



Administrative Approval Action

Case File / Name: SUB-0070-2021
DSLC - MARIETTA COURT SUBDIVISION

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located on the east side of Edwards Mill Road, north of Marietta Court at 3416 Marietta Ct.

REQUEST: Subdivision of a 0.52 acre/22,508 sf tract with 0.03 acres/1,273 sf of right-of-way dedication leaving a net site area of 0.49 acres/21,235 sf. The R-4 zoned property is being subdivided into 2 lots for attached dwelling unit development. New Lot 1 is proposed to be 0.26 acres/11,139 sf and new Lot 2 is proposed to be 0.23 acres/10,096 sf.

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated October 19, 2021 by Wake Land Design, PLLC.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☒ **SITE PERMITTING REVIEW NOT REQUIRED AT THIS TIME** - However, plan revisions or further development that includes land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. will require site permitting review.

☒ **LEGAL DOCUMENTS** - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

☒ Slope Easement Required

☒ Utility Placement Easement Required

☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

General

1. A demolition permit shall be issued and this building permit number shown on all maps for recording.
2. A general note shall be placed on all plat recordings stating the primary street designation for Lot 1. The note could read as follows: "Per UDO Section 1.5.4.C.3, the Primary Street for Lot 1 shall be _____ (either Marietta Ct or Edwards Mill Rd.)."

Engineering



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3. A fee-in-lieu for 100 linear feet of 1 foot of sidewalk along Edwards Mill Road is paid to the City of Raleigh (UDO 8.1.10).
4. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.
5. A 5' utility placement easement on Edwards Mill Road and 2.5' utility placement easement along Marietta Court and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.
6. A 20 foot Slope easement deed of easement shall be approved by City staff and the location of the easement shall be shown on a plat approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recording. If a recorded copy of the document is not provided, further recordings and building permit issuance will be withheld.
7. A fee-in-lieu for 145 linear feet of 6 foot sidewalk along Marietta Court is paid to the City of Raleigh (UDO 8.1.10).

Stormwater

8. If demolition causes a land disturbance of more than 12,000 sf, a mass grading permit will be required. (UDO 9.4.6)
9. The maximum allocated impervious area for all applicable lots in the subdivision should be identified on all maps for recording.

Urban Forestry

10. A public infrastructure surety for (5) shade trees and (5) understory trees shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

Stormwater



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1. These lots are exempt per UDO Section 9.2.2.A.2.b.i as a residential subdivision of one acre or less approved after May 1, 2001, but are subject to impervious limitations of subsection A.4 and subject to further review upon placement of impervious surface areas.
2. Impervious restrictions for each lot must be recorded on a plat prior to building permit issuance.
3. If total land disturbance will be over 12,000 sq. ft. for multiple houses, a separate site plan submittal & approval will be required. Site plans require an erosion control plan. (UDO 9.4.6.)

Urban Forestry

4. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes (5) Quercus lyrata, Overcup oak street trees along Marietta Ct and (5) Halesia carolina, Carolina silverbell single-stem understory trees along Edwards Mill Rd.

The following are required prior to issuance of building occupancy permit:

General

1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.

Stormwater

2. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).

EXPIRATION DATES: If significant construction has not taken place on a project after preliminary subdivision approval, that approval may "sunset" and be declared void, requiring re-approval before permits may be issued. To avoid allowing this preliminary approval to "sunset", the following must take place by the following dates:

3-Year Sunset Date: March 16, 2025
Record at least ½ of the land area approved.

5-Year Sunset Date: March 16, 2027
Record entire subdivision.

I hereby certify this administrative decision.

Signed: Alysia Bailey Taylor Date: 11/17/2021
Development Services Dir/Designee
Staff Coordinator: Jermont Purifoy



VICINITY MAP
1" = 400'

SITE DATA	
PROPERTY OWNER:	CONCEPT 8 HOLDINGS, LLC 307 S. SALEM ST., SUITE 200 APEX, NC 27502
SITE ADDRESS:	3416 MARIETTA COURT
SITE AREA: EXISTING:	22,508 SF - 0.5167 AC.
RIGHT OF WAY DEDICATION: AFTER R/W DEDICATION:	1,273 SF - 0.0292 AC. 21,235 SF - 0.4875 AC.
PROPOSED LOTS:	NEW LOT 1: 11,139 SF - 0.2557 AC. NEW LOT 2: 10,096 SF - 0.2318 AC.
WAKE COUNTY PIN #:	0785876192
ZONING DISTRICT:	R-4
EXISTING USE:	RESIDENTIAL (DETACHED HOUSE)
PROPOSED USE:	RESIDENTIAL (ATTACHED HOUSE - UDO SEC. 2.2.2) REQUIRED MIN. LOT AREA: 10,000 SF PROVIDED LOT AREA: LOT 1 - 11,139 SF LOT 2 - 10,096 SF REQUIRED MIN. LOT WIDTH: 65' PROVIDED LOT WIDTH: LOT 1 - 108.71' LOT 2 - 94.86' REQUIRED LOT DEPTH: 100' PROVIDED LOT DEPTH: LOT 1 - 116.1' LOT 2 - 113.6'
STREET CLASSIFICATION:	EDWARDS MILL ROAD - AVENUE 6-LANE DIVIDED MARIETTA COURT - NEIGHBORHOOD YIELD
STREETSCAPE REQUIRED:	6' TREE LAWN 6' SIDEWALK
STREETSCAPE PROVIDED:	EDWARDS MILL ROAD EXISTING 2.5' TREE LAWN EXISTING 5' SIDEWALK (APPLICANT REQUESTS PAYMENT IN LIEU FOR 100 LF 6' SIDEWALK WIDTH) MARIETTA COURT (APPLICANT REQUESTS PAYMENT IN LIEU FOR 204 LF 6' SIDEWALK)
EXISTING IMPERVIOUS AREA:	2,872 SF, 0.066 AC.
PROPOSED IMPERVIOUS AREA: UDO SEC. 9.2.2.A - 38% MAX.	LOT 1 IMPERVIOUS LIMIT: 10,096 SF @ 38% = 3,836 SF - 464 SF IN RIGHT-OF-WAY = 3,372 SF LOT 2 IMPERVIOUS LIMIT: 11,139 SF @ 38% = 4,232 SF - 860 SF IN RIGHT-OF-WAY = 3,372 SF

INDEX

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CE-1.1	EXISTING CONDITIONS & DEMOLITION PLAN
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MARIETTA COURT SUBDIVISION PRELIMINARY SUBDIVISION PLANS SUB-0070-2021 RALEIGH, NORTH CAROLINA

SEPTEMBER 8, 2021
REVISED: OCTOBER 19, 2021

<p>UDO SEC. 8.3.2.A BLOCK PERIMETER THE LEAST RESTRICTIVE ZONING WITHIN THE BLOCK IS R-4 RESIDENTIAL. THEREFORE, IN ACCORDANCE WITH UDO 8.3.2.A.2, BLOCK PERIMETER IS NOT APPLICABLE DUE TO THE SITE AREA BEING 0.52 ACRES WHICH IS LESS THAN THE MIN. SITE AREA APPLICABILITY FOR R-4 ZONING.</p>
<p>UDO SEC. 8.3.2.A CROSS ACCESS IN ACCORDANCE WITH UDO 8.3.3.D CROSS ACCESS REQUIREMENT ARE NOT APPLICABLE TO THE PROPOSED DEVELOPMENT DUE TO THE ADJACENT PARCELS BEING ZONED R-4.</p>
<p>SIDEWALK FEE-IN-LIEU REQUEST THE APPLICANT IS REQUESTING PAYMENT FOR FEE-IN-LIEU FOR 1' OF SIDEWALK WIDTH ALONG EDWARDS MILL ROAD AND THE 6' SIDEWALK WIDTH ALONG MARIETTA COURT.</p>
<p>LOT 1 PRIMARY STREET DESIGNATION PER UDO SEC. 1.5.4.3, ATTACHED AND DETACHED BUILDINGS ON A CORNER LOT SHALL NOT DESIGNATE A MAJOR STREET AS THE PRIMARY STREET. EDWARDS MILL ROAD IS CLASSIFIED AS A MAJOR STREET PER UDO SEC. 8.5.6 AND THEREFORE MARIETTA COURT SHALL BE DESIGNATED AS THE PRIMARY STREET.</p>
<p>UDO SEC. 2.2.7 RESIDENTIAL INFILL THE SUBJECT SITE MAY BE SUBJECT TO RESIDENTIAL INFILL COMPATIBILITY STANDARDS OF UDO SEC. 2.2.7 AND WILL BE FURTHER REVIEWED DURING BUILDING PERMIT REVIEW.</p>

DEVELOPER:
CONCEPT 8 HOLDINGS, LLC
307 S. Salem St. Suite 200
Apex, NC 27502
919-601-5078
shawn@concepteight.com

CIVIL ENGINEER:

WLD

WAKE LAND DESIGN, PLLC

NC LICENSE P-1839
PHONE: 919-889-2614
EMAIL: JASON@WAKELANDDESIGN.COM
P.O. BOX 418
CLAYTON, NC 27528

Preliminary Subdivision Application Planning and Development

Planning and Development Customer Service Center • One Exchange Place, Suite 400 • Raleigh, NC 27601 • 919-996-2500



INSTRUCTIONS: This form is used when submitting a Preliminary Subdivision (UDO Section 19.2.5). Please check the appropriate review type and include the plan checklist document. Please email all documents and your preliminary subdivision plans to SubReview@raleighnc.gov.

DEVELOPMENT TYPE (UDO Section 2.1.2)	
<input checked="" type="checkbox"/> Conventional Subdivision	<input type="checkbox"/> Compact Development
<input type="checkbox"/> Conservation Development	<input type="checkbox"/> Cottage Court
NOTE: Subdivisions may require City Council approval if in a Metro Park Overlay or Historic Overlay District	
GENERAL INFORMATION	
Scoping/sketch plan case number(s):	
Development name (subject to approval): Marietta Court Subdivision	
Property Address(es): 3416 Marietta Court	
Recorded Deed PIN(s): 0785876192	
What is your project type? <input type="checkbox"/> Single family <input type="checkbox"/> Townhouse <input type="checkbox"/> Non-residential <input type="checkbox"/> Other <input checked="" type="checkbox"/> Attached houses	
CURRENT PROPERTY OWNER/DEVELOPER INFORMATION	
NOTE: Please attach purchase agreement when submitting this form	
Company: Concept 8 Holdings, LLC Owner/Developer Name and Title: Shawn Donovan, Member Manager	
Address: 307 S. Salem Street Apex, NC 27502	
Phone #: 919-601-5087 Email: shawn@concepteight.com	
APPLICANT INFORMATION	
Company: Concept 8 Holdings, LLC	Contact Name and Title: Jason G. Meadows, P.E.
Address: 307 S. Salem Street Apex, NC 27502	
Phone #: 919-889-2614 Email: jason@wakelanddesign.com	

Continue to page 2 >>

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REVISION 03.18.21
raleighnc.gov

DEVELOPMENT TYPE + SITE DATA TABLE (Applicable to all developments)	
ZONING INFORMATION	
Gross site acreage: 0.517 AC.	
Zoning districts (if more than one, provide acreage of each): R-4	
Overlay district: N/A	Inside City limits? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Conditional Use District (CUD) Case # Z-	Board of Adjustment (BOA) Case # A-
STORMWATER INFORMATION	
Existing Impervious Surface: Acre: 0.066 Square Feet: 2,872 SF	Proposed Impervious Surface: Acre: 0.066 Square Feet: 3,372 SF
Neuse River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Is this a flood hazard area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If yes, please provide the following: Atmospheric: _____ Flood study: _____ FEMA Map Panel #: _____	
NUMBER OF LOTS AND DENSITY	
Total # of townhouse lots:	Detached Attached
Total # of single-family lots:	
Proposed density for each zoning district (UDO 1.5.3.F): 4.1 UNITS/AC	
Total # of open space and/or common area lots:	
Total # of requested lots:	
SIGNATURE BLOCK	
The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.	
I, <u>Jason G. Meadows</u> , will serve as the agent regarding this application, and will receive and respond to administrative comments, resubmit plans and applicable documentation, and will represent the property owner(s) in any public meeting regarding this application.	
We have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will be reviewed after 180 days of inactivity.	
Signature: <u>Jason G. Meadows</u>	Date: <u>9/8/2021</u>
Printed Name: <u>Jason G. Meadows</u>	Date: _____
Signature: _____	Date: _____
Printed Name: _____	Date: _____

Page 2 of 2

Please email your completed application to SubReview@raleighnc.gov.

REVISION 03.18.21
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TREE CONSERVATION EXEMPTION
THIS PROJECT TRACT IS LESS THAN 2.0 ACRES AND THEREFORE EXEMPT FROM TREE CONSERVATION IN ACCORDANCE WITH UDO SEC. 9.1.2.

HORIZONTAL DATUM: NAD83
VERTICAL DATUM: NAVD83

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND NC DOT STANDARDS AND SPECIFICATIONS.

SOLID WASTE INSPECTIONS STATEMENT
DEVELOPERS HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE CITY OF RALEIGH SOLID WASTE MANUAL. THIS DEVELOPMENT WILL UTILIZE STANDARD 96-GAL. TRASH AND RECYCLING CONTAINERS TO BE ROLLED CURBSIDE FOR COLLECTION.



