PRIOR TO INSTALLATION.
- REMOVE GUY WIRES AND STAKES AT END OF WARRANTY PERIOD OR ESTABLISHMENT.
- FINISH GRADING: GRADE PLANTING AREAS TO A SMOOTH, UNIFORM SURFACE PLANE WITH LOOSE, UNIFORMLY FINE TEXTURE. GRADE TO WITHIN PLUS OR MINUS 1/2 INCH OF FINISH ELEVATION. ROLL AND RAKE, REMOVE RIDGES, AND FILL DEPRESSIONS TO MEET FINISH GRADES. LIMIT FINISHED GRADING TO AREAS THAT CAN BE PLANTED IN THE IMMEDIATE FUTURE.



McADAMS

The John R. McAdams Company, Inc.
2905 Meridian Parkway
Durham, NC 27713

phone 919. 361. 5000
fax 919. 361. 2269
license number: C-0293

www.mcadamsco.com

CLIENT

KANE REALTY CORPORATION
4321 LASSITER AT NORTH HILLS AVENUE
SUITE 250
RALEIGH, NORTH CAROLINA 27609



NORTH HILLS EAST LOT 17
PRELIMINARY SUBDIVISION PLAN
4000 FRONT AT NORTH HILLS STREET
RALEIGH, NORTH CAROLINA, 27609

REVISIONS

NO.	DATE
-----	------

PLAN INFORMATION

PROJECT NO.	KAN-19030
FILENAME	KAN19030-PRE SUB-LS1
CHECKED BY	AP
DRAWN BY	CGH
SCALE	1"=30'
DATE	11. 19. 2019

SHEET

LANDSCAPE PLAN

C5.00

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION