

Preliminary Subdivision Application

Site Review

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



INSTRUCTIONS: This form is used when submitting a Preliminary Subdivision (UDO Section 10.2.5). Please check the appropriate review type and include the plan checklist document. Please email all documents and your preliminary subdivision plans to SiteReview@raleighnc.gov.

DEVELOPMENT OPTIONS (UDO Chapter 2)		
<input type="checkbox"/> Conventional Subdivision	<input type="checkbox"/> Compact Development	<input type="checkbox"/> Conservation Development
<input type="checkbox"/> Cottage Court	<input type="checkbox"/> Flag lot	<input type="checkbox"/> Frequent Transit Development Option

NOTE: Subdivisions may require City Council approval if located in a Historic Overlay District.

GENERAL INFORMATION				
Scoping/sketch plan case number(s):				
Development name (subject to approval):				
Property Address(es):				
Recorded Deed PIN(s):				
Building type(s):	<input type="checkbox"/> Detached House	<input type="checkbox"/> Attached House	<input type="checkbox"/> Townhouse	<input type="checkbox"/> Apartment
<input type="checkbox"/> General Building	<input type="checkbox"/> Mixed Use Building	<input type="checkbox"/> Civic Building	<input type="checkbox"/> Open Lot	<input type="checkbox"/> Tiny House

CURRENT PROPERTY OWNER/APPLICANT/DEVELOPER INFORMATION

Current Property Owner(s) Names:	
Company:	Title:
Address:	
Phone #:	Email:
Applicant Name (If different from owner. See "who can apply" in instructions):	
Relationship to owner: <input type="checkbox"/> Lessee or contract purchaser <input type="checkbox"/> Owner's authorized agent <input type="checkbox"/> Easement holder	
Company:	Address:
Phone #:	Email:

NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.

Developer Contact Names:	
Company:	Title:
Address:	
Phone #:	Email:

DEVELOPMENT TYPE + SITE DATE TABLE – ZONING INFORMATION

Gross site acreage:			
Zoning districts (if more than one, provide acreage of each):			
Overlay district(s):	Inside City Limits?	<input type="checkbox"/> Yes <input type="checkbox"/> No	Historic District/Landmark: N/A <input type="checkbox"/>
Conditional Use District (CUD) Case # Z-	Board of Adjustment Case # BOA-	Design Alternate Case # DA-	

STORMWATER INFORMATION

Imperious Area on Parcel(s): Existing (sf) _____ Proposed total (sf) _____	Impervious Area for Compliance (includes right-of-way): Existing (sf) _____ Proposed total (sf) _____
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NUMBER OF LOTS AND DENSITY

# of Detached House Lots:	# of Attached House Lots:	# of Townhouse Lots:
# of Tiny House Lots:	# of Open Lots:	# of Other Lots (Apartment, General, Mixed Use, Civic):
Total # of Lots:	Total # Dwelling Units:	
# of bedroom units (if known): 1br _____ 2br _____ 3br _____ 4br _____		
Proposed density for each zoning district (UDO 1.5.2.F):		

APPLICANT SIGNATURE BLOCK

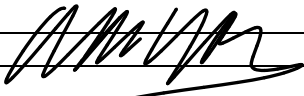
Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

Acting as an authorized agent requires written permission from the property owner for the purposes of making this development approval and/or permit application. Written permission from the property owner to act as an authorized agent must be made available to the City of Raleigh upon request.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that development approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b1)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued, and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

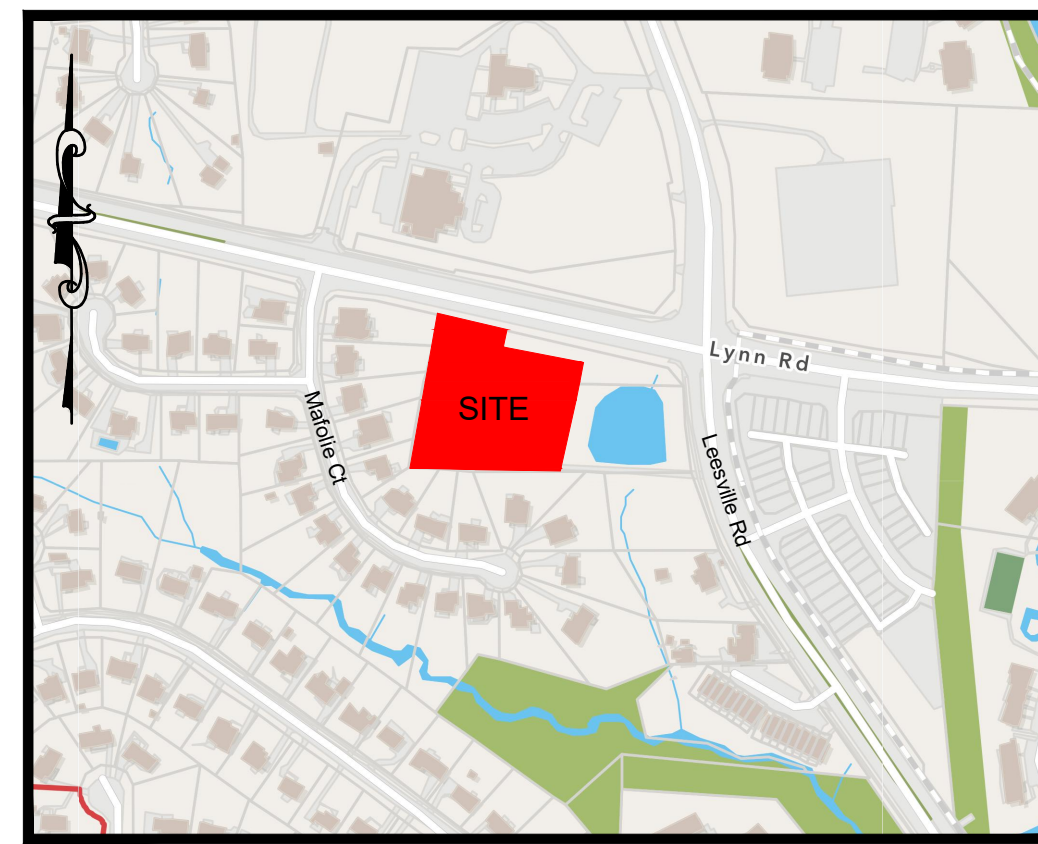
Signature: 	Date:
Printed Name:	
Signature: _____	Date:
Printed Name:	

TOWNES ON LYNN

PRELIMINARY SUBDIVISION

SUB-XXXX-2024

RALEIGH, NORTH CAROLINA



VICINITY MAP
1" = 400'

DECEMBER 12, 2024

SITE DATA	
PROPERTY OWNER/DEVELOPER:	REDEEMING DEVELOPMENT GROUP, LLC 618 CUMBERLAND STREET RALEIGH, NC 27610
SITE ADDRESS:	3301 LYNN ROAD
GROSS SITE AREA:	1.99 AC/86,879 SF
RIGHT-OF-WAY DEDICATION:	0.03 AC/1,264 SF
NET SITE AREA:	1.97 AC/85,615 SF
WAKE COUNTY PIN #:	0787821422
ZONING DISTRICT:	R-10
EXISTING USE:	SINGLE FAMILY DETACHED
PROPOSED USE:	TOWNHOME BUILDING TYPE
STREET CLASSIFICATION:	LYNN ROAD - AVENUE 4-LANE DIVIDED
EXISTING STREETScape:	LYNN ROAD 13.1' - 14.8' TREE LAWN NO SIDEWALK
PROPOSED STREETScape:	LYNN ROAD ~22.5' TREE LAWN NO SIDEWALK/BIKE LANE* *FEE-IN-LIEU FOR PORTIONS NOT CONSTRUCTED
PROVIDED PARKING:	3 SPACES INCLUDING 1 VAN HANDICAP ACCESSIBLE SPACES
AMENITY AREA REQUIRED:	TOTAL: 8,688 SF (10%) PEDESTRIAN ACCESSIBLE AMENITY AREA: 4,344 SF (5%)
PROVIDED:	TOTAL: 14,426 SF (16.6%) PEDESTRIAN ACCESSIBLE AMENITY AREA: 9,085 SF (10.5%)

UDO SEC. 8.3.5.D.5.B.i CROSS ACCESS
IN ACCORDANCE WITH UDO 8.3.5.D CROSS ACCESS REQUIREMENTS ARE NOT APPLICABLE TO THE PROPOSED DEVELOPMENT DUE TO THE PRESENCE OF EXISTING DETACHED BUILDING TYPE TO THE WEST AND SOUTH AND STEEP SLOPES THAT EXCEED 25% TO THE EAST.

UDO SEC. 8.3.2.A.B. BLOCK PERIMETER
THE SITE TO BE DEVELOPED IS BELOW THE MINIMUM APPLICABLE SITE AREA OF 3 ACRES FOR R-10 ZONING.

DEVELOPER:
REDEEMING DEVELOPMENT GROUP, LLC
618 Cumberland Street
Raleigh, NC 27610
919-210-0079
chris@rdgnc.com

CIVIL ENGINEER:
RDU
CONSULTING, PLLC
NC LICENSE P-2425
PHONE: 252-908-5722
EMAIL: LEWIS@RDUCONSULTING.COM
910 TRYON HILL DRIVE #100
RALEIGH, NC 27603

ATTENTION CONTRACTORS:
The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the PUBLIC WORKS DEPARTMENT at (919) 996-2409 and the PUBLIC UTILITIES DEPARTMENT at (919) 996-4540 at least twenty-four hours prior to beginning any of their construction.
FAILURE to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.
FAILURE to call for Inspection, Install a Downstream Plug, have Permitted Plans on the jobsite, or any other Violation of CITY OF RALEIGH STANDARDS will result in a Fine and Possible Exclusion from future work in the CITY OF RALEIGH.

HORIZONTAL DATUM: NAD83
VERTICAL DATUM: NAVD88
ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS.

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<input checked="" type="checkbox"/> Conventional Subdivision	<input type="checkbox"/> Compact Development <input type="checkbox"/> Conservation Development
<input type="checkbox"/> Cottage Court	<input type="checkbox"/> Flag lot <input type="checkbox"/> Frequent Transit Development Option
<i>NOTE: Subdivisions may require City Council approval if located in a Historic Overlay District.</i>	
GENERAL INFORMATION	
Scoping/sketch plan case number(s): N/A	
Development name (subject to approval): Townes on Lynn	
Property Address(es): 3301 Lynn Road	
Recorded Deed PIN(s): 0787821422	
Building type(s): <input type="checkbox"/> Detached House <input type="checkbox"/> Attached House <input checked="" type="checkbox"/> Townhouse <input type="checkbox"/> Apartment	
<input type="checkbox"/> General Building <input type="checkbox"/> Mixed Use Building <input type="checkbox"/> Civic Building <input type="checkbox"/> Open Lot <input type="checkbox"/> Tiny House	
CURRENT PROPERTY OWNER/APPLICANT/DEVELOPER INFORMATION	
Current Property Owner(s) Names: Karl G. & Pauline H. Hoffman	
Company: N/A	Title: Owner
Address: 7009 Leasville Road, Raleigh, NC 27613	
Phone #:	Email:
Applicant Name (if different from owner. See "who can apply" in instructions): Redeeming Development Group	
Relationship to owner: <input checked="" type="checkbox"/> Lessee or contract purchaser <input type="checkbox"/> Owner's authorized agent <input type="checkbox"/> Easement holder	
Company: Redeeming Development Group Address: 618 Cumberland Street, Raleigh, NC 27610	
Phone #: 919-210-0079	Email: chris@rdgnc.com
NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.	
Developer Contact Names: Chris Hodges	
Company: Redeeming Development Group, LLC	Title: Registered Agent
Address: 618 Cumberland Street, Raleigh, NC 27610	
Phone #: 919-210-0079	Email: chris@rdgnc.com

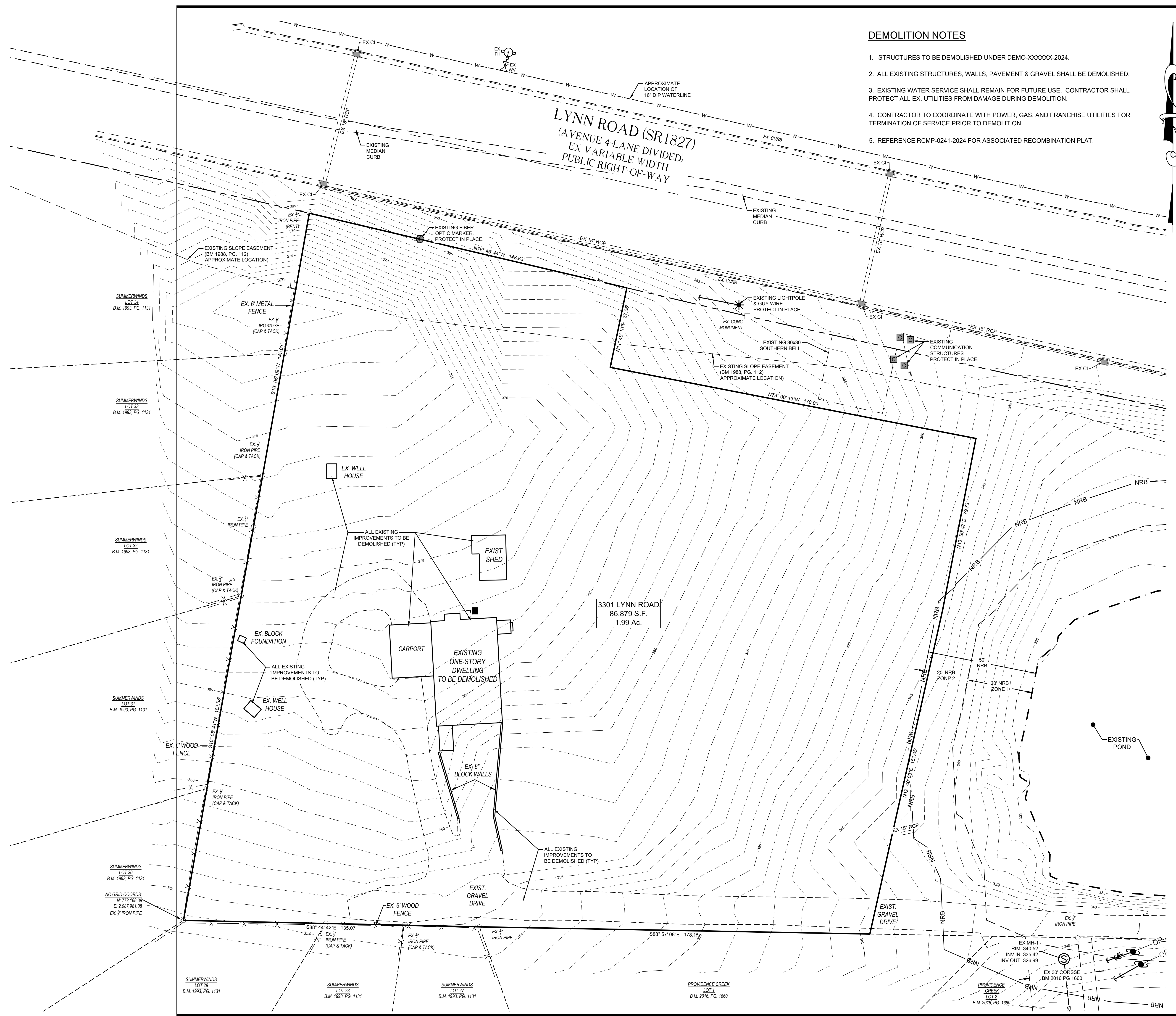
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Gross site acreage: 1.99 AC			
Zoning districts (if more than one, provide acreage of each): R-10			
Overlay district(s): N/A	Inside City Limits? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Historic District/Landmark: N/A	<input checked="" type="checkbox"/>
Conditional Use District (CUD) Case # Z-	Board of Adjustment Case # BOA-	Design Alternate Case # DA-	

STORMWATER INFORMATION		
Impervious Area on Parcel(s): Existing (sf) 10934	Proposed total (sf) 56209	Impervious Area for Compliance (includes right-of-way): Existing (sf) 10934 Proposed total (sf) 58223
NUMBER OF LOTS AND DENSITY		
# of Detached House Lots: N/A	# of Attached House Lots: N/A	# of Townhouse Lots: 24
# of Tiny House Lots: N/A	# of Open Lots: 1	# of Other Lots (Apartment, General, Mixed Use, Civic): N/A
Total # of Lots: 25	Total # Dwelling Units: 24	
# of bedroom units (if known): 1br 2br 3br ²⁴ 4br		
Proposed density for each zoning district (UDO 1.5.2.F): 85,615 SF (NET) / 24 Units = 3,567 SF/Unit		

APPLICANT SIGNATURE BLOCK
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Signature: Date: 12/04/2024
Printed Name: Christopher Hodges
Signature: _____ Date: _____
Printed Name: _____