WAKE LAND DESIGN, PLLC
CIVIL ENGINEERING
PROJECT MANAGEMENT
LAND PLANNING
RALEIGH ZONING SPECIALISTS

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PHONE: 91948894914
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P.O. BOX 418
CLAYTON, NC 27328



Submittals

CONCEPT 8
HOLDINGS, LLC
307 S. SALEM ST. #200
APEX, NC 27502

MARIETTA COURT
SUBDIVISION
(SUB-0070-2021)

PRELIMINARY
SUBDIVISION

Revisions		
Number	Description	Date
1	CITY OF RALEIGH COMMENTS	10/19/21

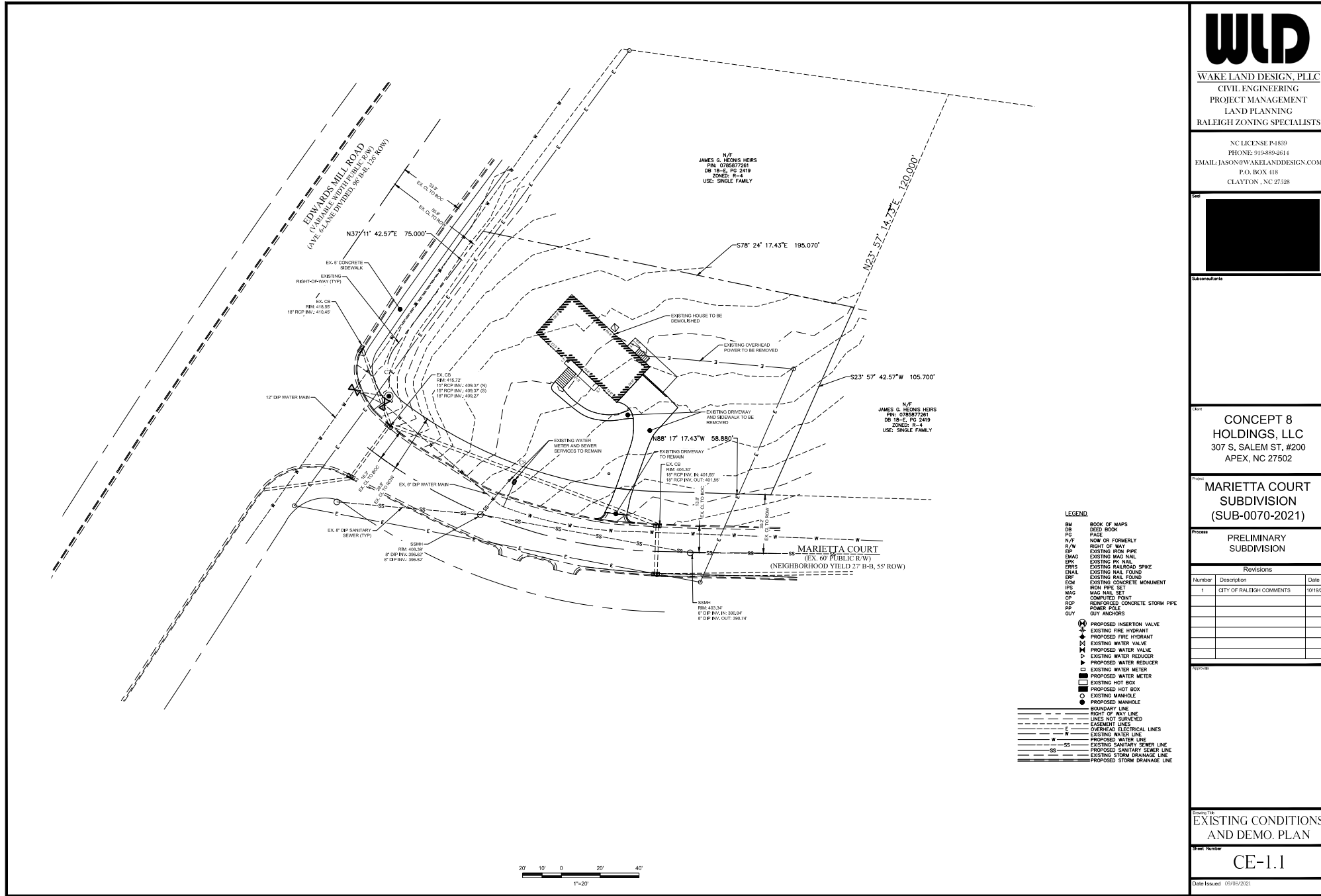
Comments

EXISTING CONDITIONS
AND DEMO. PLAN

Sheet Number

CE-1.1

Date Issued 10/19/2021





WAKE LAND DESIGN, PLLC
CIVIL ENGINEERING
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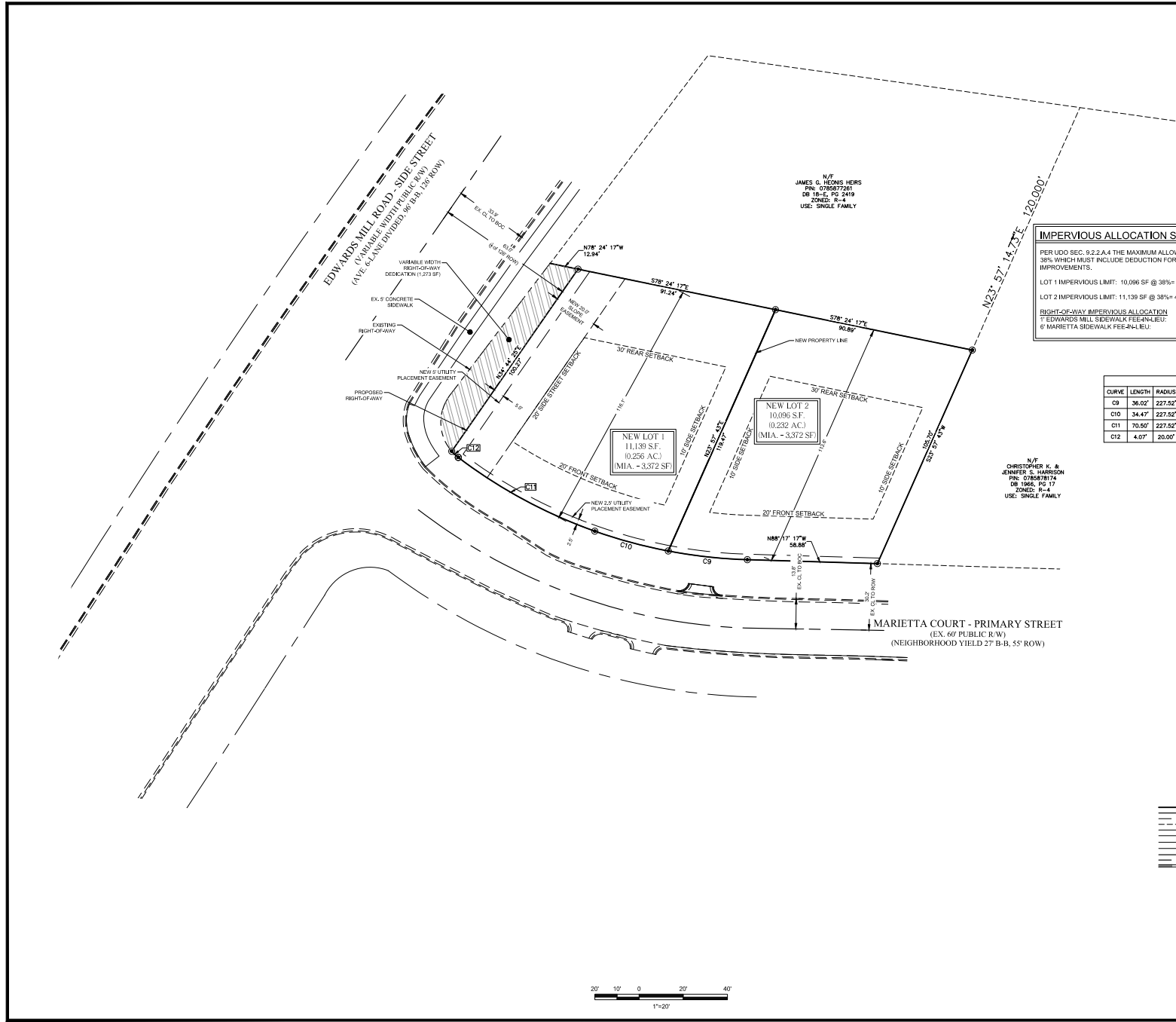
Revisions		
Number	Description	Date
1	CITY OF RALEIGH COMMENTS	10/19/21

