

Preliminary Subdivision Application

Planning and Development

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



INSTRUCTIONS: This form is used when submitting a Preliminary Subdivision (UDO Section 10.2.5). Please check the appropriate review type and include the plan checklist document. Please email all documents and your preliminary subdivision plans to SiteReview@raleighnc.gov.

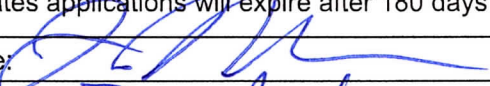
DEVELOPMENT TYPE (UDO Section 2.1.2)			
<input checked="" type="radio"/> Conventional Subdivision	<input type="radio"/> Compact Development	<input type="radio"/> Conservation Development	<input type="radio"/> Cottage Court
NOTE: Subdivisions may require City Council approval if in a Metro Park Overlay or Historic Overlay District			
GENERAL INFORMATION			
Scoping/sketch plan case number(s):			
Development name (subject to approval): Marietta Court Subdivision			
Property Address(es): 3416 Marietta Court			
Recorded Deed PIN(s): 0785876192			
What is your project type?	<input type="checkbox"/> Single family <input type="checkbox"/> Apartment	<input type="checkbox"/> Townhouse <input type="checkbox"/> Non-residential	<input checked="" type="checkbox"/> Attached houses <input type="checkbox"/> Other: _____

CURRENT PROPERTY OWNER/DEVELOPER INFORMATION	
NOTE: Please attach purchase agreement when submitting this form	
Company: Concept 8 Holdings, LLC	Owner/Developer Name and Title: Shawn Donovan, Member Manager
Address: 307 S. Salem Street Apex, NC 27502	
Phone #: 919-601-5087	Email: shawn@concepteight.com
APPLICANT INFORMATION	
Company: Concept 8 Holdings, LLC	Contact Name and Title: Jason G. Meadows, P.E.
Address: 307 S. Salem Street Apex, NC 27502	
Phone #: 919-889-2614	Email: jason@wakelanddesign.com

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DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)	
ZONING INFORMATION	
Gross site acreage: 0.517 AC	
Zoning districts (if more than one, provide acreage of each): R-4	
Overlay district: N/A	Inside City limits? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Conditional Use District (CUD) Case # Z-	Board of Adjustment (BOA) Case # A-

STORMWATER INFORMATION	
Existing Impervious Surface: Acres: <u>0.066 AC</u> Square Feet: <u>2,872 SF</u>	Proposed Impervious Surface: Acres: <u>0.155 AC</u> Square Feet: <u>6,745 SF</u>
Neuse River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Is this a flood hazard area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If yes, please provide the following: Alluvial soils: _____ Flood study: _____ FEMA Map Panel #: _____	
NUMBER OF LOTS AND DENSITY	
Total # of townhouse lots:	Detached Attached
Total # of single-family lots: 2	
Proposed density for each zoning district (UDO 1.5.2.F): 4.1 UNITS/AC	
Total # of open space and/or common area lots: 0	
Total # of requested lots: 2	

SIGNATURE BLOCK	
<p>The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.</p> <p>I, <u>Jason G. Meadows</u> will serve as the agent regarding this application, and will receive and respond to administrative comments, resubmit plans and applicable documentation, and will represent the property owner(s) in any public meeting regarding this application.</p> <p>I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.</p>	
Signature: 	Date: <u>9/8/2021</u>
Printed Name: <u>Jason Meadows</u>	
Signature:	Date:
Printed Name:	

Please email your completed application to SiteReview@raleighnc.gov.



VICINITY MAP
1" = 400'

MARIETTA COURT SUBDIVISION

PRELIMINARY SUBDIVISION PLANS SUB-XXXX-2021

RALEIGH, NORTH CAROLINA

SEPTEMBER 8, 2021

SITE DATA	
PROPERTY OWNER:	CONCEPT 8 HOLDINGS, LLC 307 S. SALEM ST. SUITE 200 APEX, NC 27502
SITE ADDRESS:	3416 MARIETTA COURT
SITE AREA: EXISTING:	22,508 SF - 0.517 AC.
RIGHT OF WAY DEDICATION:	1,273 SF - 0.029 AC.
AFTER R/W DEDICATION:	21,235 SF - 0.487 AC.
WAKE COUNTY PIN #:	0785876192
ZONING DISTRICT:	R-4
EXISTING USE:	RESIDENTIAL
PROPOSED USE:	RESIDENTIAL
STREET CLASSIFICATION:	EDWARDS MILL ROAD - AVENUE 6-LANE DIVIDED MARIETTA COURT - NEIGHBORHOOD YIELD
STREETScape REQUIRED:	6' TREE LAWN 6' SIDEWALK
STREETScape PROVIDED:	EDWARDS MILL ROAD EXISTING ~2.5' TREE LAWN EXISTING 5' SIDEWALK (APPLICANT REQUESTS PAYMENT IN LIEU FOR 100 LF 1' SIDEWALK WIDTH) MARIETTA COURT (APPLICANT REQUESTS PAYMENT IN LIEU FOR 204 LF 6' SIDEWALK)
EXISTING IMPERVIOUS AREA: PROPOSED IMPERVIOUS AREA:	2,872 SF. 0.066 AC. 6,745 SF. 0.155 AC *38% MAXIMUM (SEE SHEET CE-2 FOR LOT ALLOCATION AND ACCOUNTING FOR STREETScape IMPERVIOUS)

