



Administrative Approval Action

Case File / Name: SUB-0073-2021
DSLCL - 4001 Maynard Subdivision

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located on the south side of Old Poole Road, east of Dowling Road at 4001 Maynard Place. This site is outside the city limits.

REQUEST: Subdivision of a R-6 zoned, vacant 0.52 acre/22,940 sf tract with proposed right-of-way dedication of 761 sf leaving a net area of 22,179 sf/0.51 acres. The subdivision proposes 3 detached single-unit lots. Proposed New Lot 1 being 7,398 sf/0.17 ac; New Lot 2 - 7,397 sf/0.17 ac; New Lot 3 being 7,382 sf/0.17 ac.

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated January 7, 2022 by George Finch/Boney and Associates, P.A..

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

General

1. Submit a petition of annexation form for review and processing prior to approval of any recorded map and recording at Wake County Register of Deeds.

Engineering

2. A Slope easement deed of easement shall be approved by City staff and the location of the easement shall be shown on a plat approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recording. If a recorded copy of the document is not provided, further recordings and building permit issuance will be withheld.
3. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.



Administrative Approval Action

Case File / Name: SUB-0073-2021
DSLCL - 4001 Maynard Subdivision

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

4. A 5' and 2.5' utility placement easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.
5. A fee-in-lieu for sidewalk shall be paid to the City of Raleigh (UDO 8.1.10).
6. A public infrastructure surety shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.

Urban Forestry

7. A public infrastructure surety for 3 street trees shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

Stormwater

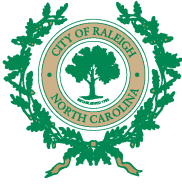
1. These lots are exempt per UDO Section 9.2.2.A.2.b.i as a residential subdivision of one acre or less approved after May 1, 2001, but are subject to impervious limitations of subsection A.4 and subject to further review upon placement of impervious surface areas.
2. If total land disturbance will be over 12,000 sq. ft. for multiple houses, a separate site plan submittal & approval will be required. Site plans require an erosion control plan. (UDO 9.4.6.)
3. Impervious restrictions for each lot must be recorded on a plat prior to building permit issuance.

Urban Forestry

4. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 3 street trees along Maynard Place.

The following are required prior to issuance of building occupancy permit:

General



Administrative Approval Action

Case File / Name: SUB-0073-2021
DSLC - 4001 Maynard Subdivision

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

1. Final inspection of all right of way street trees by Urban Forestry Staff.

EXPIRATION DATES: If significant construction has not taken place on a project after preliminary subdivision approval, that approval may "sunset" and be declared void, requiring re-approval before permits may be issued. To avoid allowing this preliminary approval to "sunset", the following must take place by the following dates:

3-Year Sunset Date: June 8, 2025

Record at least ½ of the land area approved.

5-Year Sunset Date: June 8, 2027

Record entire subdivision.

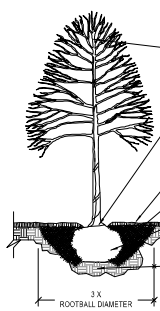
I hereby certify this administrative decision.

Signed: *Alycia Bailey Taylor* **Date:** 02/09/2022
Development Services Dir/Designee
Staff Coordinator: Jermont Purifoy

3" ACES FLOREAL™
100% 50% SLANT MAKE
40" O.C.
MINIMUM 1" GAUGES KEY HEIGHT AT INSTALLATION
60" H X 30" W AT MATURITY

NOTES:
STREET TREES SHALL BE INSTALLED AND MAINTAINED IN
ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2
OF THE CITY TREE MANUAL.