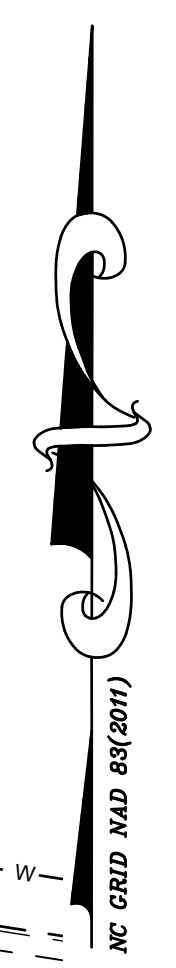
INDEX

CE-1.0	EXISTING CONDITIONS AND DEMOLITION PLAN
CE-2.0	SUBDIVISION PLAN
CE-3.0	SITE LAYOUT PLAN
CE-4.0	UTILITY PLAN
CE-5.0	GRADING & DRAINAGE PLAN
CE-5.1	STORMWATER MANAGEMENT PLAN
LA-1	LANDSCAPE PLAN



DEMOLITION NOTES

- STRUCTURES TO BE DEMOLISHED UNDER DEMO-XXXXXX-2024.
- ALL EXISTING STRUCTURES, WALLS, PAVEMENT & GRAVEL SHALL BE DEMOLISHED.
- EXISTING WATER SERVICE SHALL REMAIN FOR FUTURE USE. CONTRACTOR SHALL PROTECT ALL EX. UTILITIES FROM DAMAGE DURING DEMOLITION.
- CONTRACTOR TO COORDINATE WITH POWER, GAS, AND FRANCHISE UTILITIES FOR TERMINATION OF SERVICE PRIOR TO DEMOLITION.
- REFERENCE RCMP-0241-2024 FOR ASSOCIATED RECOMBINATION PLAT.



RDU
CONSULTING, PLLC

NC LICENSE P-2425
PHONE: 252-908-5722
EMAIL: LEWIS@RDUCONSULTING.COM
910 TRYON HILL DRIVE #100
RALEIGH, NC 27603

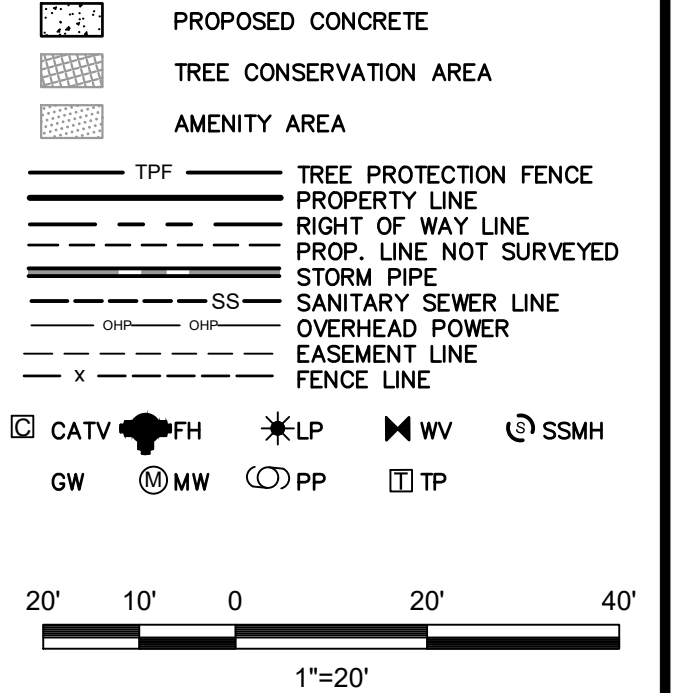
Client
REDEEMING DEVELOPMENT GROUP, LLC
618 CUMBERLAND STREET
RALEIGH, NC 27610

Project
TOWNES ON LYNN (SUB-XXXX-2024)

Process
PRELIMINARY SUBDIVISION

LEGEND

BM	BOOK OF MAPS
DB	DEED BOOK
PG	PAGE
R/W	RIGHT OF WAY
EIP	EXISTING IRON PIPE
IPS	IRON PIPE SET
SS	SANITARY SEWER
CO	SANITARY SEWER CLEAN OUT
MH	MANHOLE
WV	WATER VALVE
HP PP	HIGH PERFORMANCE POLYPROPYLENE REINFORCED CONCRETE STORM PIPE
RCP	REINFORCED CONCRETE STORM PIPE
CONC	CONCRETE
MH	MANHOLE
WM	WATER METER
LP	LIGHT POLE
CATV	CABLE PEDESTAL
TP	TELEPHONE PEDESTAL
FH	FIRE HYDRANT
CB	CATCH BASIN
PP	POWER POLE
DI	DROP INLET



Revisions

Number	Description	Date

Drawing Title
EXISTING CONDITIONS

Sheet Number
CE-1.0

Date Issued 12/12/2024

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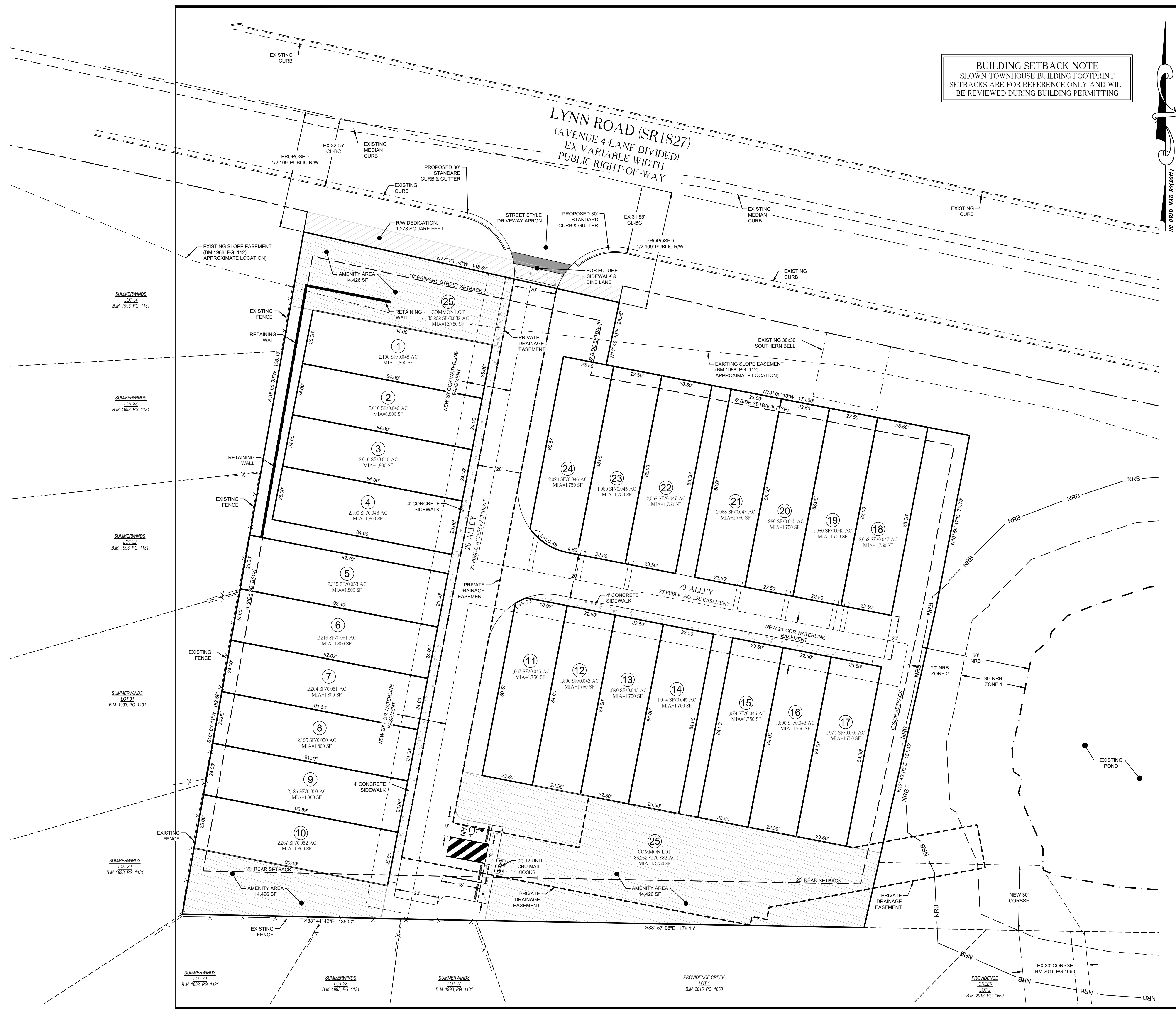
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20' 10' 0 20' 40'

1"=20'