Comments

Subdivision Plan

CE-2

Date Issued 10/19/2021



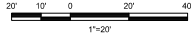
IMPERVIOUS ALLOCATION SUMMARY	
PER UDO SEC. 9.2.2.4 THE MAXIMUM ALLOWABLE IMPERVIOUS FOR THE SUBDIVISION IS 38% WHICH MUST INCLUDE DEDUCTION FOR IMPERVIOUS ASSOCIATED WITH RIGHT-OF-WAY IMPROVEMENTS.	
LOT 1 IMPERVIOUS LIMIT: 10,096 SF @ 38% = 3,836 SF - 464 SF IN RIGHT-OF-WAY = 3,372 SF	
LOT 2 IMPERVIOUS LIMIT: 11,139 SF @ 38% = 4,232 SF - 860 SF IN RIGHT-OF-WAY = 3,372 SF	
RIGHT-OF-WAY IMPERVIOUS ALLOCATION	
7' EDWARDS MILL SIDEWALK FEE-IN-LIEU:	-100 SF
6' MARIETTA SIDEWALK FEE-IN-LIEU:	-1,224 SF

CURVE TABLE				
CURVE	LENGTH	RADIUS	DELTA	CHORD
C8	36.02'	227.52'	009°04'17"	35.98'
C10	34.47'	227.52'	008°40'53"	34.44'
C11	70.50'	227.52'	017°45'10"	70.21'
C12	4.07'	20.00'	011°39'06"	4.06'