UDO SEC. 8.3.2.A BLOCK PERIMETER
THE LEAST RESTRICTIVE ZONING WITHIN THE BLOCK IS R-4
RESIDENTIAL. THEREFORE, IN ACCORDANCE WITH UDO
8.3.2.A.2.b, BLOCK PERIMETER IS NOT APPLICABLE DUE TO
THE SITE AREA BEING 0.52 ACRES WHICH IS LESS THAN THE
MIN. SITE AREA APPLICABILITY FOR R-4 ZONING.

UDO SEC. 8.3.2.A CROSS ACCESS
IN ACCORDANCE WITH UDO 8.3.5.D CROSS ACCESS REQUIREMENT
ARE NOT APPLICABLE TO THE PROPOSED DEVELOPMENT DUE TO
THE ADJACENT PARCELS BEING ZONED R-4.

SIDEWALK FEE-IN-LIEU REQUEST
THE APPLICANT IS REQUESTING PAYMENT FOR FEE-IN-LIEU FOR 1'
OF SIDEWALK WIDTH ALONG EDWARDS MILL ROAD AND THE 6'
SIDEWALK ALONG MARIETTA COURT.

DEVELOPER:
CONCEPT 8 HOLDINGS, LLC
307 S. Salem St. Suite 200
Apex, NC 27502
919-601-5078
shawn@concepteight.com

CIVIL ENGINEER:



WAKE LAND DESIGN, PLLC

NC LICENSE P-1839
PHONE: 919-889-2614
EMAIL: JASON@WAKELANDDESIGN.COM
P.O. BOX 418
CLAYTON, NC 27528

TREE CONSERVATION EXEMPTION
THIS PROJECT TRACT IS LESS THAN 2.0
ACRES AND THEREFORE EXEMPT FROM
TREE CONSERVATION IN ACCORDANCE WITH
UDO SEC. 9.1.2.

HORIZONTAL DATUM: NAD83
VERTICAL DATUM: NAVD88

ALL CONSTRUCTION SHALL BE IN
ACCORDANCE WITH CITY OF RALEIGH
AND NCDOT STANDARDS AND
SPECIFICATIONS.

SOLID WASTE INSPECTIONS STATEMENT
DEVELOPERS HAVE REVIEWED AND ARE IN
COMPLIANCE WITH THE REQUIREMENTS SET
FORTH IN THE CITY OF RALEIGH SOLID
WASTE MANUAL

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Printed Name: <u>Jason Meadows</u>	Date: _____
Signature: _____	Date: _____
Printed Name: _____	Date: _____

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CE-3	UTILITY & GRADING PLAN
LA-1	LANDSCAPE PLAN



WAKE LAND DESIGN, PLLC
 CIVIL ENGINEERING
 PROJECT MANAGEMENT
 LAND PLANNING
 RALEIGH ZONING SPECIALISTS

NC LICENSE P-1839
 PHONE: 919-889-2614
 EMAIL: JASON@WAKELANDDESIGN.COM
 P.O. BOX 418
 CLAYTON, NC 27528



Subconsultants

Client
CONCEPT 8 HOLDINGS, LLC
 307 S. SALEM ST. #200
 APEX, NC 27502

Project
MARIETTA COURT SUBDIVISION (SUB-XXXX-2021)