Number	Description	Date

BUILDING SETBACK NOTE
 SHOWN TOWNHOUSE BUILDING FOOTPRINT
 SETBACKS ARE FOR REFERENCE ONLY AND WILL
 BE REVIEWED DURING BUILDING PERMITTING



LEGEND

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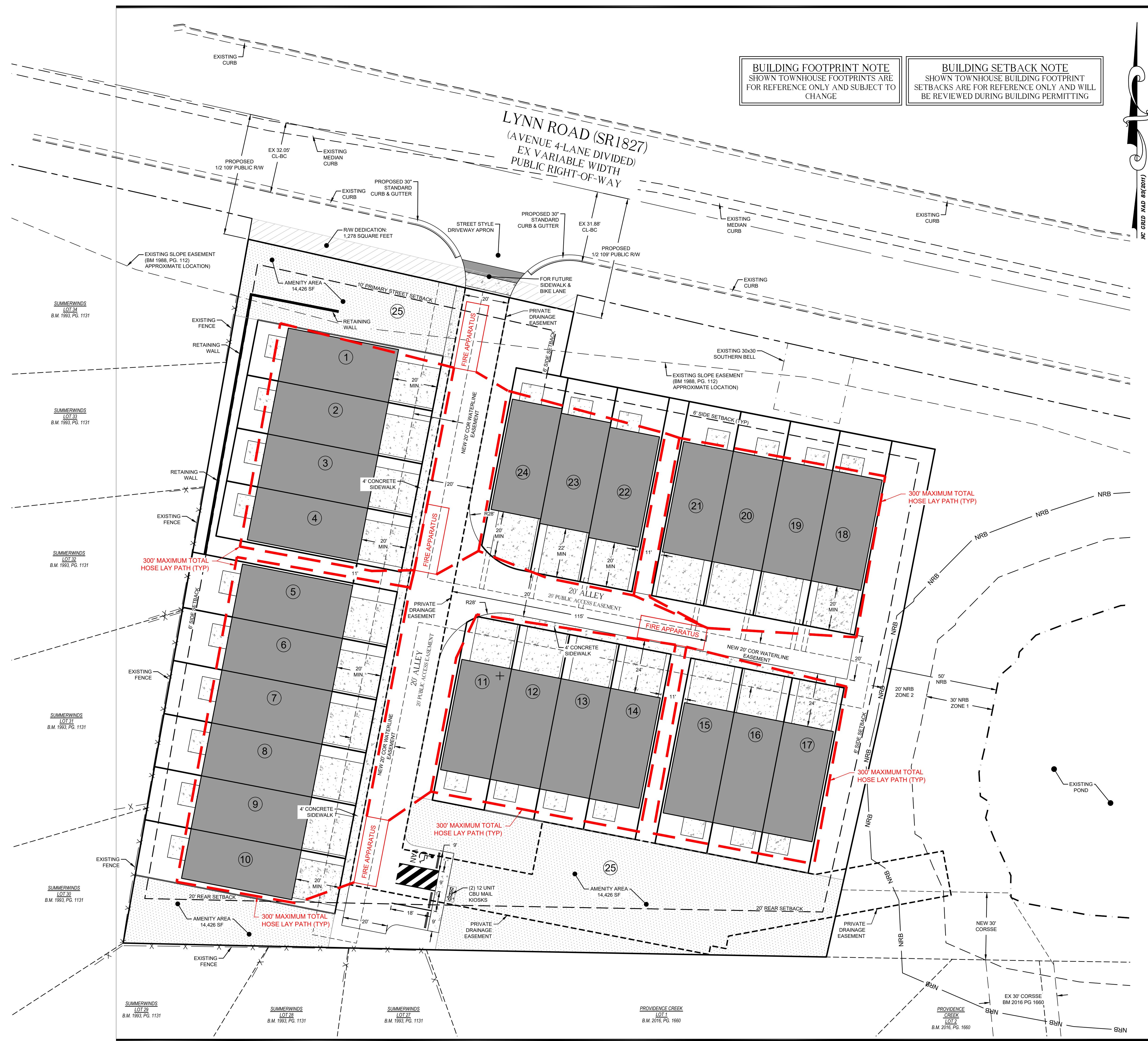
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20' 10' 0 20' 40'
 1"=20'

Revisions

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BUILDING FOOTPRINT NOTE
 SHOWN TOWNHOUSE FOOTPRINTS ARE FOR REFERENCE ONLY AND SUBJECT TO CHANGE

BUILDING SETBACK NOTE
 SHOWN TOWNHOUSE BUILDING FOOTPRINT SETBACKS ARE FOR REFERENCE ONLY AND WILL BE REVIEWED DURING BUILDING PERMITTING

NC CRED. N.A.D. 883 (2017)

SUMMERWINDS LOT 34
 B.M. 1993, PG. 1131

SUMMERWINDS LOT 33
 B.M. 1993, PG. 1131

SUMMERWINDS LOT 32
 B.M. 1993, PG. 1131

SUMMERWINDS LOT 31
 B.M. 1993, PG. 1131

SUMMERWINDS LOT 30
 B.M. 1993, PG. 1131

SUMMERWINDS LOT 29
 B.M. 1993, PG. 1131

SUMMERWINDS LOT 28
 B.M. 1993, PG. 1131

SUMMERWINDS LOT 27
 B.M. 1993, PG. 1131

PROVIDENCE CREEK LOT 1
 B.M. 2016, PG. 1660

PROVIDENCE CREEK LOT 2
 B.M. 2016, PG. 1660

EX 30' CORSSSE
 BM 2016 PG 1860

STANDARD UTILITY NOTES:

- All materials & construction methods shall be in accordance with City of Raleigh design standards, details & specifications (reference: CORPUD Handbook, current edition)
- Utility separation requirements:
 - A distance of 100' shall be maintained between sanitary sewer & any private or public water supply source such as an impounded reservoir used as a source of drinking water. If adequate lateral separation cannot be achieved, ferrous sanitary sewer pipe shall be specified & installed to watertight specifications. However, the minimum separation shall not be less than 25' from a private well or 50' from a public well.
 - When installing water &/or sewer mains, the horizontal separation between utilities shall be 10'. If this separation cannot be maintained due to existing conditions, the variation allowed is the water main in a separate trench with the elevation of the water main at least 18" above the top of the sewer & must be approved by the Public Utilities Director. All distances are measured from outside diameter to outside diameter.
 - Where it is impossible to obtain proper separation, or anytime a sanitary sewer passes over a watermain, DIP materials or steel encasement extended 10' on each side of crossing must be specified & installed to watertight specifications.
 - 5.0' minimum horizontal separation is required between all sanitary sewer & storm sewer facilities, unless DIP material is specified for sanitary sewer.
 - Maintain 18" min. vertical separation at all watermain & RCP storm drain crossings. Where adequate separations cannot be achieved, specify DIP materials & a concrete cradle having 6" min. clearance (per CORPUD details W-41 & S-49).
 - All other underground utilities shall cross water & sewer facilities with 18" min. vertical separation required.
- Any necessary field revisions are subject to review & approval of an amended plan &/or profile by the City of Raleigh Public Utilities Department prior to construction.
- Developer shall provide 30 days advance written notice to owner for any work required within an existing City of Raleigh Utility Easement traversing private property.
- Contractor shall maintain continuous water & sewer service to existing residences & businesses throughout construction of project. Any necessary service interruptions shall be preceded by a 24-hour advance notice to the City of Raleigh Public Utilities Department.
- SEWER BYPASS PUMPING - A bypass plan sealed by an NC Professional Engineer shall be provided to Raleigh Water prior to pumping operations for approval. The operations and equipment shall comply with the Public Utilities Handbook.
- 3.0' minimum cover is required on all water mains & sewer force mains. 4.0' minimum cover is required on all reuse mains.
- It is the developer's responsibility to abandon or remove existing water & sewer services not being used in redevelopment of a site unless otherwise directed by the City of Raleigh Public Utilities Department. This includes abandoning tap at main & removal of service from ROW or easement per CORPUD Handbook procedure.
- Install 3" copper* water services with meters located at ROW or within a 2'x2' Waterline Easement immediately adjacent. NOTE: It is the applicant's responsibility to properly size the water service for each connection to provide adequate flow & pressure
- Install 4" PVC* sewer services @ 1.0% minimum grade with cleanouts located at ROW or easement line & spaced every 75 linear feet maximum.
- Pressure reducing valves are required on all water services exceeding 80 psi; backwater valves are required on all sanitary sewer services having building drains lower than 1.0' above the next upstream manhole.
- All environmental permits applicable to the project must be obtained from NCDWQ, USACE &/or FEMA for any riparian buffer, wetland &/or floodplain impacts (respectively) prior to construction.
- NCDOT Railroad Encroachment Agreements are required for any utility work (including main extensions & service taps) within state or railroad ROW prior to construction.
- Grease Interceptor / Oil Water Separator sizing calculations & installation specifications shall be approved by the RW FOG Program Coordinator prior to issuance of a UC and/or Building Permit. Contact (919) 996-4516 or fof@raleighnc.gov for more information.
- Cross-connection control protection devices are required based on the degree of health hazard involved as listed in Appendix B of the Rules Governing Public Water Systems in North Carolina.
- The devices shall meet the American Society of Sanitary Engineering (ASAE) standards and be on the University of Southern California approval list.
- The device and installation shall meet the guidelines of Appendix A - Guidelines and Requirements for the Cross Connection Program in Raleigh's Service Area.
- The devices shall be installed and tested (both, initial and periodic testing thereafter) in accordance with the manufacturer's recommendations or the local cross connection control program, whichever is more stringent. Contact CrossConnection@raleighnc.gov for more information.
- NOTICE for projects that involve an oversized main or urban main replacement. Any City reimbursement greater than \$250,000.00 must undergo the public bidding process.