- LEGEND
- BM BOOK OF MAPS
 - DB DEED BOOK
 - FACE
 - N/T NOW OR FORMERLY
 - R/W RIGHT OF WAY
 - SP EXISTING IRON PIPE
 - ENAG EXISTING MAG NAIL
 - EPK EXISTING PK NAIL
 - ENAL EXISTING RAIL FOUND
 - ENAL EXISTING NAIL FOUND
 - ESM EXISTING CONCRETE MONUMENT
 - IPK IRON PIPE SET
 - MAC MAG NAIL SET
 - CP COMPUTED POINT
 - ROP REINFORCED CONCRETE STORM PIPE
 - PO POWER POLE
 - GUY GUY ANCHORS
 - PROPOSED INSERTION VALVE
 - EXISTING FIRE HYDRANT
 - PROPOSED FIRE HYDRANT
 - EXISTING WATER VALVE
 - PROPOSED WATER VALVE
 - EXISTING WATER REDUCER
 - PROPOSED WATER REDUCER
 - EXISTING WATER METER
 - PROPOSED WATER METER
 - EXISTING HOT BOX
 - PROPOSED HOT BOX
 - EXISTING MANHOLE
 - PROPOSED MANHOLE
 - BOUNDARY LINE
 - RIGHT OF WAY LINE
 - LINE NOT SURVEYED
 - EASEMENT LINES
 - OVERHEAD ELECTRICAL LINES
 - EXISTING WATER LINE
 - PROPOSED WATER LINE
 - EXISTING SANITARY SEWER LINE
 - PROPOSED SANITARY SEWER LINE
 - EXISTING STORM DRAINAGE LINE
 - PROPOSED STORM DRAINAGE LINE

N/T
CHRISTOPHER K. &
JENNIFER S. HARRISON
PNC: 0785878174
DB 1566, PG 17
ZONED: R-4
USE: SINGLE FAMILY

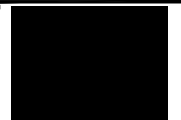
N/T
JAMES G. HEONIS HEIRS
PNC: 0785877201
DB 18-E, PG 2419
ZONED: R-4
USE: SINGLE FAMILY





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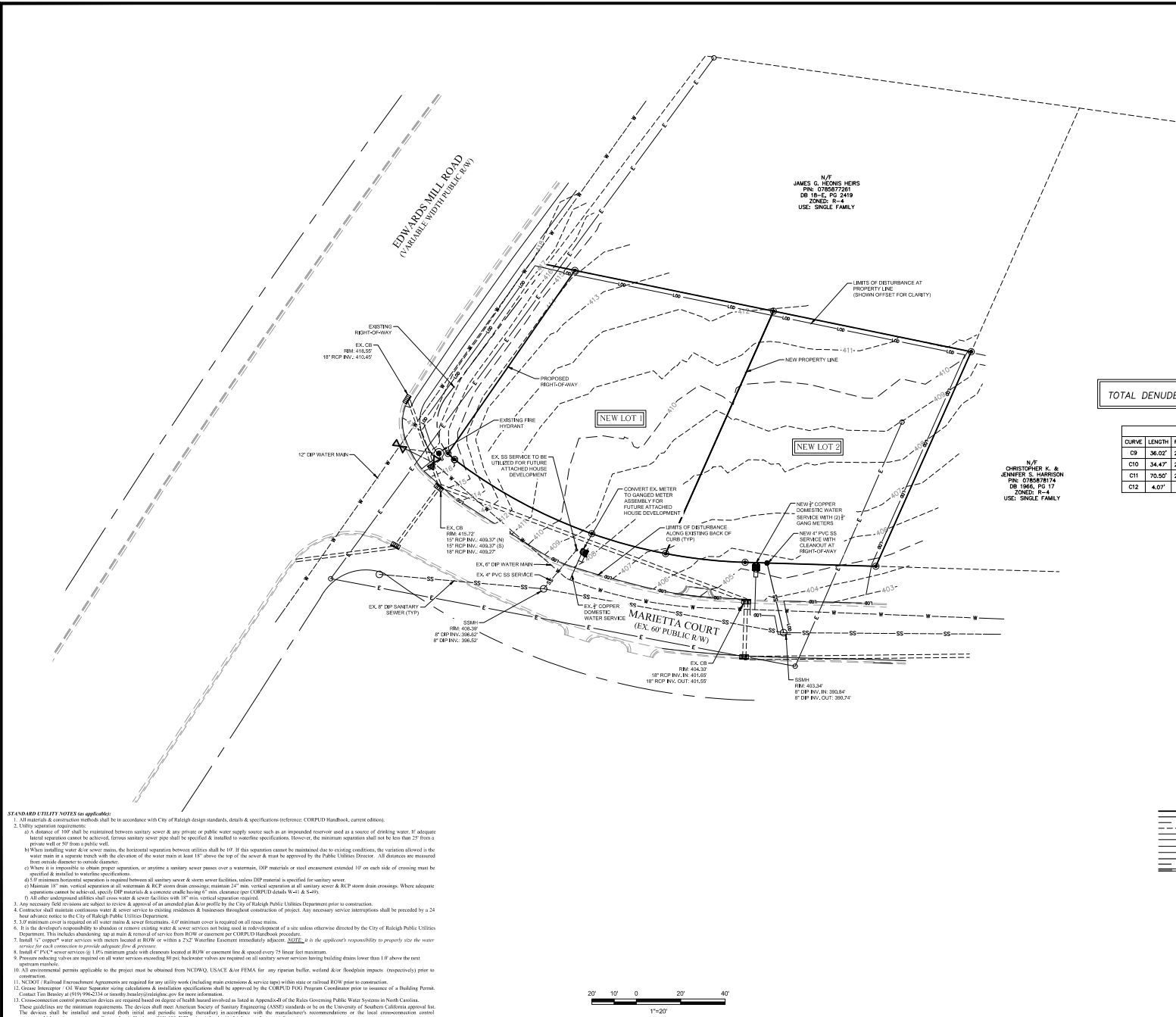
Revisions		
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1	CITY OF RALEIGH COMMENTS	10/19/21