Process
PRELIMINARY SUBDIVISION

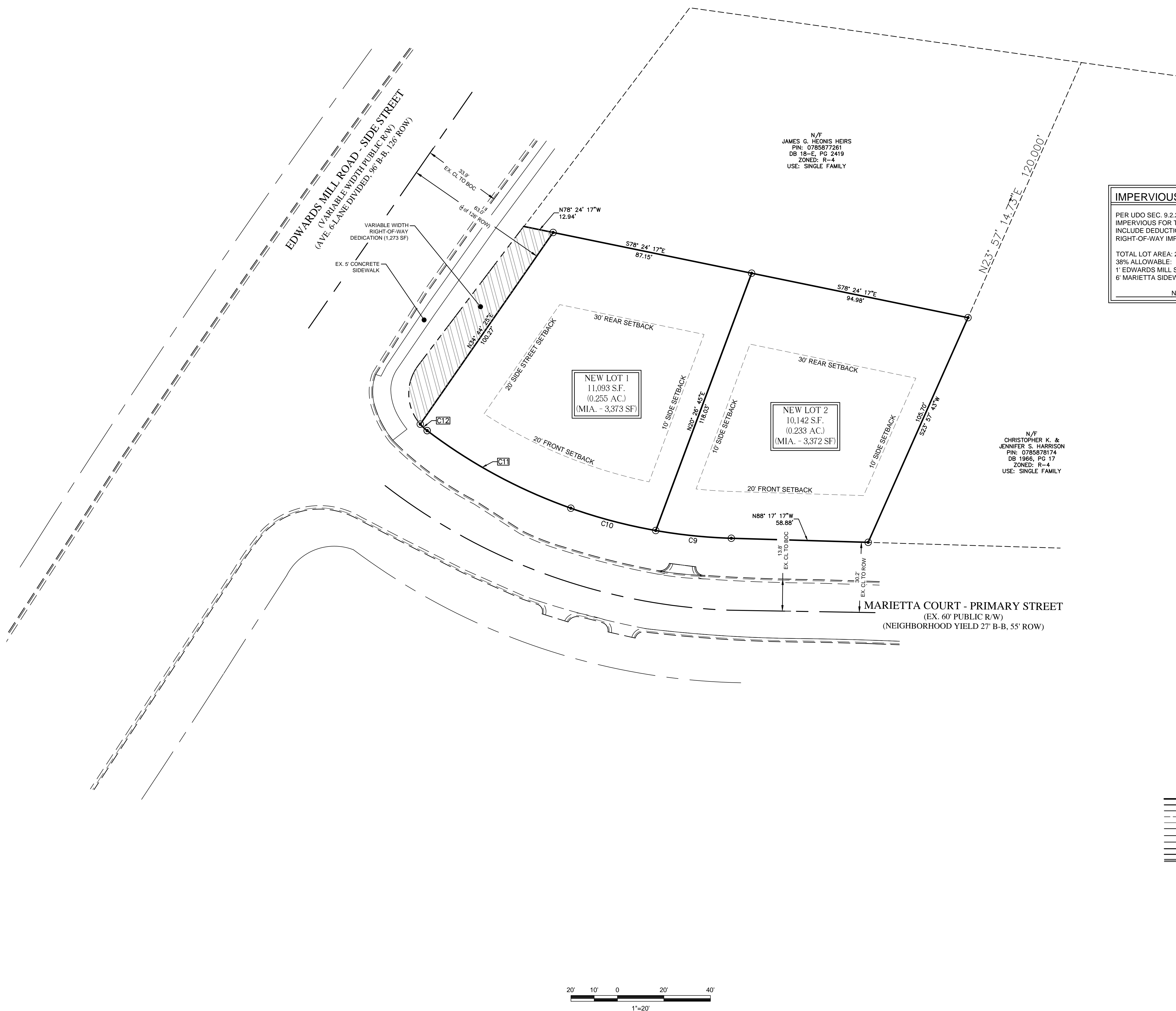
Revisions		
Number	Description	Date

Approvals

Drawing Title
SUBDIVISION PLAN

Sheet Number
CE-2

Date Issued 09/05/2021



IMPERVIOUS ALLOCATION SUMMARY	
PER UDO SEC. 9.2.2.A.4 THE MAXIMUM ALLOWABLE IMPERVIOUS FOR THE SUBDIVISION IS 38% WHICH MUST INCLUDE DEDUCTION FOR IMPERVIOUS ASSOCIATED WITH RIGHT-OF-WAY IMPROVEMENTS.	
TOTAL LOT AREA: 21,235 SF (AFTER ROW DEDICATION)	8,969 SF
38% ALLOWABLE:	-1,100 SF
1' EDWARDS MILL SIDEWALK FEE-IN-LIEU:	-1,224 SF
6' MARIETTA SIDEWALK FEE-IN-LIEU:	
NET IMPERVIOUS FOR LOTS: 6,745 SF	

N/F
 JAMES G. HEONIS HEIRS
 PIN: 0785877261
 DB 18-E, PG 2419
 ZONED: R-4
 USE: SINGLE FAMILY

N/F
 CHRISTOPHER K. &
 JENNIFER S. HARRISON
 PIN: 0785878174
 DB 1966, PG 17
 ZONED: R-4
 USE: SINGLE FAMILY

N/F
 BROWN REALTY COMPANY LLC
 PIN: 1713.05-08-8960
 DB 8283, PG 1537