BUILDING FOOTPRINT NOTE
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CATV FH LP WV SSMH
 GW MW PP TP

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Revisions

Number	Description	Date

Drawing Title
UTILITY PLAN

Sheet Number
CE-4.0

Date Issued 12/12/2024

ATTENTION CONTRACTORS:

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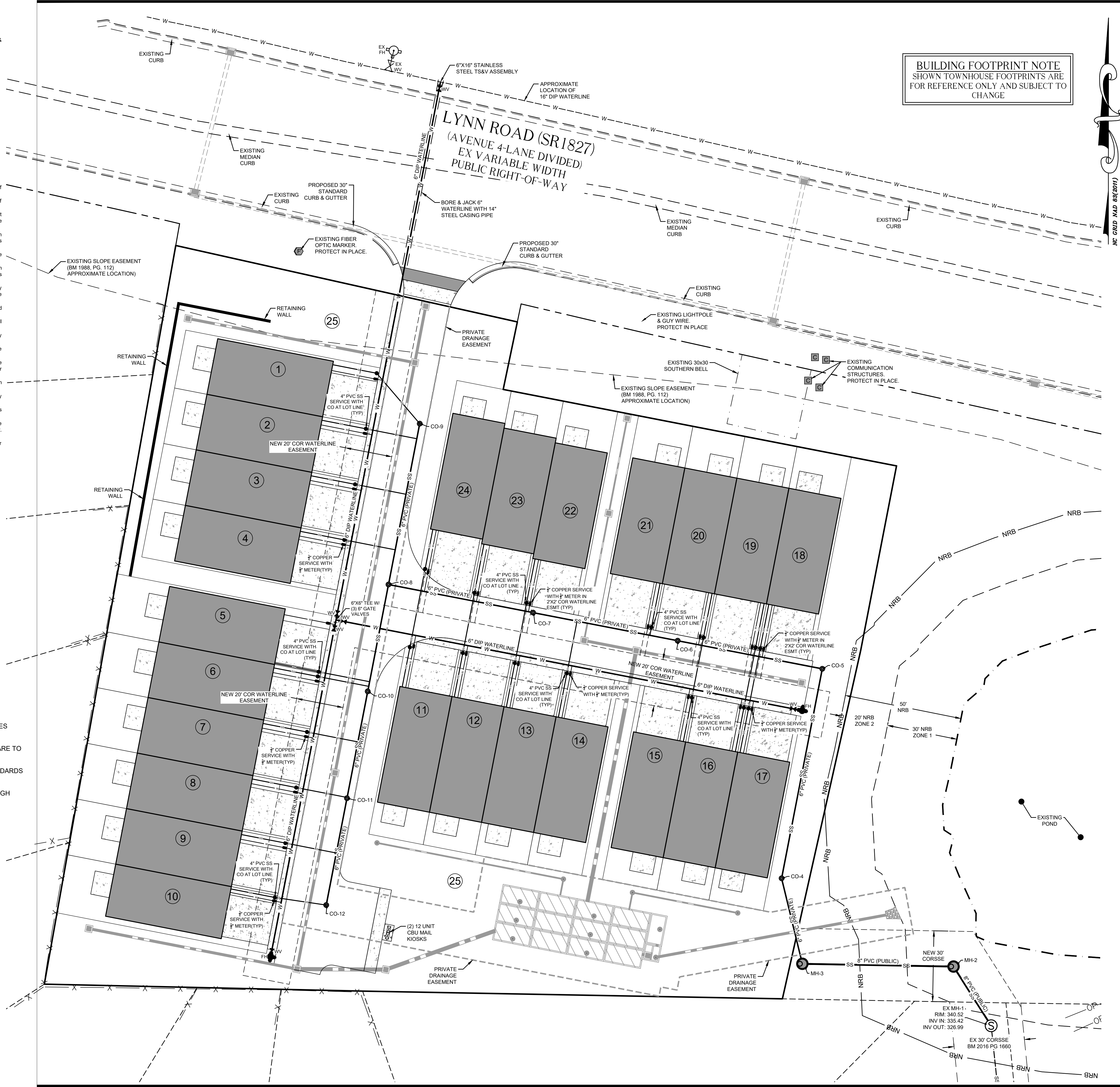
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ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS

GENERAL NOTES

- CONTRACTOR TO FIELD VERIFY LOCATION & ELEVATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- ALL CB RIM ELEVATIONS ARE TO TOP OF CURB. ALL DI AND JB RIM ELEVATIONS ARE TO TOP OF GRATE/LID.
- UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.
- STORM DRAINAGE INSTALLATION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.



GENERAL NOTES

1. CONTRACTOR TO FIELD VERIFY LOCATION & ELEVATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
2. ALL CB RIM ELEVATIONS ARE TO TOP OF CURB. ALL DI AND JB RIM ELEVATIONS ARE TO TOP OF GRATE/LID.
3. UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.
4. STORM DRAINAGE INSTALLATION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.

ATTENTION CONTRACTORS:

The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the PUBLIC WORKS DEPARTMENT at (919) 996-2409 and the PUBLIC UTILITIES DEPARTMENT at (919)996-4540 at least twenty-four hours prior to beginning any of their construction.

FAILURE to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

FAILURE to call for Inspection, Install a Downstream Plug, have Permitted Plans on the jobsite, or any other Violation of CITY OF RALEIGH STANDARDS will result in a Fine and Possible Exclusion from future work in the CITY OF RALEIGH.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS

BUILDING FOOTPRINT NOTE
SHOWN TOWNHOUSE FOOTPRINTS ARE FOR REFERENCE ONLY AND SUBJECT TO CHANGE



RDU
CONSULTING, PLLC

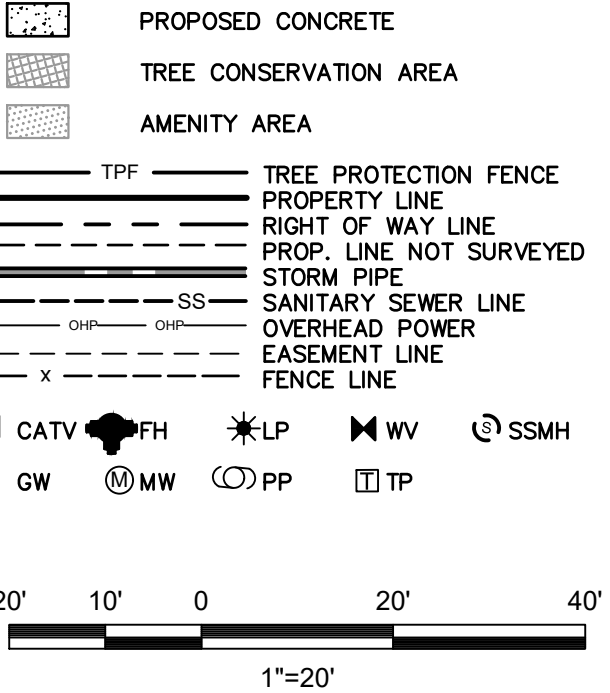
NC LICENSE P-2425
PHONE: 252-908-5722
EMAIL: LEWIS@RDUCONSULTING.COM
910 TRYON HILL DRIVE #100
RALEIGH, NC 27603

DEVELOPMENT GROUP, LLC
618 CUMBERLAND STREET
RALEIGH, NC 27610

Project
TOWNES ON LYNN
(SUB-XXXX-2024)