Revisions		
Number	Description	Date

UTILITY AND
GRADING PLAN

CE-3

Date Issued: 09/16/2021



STANDARD UTILITY NOTES (as applicable):

- All materials & construction methods shall be in accordance with City of Raleigh design standards, details & specifications (reference: CORPUD Handbook, current edition).
- Utility separation requirements:
 - A distance of 10' shall be maintained between sanitary sewer & any private or public water supply source such as an imposed reservoir used as a source of drinking water. If adequate lateral separation cannot be achieved, lateral sanitary sewer pipe shall be specified & installed to satisfy specifications. However, the minimum separation shall not be less than 2' from a private well or 2' from a public well.
 - When installing water & sewer mains, the horizontal separation between utilities shall be 10'. If this separation cannot be maintained due to existing conditions, the variation allowed in the water main is a separate trench with the elevation of the water main at least 1' above the top of the sewer & must be approved by the Public Utilities Director. All dimensions are measured from outside diameter to outside diameter.
 - When it is impossible to obtain proper separation, or anytime a sanitary sewer passes over a watermain, DIP materials or steel encasement extended 10' on each side of crossing must be specified & installed to satisfy specifications.
 - If minimum horizontal separation is required between all sanitary sewer & storm sewer facilities, unless DIP material is specified for sanitary sewer.
 - Minimum 12" min. vertical separation at all watermain & RCP storm drain crossings; minimum 24" min. vertical separation at all sanitary sewer & RCP storm drain crossings. Where adequate separation cannot be achieved, specify DIP materials & a concrete grade having 10' min. clearance per CORPUD details W-1 & T-9.
 - All other underground utilities shall cross water & sewer facilities with 12" min. vertical separation required.
- Any necessary field revision are subject to review & approval of an authorized plan & survey profile by the City of Raleigh Public Utilities Department prior to construction.
- Contractor shall maintain continuous water & sewer service to existing residences & businesses throughout construction of project. Any necessary service interruptions shall be preceded by a 24-hour advance notice to the City of Raleigh Public Utilities Department.
- 3/4" minimum cover is required on all water mains & sewer laterals. 4/8" minimum cover is required on all road mains.
- It is the developer's responsibility to address or correct existing water & sewer services not being used in full alignment of a site unless otherwise directed by the City of Raleigh Public Utilities Department. This includes abandoning, up to main & removal of service from ROW or easement per CORPUD Handbook procedures.
- Install 1/2" copper water services with meters located at ROW or easement line & spaced every 75' from first meter.
- Install 4" PVC sewer services at 1.0' minimum grade with cleanouts located at ROW or easement line & spaced every 75' from first meter.
- Pressure reducing valves are required on all water services exceeding 80 psi; backwater valves are required on all sanitary sewer services having building drains lower than 1.0' above the next upstream manhole.
- All environmental permits applicable to the project must be obtained from NCDOW, USACE, AEC/FEMA for any riparian buffer, wetland &/or floodplain impacts (respectively) prior to construction.
- NCDOT (Roadway Encroachment Agreements are required for any utility work (including main extensions & service taps) within state or railroad ROW prior to construction.
- Obtain Interceptor (or Water Separator using calculations & installation specifications shall be approved by the CORPUD PDI Program Coordinator prior to issuance of a Building Permit.
- Contact Tim Brinkley at (919) 996-2334 or timothy.brinkley@raleighnc.gov for more information.
- Consolidated construction protection devices are required based on degree of health hazard involved as listed in Appendix B of the Public Governing Public Works Systems in North Carolina.