2
CZ STREET TREE PLANTING
SCALE: 1" = 30'



- DO NOT PRUNE LEADER, PRUNE OR CUT ONLY
DEAD OR DAMAGED BRANCHES TO AMERICAN NATIONAL
STANDARDS INSTITUTE (ANSI) A300 STANDARDS
- REMOVE EXCESS SOIL TO EXPOSE THE ROOT FLARE.
THE ROOT FLARE SHALL BE PLANTED AT GRADE,
NO HIGHER THAN 2" ABOVE GRADE, AND NEVER
BELOW GRADE. TREE SHALL BE SET PLUMB
- MULCH DEPTH NOT MORE THAN 3". KEEP MULCH 3"
FROM ROOT FLARE AND DO NOT CONTACT STEM
- PLANTING SOIL MIX AROUND ROOT BALL: 600 CU FT
OF SOIL OR STRUCTURAL SOIL REQUIRED PER TREE
- COMPLETELY REMOVE TOP HALF OF BURLAP,
LACING STRAPS, NAILS AND WIRE BASKET AND
DISCARD FROM HOLE. ALL SYNTHETIC BURLAP
MUST BE REMOVED FROM SIDES OF ROOT BALL
- ROOT BALL SHALL BE PLACED DIRECTLY ON
COMPACTED SUBGRADE. HANDLE TREE BY THE
ROOT BALL ONLY.

CONTACT INFORMATION:
CITY OF RALEIGH PARKS, RECREATION AND CULTURAL
RESOURCES DEPARTMENT URBAN FORESTER
TREES@RALEIGH.GOV
WWW.RALEIGH.GOV

- NOTES:
- TREES MUST MEET THE TREE QUALITY STANDARDS
IN CH. 2 OF THE CITY TREE MANUAL.
 - CONTRACTOR IS RESPONSIBLE FOR
ADEQUATE DRAINAGE OF ALL PLANTING PITS
(POSITIVE DRAINAGE AWAY FROM PIT)
 - TREES SHALL BE PLANTED BETWEEN
OCTOBER 1ST AND APRIL 30TH.
 - A TREE IMPACT PERMIT IS REQUIRED.
 - ELECTRICAL OUTLETS AND OTHER UTILITIES
ARE PROHIBITED IN THE PLANTING AREA
IMMEDIATELY SURROUNDING THE TREE.
 - IF STAKING IN ACCORDANCE WITH THE CITY
TREE MANUAL, THE STAKING MUST BE REMOVED
WITHIN ONE YEAR.
 - TREES WILL HAVE A MINIMUM 1 YEAR WARRANTY
AFTER THE INITIAL PLANTING IS APPROVED BY THE CITY.

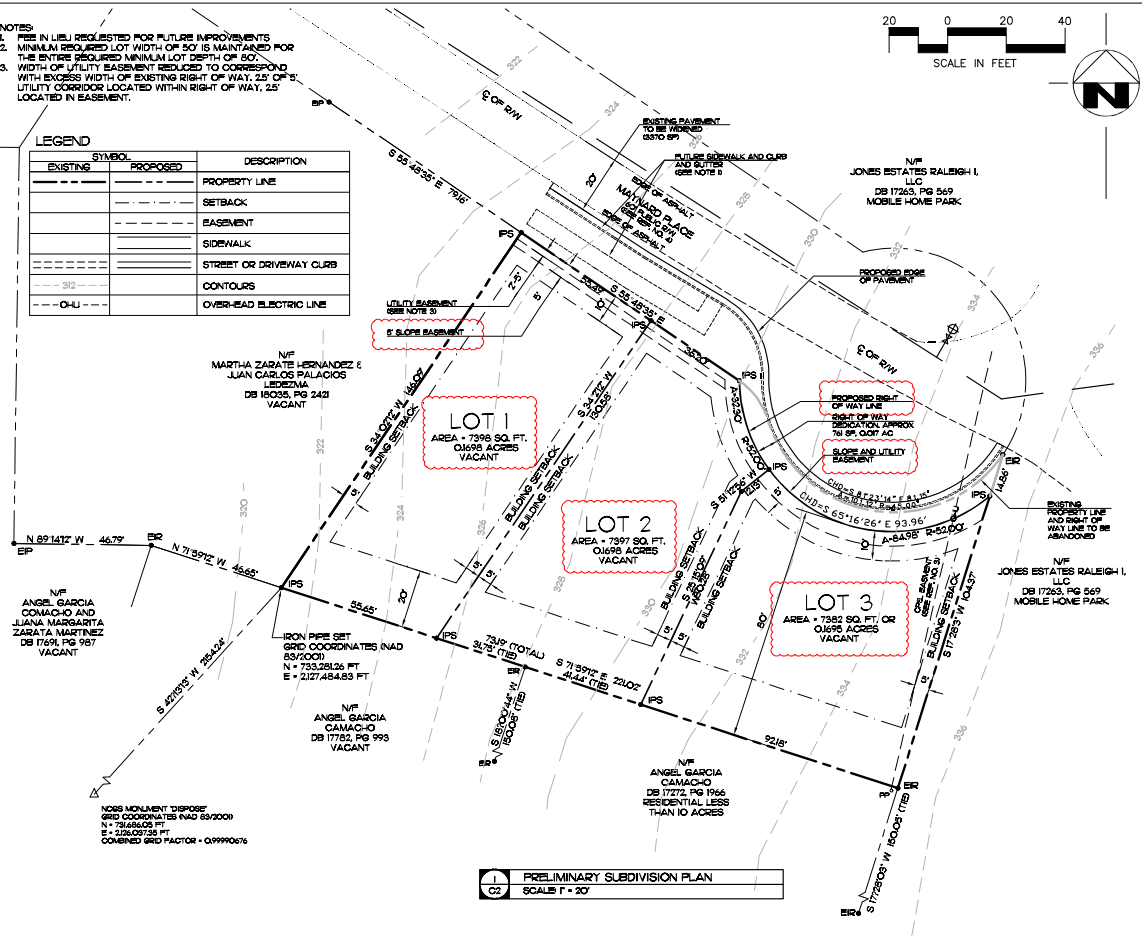
CITY OF RALEIGH STANDARD DETAIL		
REVISION	DATE	NOTED BY
10/20/21		
TREE PLANTING DETAIL		
TPP-03		