Process
PRELIMINARY SUBDIVISION

- LEGEND**
- BOOK OF MAPS
 - DEED BOOK
 - PAGE
 - RIGHT OF WAY
 - EXISTING IRON PIPE
 - IRON PIPE SET
 - SANITARY SEWER
 - SANITARY SEWER CLEAN OUT
 - MANHOLE
 - WATER VALVE
 - HIGH PERFORMANCE POLYPROPYLENE
 - REINFORCED CONCRETE STORM PIPE
 - CONCRETE
 - MANHOLE
 - WATER METER
 - FIRE HYDRANT
 - CABLE PEDESTAL
 - TELEPHONE PEDESTAL
 - CATCH BASIN
 - POWER POLE
 - DROP INLET



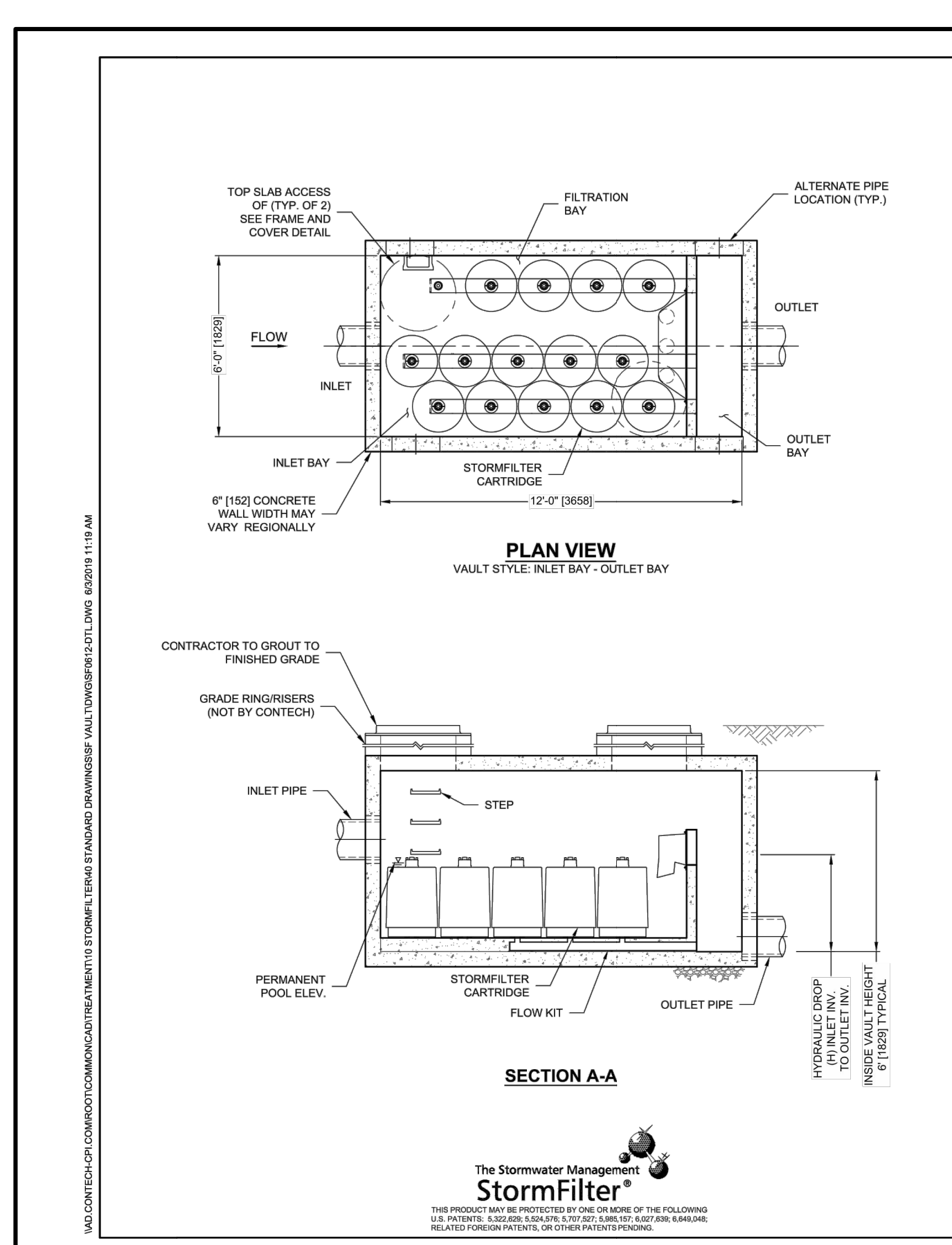
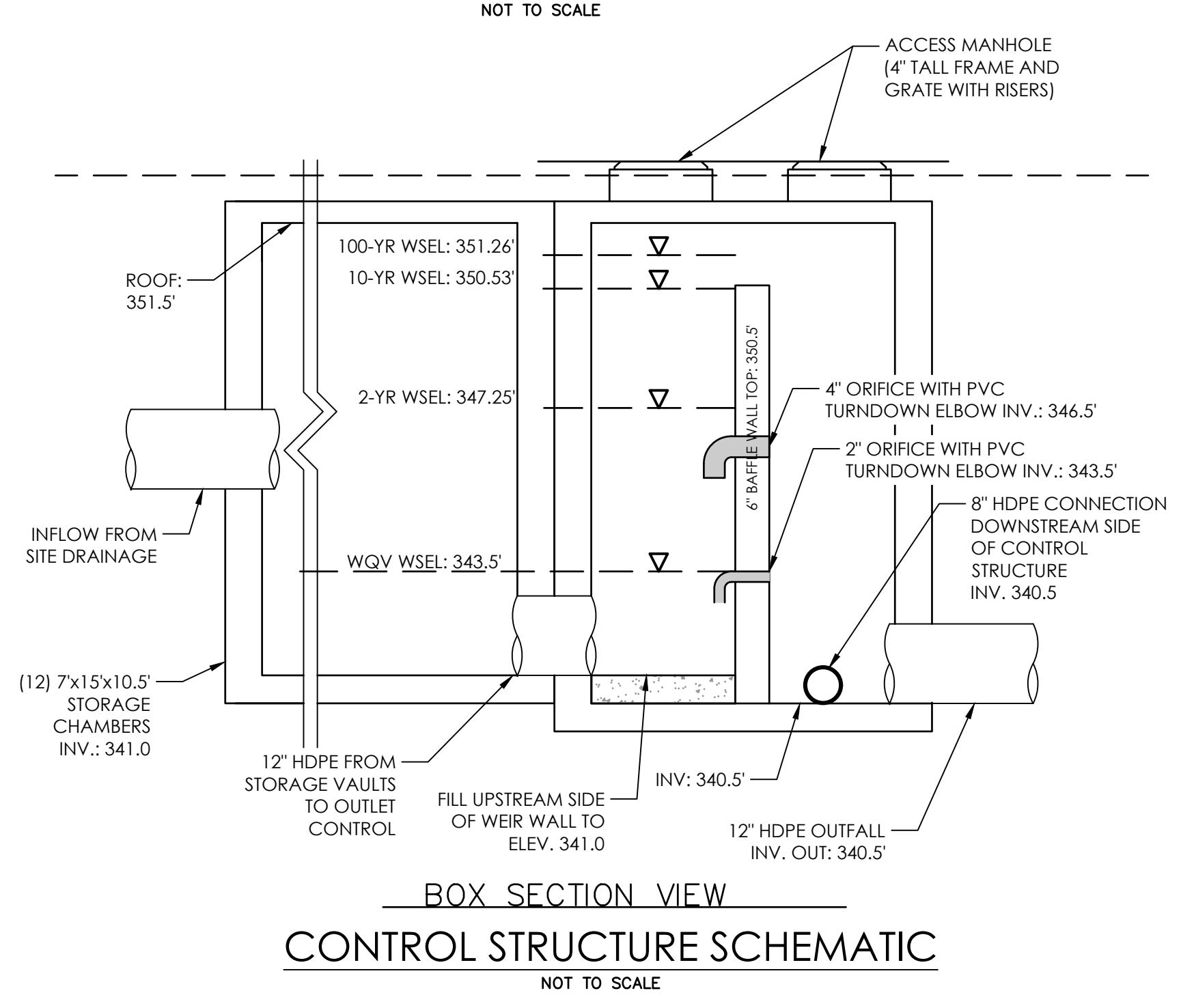
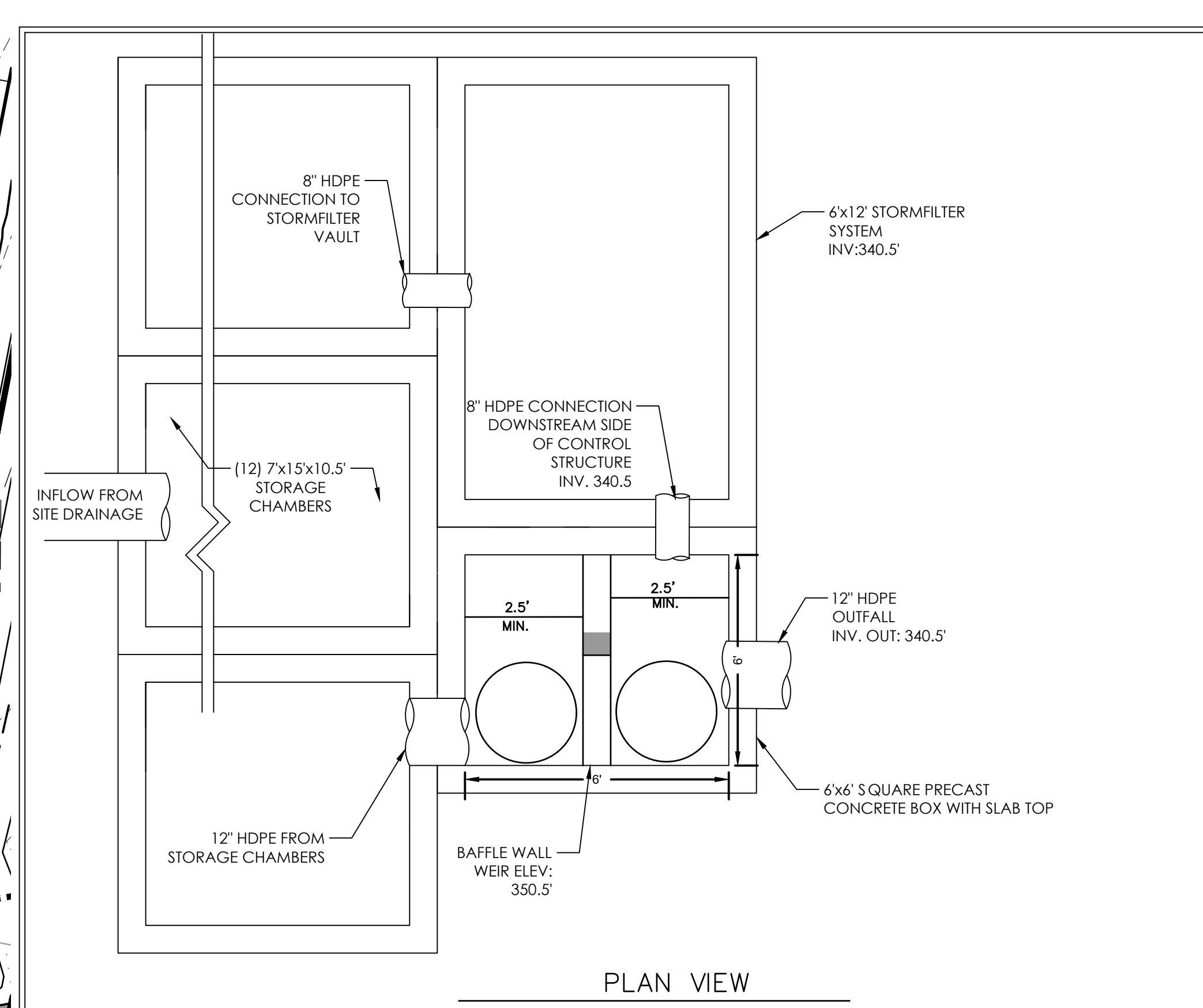
Revisions