These guidelines are the minimum requirements. The devices shall meet American Society of Sanitary Engineering (ASSE) standards or be on the University of Southern California approval list. The devices shall be installed and used from their listed and provided location (horizontal) in accordance with the manufacturer's recommendations or the local cross-construction control program, whichever is more stringent. Contact Joanne Hartley at (919) 996-5923 or joanne.hartley@raleighnc.gov for more information.



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Project

**MARIETTA COURT
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(SUB-0070-2021)**

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Aggrevated

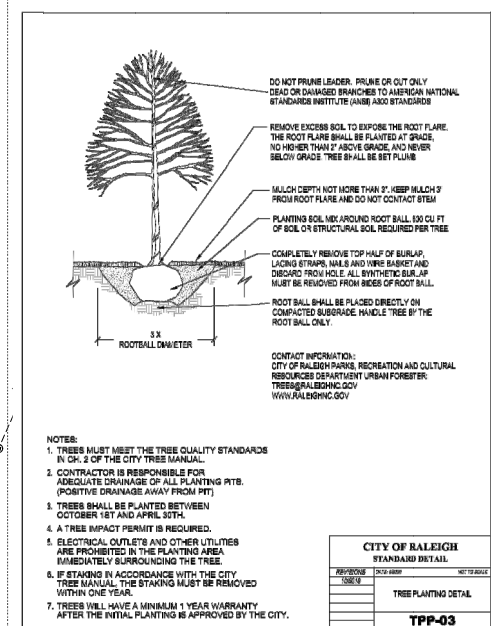
Drawing Title

LANDSCAPE PLAN

Sheet Number

LA-1

Date Issued 09/08/2021



CITY OF RALEIGH		
STANDARD DETAIL		
REVISIONS	DATE	BY
1		
TREE PLANTING DETAIL		
TPP-03		



LEGEND

BM	BOOK OF MAPS
DE	DEED BOOK
PG	PAGE
N/F	NOW OR FORMERLY
R/W	RIGHT OF WAY
EP	EXISTING IRON PIPE
EMAG	EXISTING MAG NAIL
EPK	EXISTING PK NAIL
ERS	EXISTING RAILROAD SPIKE
ENAIL	EXISTING NAIL FOUND
ERAIL	EXISTING RAIL FOUND
ECM	EXISTING CONCRETE MONUMENT
IPS	IRON PIPE SET
MAG	MAG NAIL SET
CP	COMPUTED POINT
R	REINFORCED CONCRETE STORM PIPE
PP	POWER POLE
GUY	GUY ANCHORS

- ⊗ PROPOSED INSERTION VALVE
- ⊕ EXISTING FIRE HYDRANT
- ◆ PROPOSED FIRE HYDRANT
- ⊗ EXISTING WATER VALVE
- ⊕ PROPOSED WATER VALVE
- ▷ EXISTING WATER REDUCER
- ▷ PROPOSED WATER REDUCER
- EXISTING WATER METER
- PROPOSED WATER METER
- EXISTING HOT BOX
- PROPOSED HOT BOX
- EXISTING MANHOLE
- PROPOSED MANHOLE

PROPOSED WATER LINE
 BOUNDARY LINE
 RIGHT OF WAY LINE
 LINES NOT SURVEYED
 EASEMENT LINES
 E OVERHEAD ELECTRICAL LINES
 W EXISTING WATER LINE
 PROPOSED WATER LINE
 SS EXISTING SANITARY SEWER LINE
 S PROPOSED SANITARY SEWER LINE
 EXISTING STORM DRAINAGE LINE
 PROPOSED STORM DRAINAGE LINE

CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C9	36.02'	227.52'	009°04'17"	35.98'	N83°44'09.07"W
C10	34.47'	227.52'	008°40'53"	34.44'	N74°51'34.11"W
C11	70.50'	227.52'	017°45'10"	70.21'	N46°36'32.71"W
C12	4.07'	20.00'	011°39'06"	4.06'	N46°59'26.64"W

PLANT SCHEDULE		KEY	BOTANICAL / COMMON NAME	SIZE	ROOT	MATURE HT/SPREAD	REMARKS
	QI		<i>Quercus lyrata</i> / Overcup Oak	3" DIA./10' HT.	CONT./ B & B	45-70' HT 40' SPREAD	
	HC		<i>Halepna cordata</i> / Carolina Silverbell	1.5" DIA./8' HT.	CONT./ B & B	30-40' HT 20' SPREAD	SHINGLE STEM OVERHEAD POWER

NOTES:

1. ALL STREET TREES ARE TO BE PLANTED IN ACCORDANCE WITH CITY OF RALEIGH STANDARD DETAIL TFP-03.
2. STREET TREES SHALL BE MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY TREE MANUAL.