PRIOR TO ANY CONSTRUCTION ACTIVITY, UNDERGROUND
UTILITY LOCATIONS SHOULD BE REQUESTED BY CALLING
THE NORTH CAROLINA ONE CALL CENTER, INC.
(1-800-632-4343).

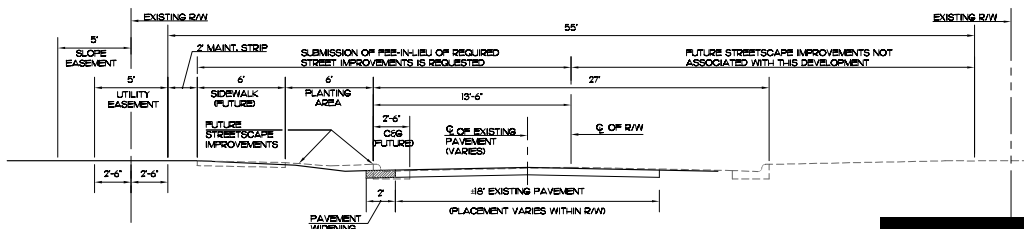


- NOTES:
- TREE IN LBL REQUESTED FOR FUTURE IMPROVEMENTS
 - MINIMUM REQUIRED LOT WIDTH OF 50' IS MAINTAINED FOR
THE ENTIRE REQUIRED MINIMUM LOT DEPTH OF 50'.
 - WIDTH OF UTILITY EASEMENT REDUCED TO CORRESPOND
WITH EXCESS WIDTH OF EXISTING RIGHT OF WAY. 25' OF 5'
UTILITY CORRIDOR LOCATED WITHIN RIGHT OF WAY, 25'
LOCATED IN EASEMENT.

LEGEND		DESCRIPTION
EXISTING	PROPOSED	PROPERTY LINE
---	---	SETBACK
---	---	EASEMENT
---	---	SIDEWALK
---	---	STREET OR DRIVEWAY CURB
---	---	CONTOURS
---	---	OVERHEAD ELECTRIC LINE



1
CZ PRELIMINARY SUBDIVISION PLAN
SCALE: 1" = 20'



3
CZ TYPICAL STREET SECTION
SCALE: 1/4" = 1'-0"

NOT

PROJECT #: SUB-0073-2021

PRELIMINARY SUBDIVISION PLAN
4001 MAYNARD PLACE
RALEIGH, NORTH CAROLINA

DRAWN BY: MVB
CHECKED BY: GVF
PROJ. NO.: 2016
DATE: 9/17/2021
C2 SHEET 1 OF 4

FINCH
ENGINEERING & ASSOCIATES
INCORPORATED

10/18/2021
1ST REVIEW
COMMENTS
1/7/2022
2ND REVIEW
COMMENTS