Number	Description	Date

Drawing Title
GRADING & DRAINAGE PLAN

Sheet Number
CE-5.0

Date Issued 12/12/2024



STORMFILTER DESIGN NOTES

- STORMFILTER TREATMENT CAPACITY VARIES BY CARTRIDGE COUNT AND LOCALLY APPROVED SURFACE AREA SPECIFIC FLOW RATE. PEAK CONVEYANCE CAPACITY TO BE DETERMINED BY ENGINEER OF RECORD.
- A 6' x 12' (1820 mm x 3658 mm) STANDARD VAULT STYLE STORMFILTER IS SHOWN WITH THE MAXIMUM NUMBER OF CARTRIDGES (14) AND IS AVAILABLE IN A RIGHT INLET (AS SHOWN) OR LEFT INLET CONFIGURATION. OTHER CONFIGURATIONS ARE AVAILABLE.
- ALL PARTS AND INTERNAL ASSEMBLY PROVIDED BY CONTECH UNLESS OTHERWISE NOTED.

CARTRIDGE SIZE (in. [mm])	27 [686]	18 [457]	LOW DROP
RECOMMENDED MINIMUM HYDRAULIC DROP (ft. [m])	3.08 [930]	2.3 [701]	1.8 [549]
SPECIFIC FLOW RATE (gpm/[ft ²])	211.363 1.87 [1.132]	1.0 [0.63]	211.363 1.87 [1.132]
CARTRIDGE FLOW RATE (gpm/[ft ²])	22.5 [1.42]	18.79 [1.19]	15 [0.95]

* 1.67 gpm/ft² [1.13 L/m²] SPECIFIC FLOW RATE IS APPROVED WITH PHOSPHORUS (P(SORB)) MEDIA ONLY

SITE SPECIFIC DATA REQUIREMENTS

STRUCTURE ID	WATER QUALITY FLOW RATE (cfs [L/s])	PEAK FLOW RATE (cfs [L/s])	RETURN PERIOD OF PEAK FLOW (hrs)	CARTRIDGE FLOW RATE	CARTRIDGE SIZE (in. [mm])	LOW DROP (ft.)	MEDIA TYPE (PERLITE, ZPK, PRORB)	NUMBER OF CARTRIDGES REQUIRED	FILTER BAY DIM ELEVATION	PIPE DATA	INVERT	MATERIAL	DIAMETER

NOTES/SPECIAL REQUIREMENTS:

GENERAL NOTES

- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
- DIMENSIONS MARKED WITH (L) ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
- FOR SITE SPECIFIC DRAWINGS WITH DETAILED VAULT DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. www.contechES.com
- STORMFILTER WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
- STRUCTURE SHALL MEET AASHTO H20 LOAD RATING, ASSUMING EARTH COVER OF 0'-8" (1524) AND GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INLET ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CARTRIDGES SHALL MEET AASHTO M308 AND BE CAST WITH THE CONTECH LOGO.
- FILTER CARTRIDGES SHALL BE MEDIA-FILLED, PASSIVE, SIPHON ACTUATED, RADIAL FLOW, AND SELF-CLEANING. RADIAL MEDIA DEPTH SHALL BE 7-INCHES. FILTER MEDIA CONTACT TIME SHALL BE AT LEAST 30 SECONDS.
- SPECIFIC FLOW RATE IS EQUAL TO THE FILTER TREATMENT CAPACITY (gpm [L/s]) DIVIDED BY THE FILTER CONTACT SURFACE AREA (sq ft [m²]).
- STORMFILTER STRUCTURE SHALL BE PRECAST CONFORMING TO ASTM C-867 AND AASHTO LOAD FACTOR DESIGN METHOD.

INSTALLATION NOTES

- ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
- CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE STORMFILTER VAULT.
- CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL VAULT SECTIONS AND ASSEMBLY VAULT.
- CONTRACTOR TO PROVIDE, INSTALL, AND GROUT PIPES. MATCH OUTLET PIPE INVERT WITH OUTLET BAY FLOOR.
- CONTRACTOR TO TAKE APPROPRIATE MEASURES TO PROTECT CARTRIDGES FROM CONSTRUCTION-RELATED EROSION RUNOFF.

FRAME AND COVER (DIAMETER VARIES) NOT TO SCALE

CONTECH ENGINEERED SOLUTIONS LLC
 9025 Center Park Dr., Suite 400, York Center, OH 43089
 602-338-1122 513-645-7900 513-645-7903 FAX

SF0612 STORMFILTER VAULT STANDARD DETAIL

LEGEND

- BM BOOK OF MAPS
- DB DEED BOOK
- PA PAGE
- R/W RIGHT OF WAY
- EIP EXISTING IRON PIPE
- IPS IRON PIPE SET
- SS SANITARY SEWER
- CO SANITARY SEWER CLEAN OUT
- MH MANHOLE
- WV WATER VALVE
- HP PP HIGH PERFORMANCE POLYPROPYLENE
- RCP REINFORCED CONCRETE STORM PIPE
- CONC CONCRETE
- MH MANHOLE
- WM WATER METER
- LP LIGHT POLE
- CATV CABLE PEDESTAL
- TP TELEPHONE PEDESTAL
- FH FIRE HYDRANT
- CB CATCH BASIN
- PP POWER POLE
- DI DROP INLET

PROPOSED CONCRETE
 TREE CONSERVATION AREA
 AMENITY AREA

- TPF TREE PROTECTION FENCE
- PROPERTY LINE
- RIGHT OF WAY LINE
- PROP. LINE NOT SURVEYED
- STORM PIPE
- SS SANITARY SEWER LINE
- OVERHEAD POWER
- EASEMENT LINE
- FENCE LINE

CATV FH LP WV SSMH
 GW MW PP TP

20' 10' 0 20' 40'
 1"=20'

Revisions

Number	Description	Date

LEGEND

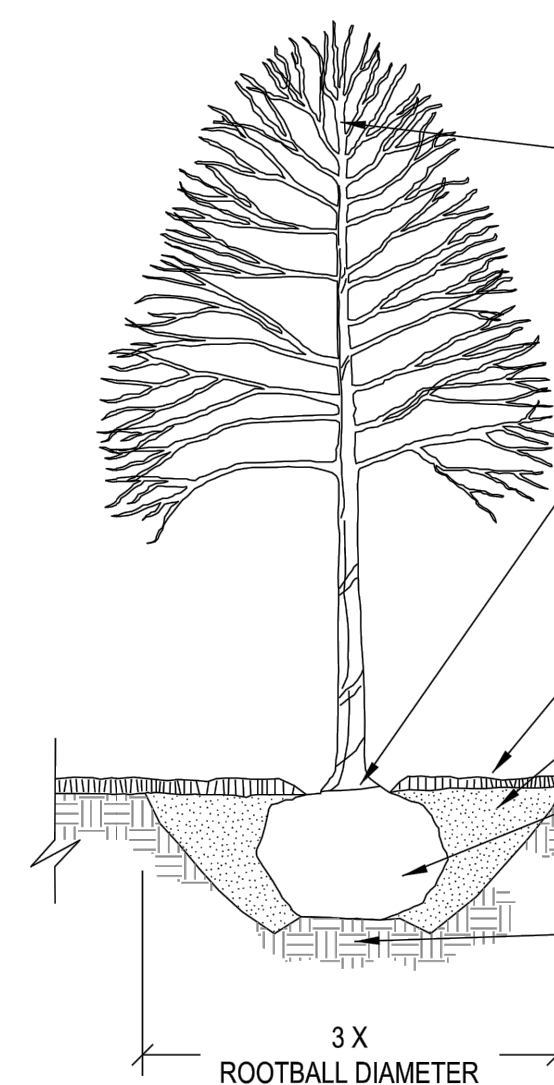
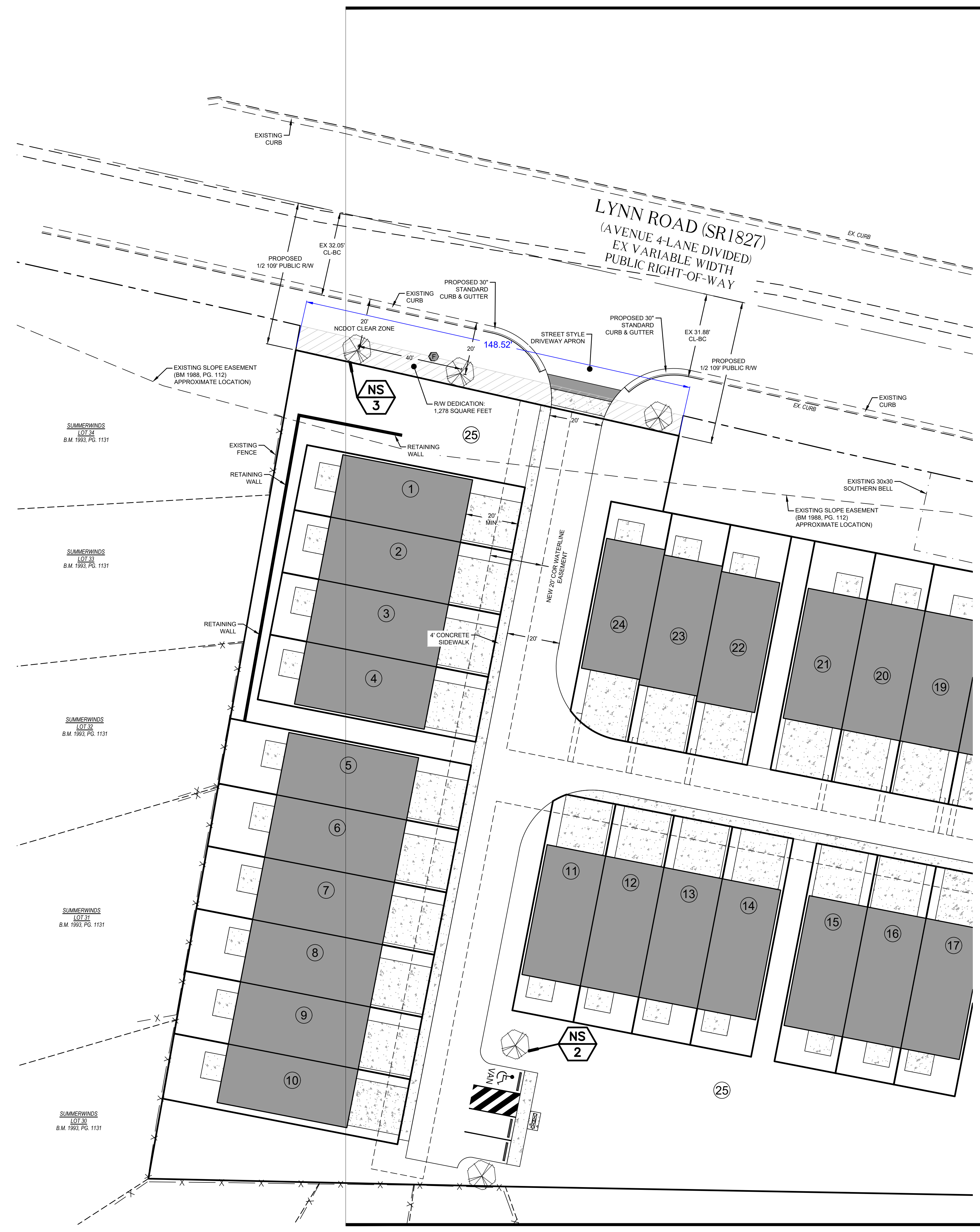
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	PROPOSED CONCRETE
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	SANITARY SEWER LINE
	OVERHEAD POWER
	EASEMENT LINE
	FENCE LINE

Revisions

Number	Description	Date

Drawing Title
LANDSCAPE PLAN



- NOTES:**
- TREES MUST MEET THE TREE QUALITY STANDARDS IN CH. 2 OF THE CITY TREE MANUAL.
 - CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITS. (POSITIVE DRAINAGE AWAY FROM PIT)
 - TREES SHALL BE PLANTED BETWEEN OCTOBER 1ST AND APRIL 30TH.
 - A TREE IMPACT PERMIT IS REQUIRED.
 - ELECTRICAL OUTLETS AND OTHER UTILITIES ARE PROHIBITED IN THE PLANTING AREA IMMEDIATELY SURROUNDING THE TREE.
 - IF STAKING IN ACCORDANCE WITH THE CITY TREE MANUAL, THE STAKING MUST BE REMOVED WITHIN ONE YEAR.
 - TREES WILL HAVE A MINIMUM 1 YEAR WARRANTY AFTER THE INITIAL PLANTING IS APPROVED BY THE CITY.

CITY OF RALEIGH STANDARD DETAIL

REVISIONS: DATE: 8/2020 NOT TO SCALE

10/2019

TREE PLANTING DETAIL

TPP-03

Plant Schedule:

KEY	BOTANICAL / COMMON NAME	SIZE	ROOT	MATURE HT/SPREAD	REMARKS	QUANTITY
NS	Nyssa sylvatica / Black Gum	3" Cal. /10' HT.	CONT./ B & B	40-50' HT 20-30' SPREAD	SINGLE STEM	5

- NOTES:**
- ALL STREET TREES ARE TO BE PLANTED IN ACCORDANCE WITH CITY OF RALEIGH STANDARD DETAIL TPP-03.
 - STREET TREES SHALL BE MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY TREE MANUAL.

City of Raleigh Planting Requirements:

- STREET TREES:**
 LYNN ROAD (SR-1827):
 149' / 40 LF = 3 Canopy trees
 Provided: (3) 3.5" Caliper Black Gums @ ~40' spacing
 (20' From travel lane per NCDOT Clear Zone Requirements)
- PARKING TERMINAL ISLANDS:**
 Provided: (2) 3" Caliper Black Gums