



Administrative Approval Action

Case File / Name: SUB-0074-2021
DSLCL - 4005 Maynard Subdivision

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located on the south side of Old Poole Road, east of Dowling Road at 4005 Maynard Place, outside the city limits.

REQUEST: Development of a vacant 0.53 acre/23,099 sf tract zoned R-6. A proposed detached single-unit 3-lot subdivision; proposed New Lot 1 being 7,689 sf/.177 ac; New Lot 2 - 7,660 sf/.176 ac; New Lot 3 being 7,750 sf/.178 ac.

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated February 7, 2022 by George Finch/Boney and Associates, P.A..

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

Engineering

1. A fee-in-lieu for sidewalk is paid to the City of Raleigh (UDO 8.1.10).
2. A 2.5' utility placement easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.
3. A Slope easement deed of easement shall be approved by City staff and the location of the easement shall be shown on a plat approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recording. If a recorded copy of the document is not provided, further recordings and building permit issuance will be withheld.
4. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.

Public Utilities



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5. A Petition for Annexation into the City limits shall be submitted in accordance with City Council policy for extension of utility service to properties currently outside of the City limits. This voluntary annexation in no way obligates the City to extend utility services to the property.

Stormwater

6. If demolition causes a land disturbance of more than 12,000 sf, a mass grading permit will be required. (UDO 9.4.6)

Urban Forestry

7. A public infrastructure surety for 3 street trees shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plans, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

Engineering

1. A public infrastructure surety shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.

Urban Forestry

2. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 6 street trees along Maynard Place.

The following are required prior to issuance of building occupancy permit:

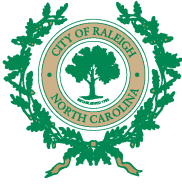
General

1. Final inspection of all right of way street trees by Urban Forestry Staff.

Stormwater

2. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).

EXPIRATION DATES: If significant construction has not taken place on a project after preliminary subdivision approval, that approval may "sunset" and be declared void, requiring re-approval before permits may be issued. To avoid allowing this preliminary approval to "sunset", the following must take place by the following dates:



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3-Year Sunset Date: June 29, 2025
Record at least 1/2 of the land area approved.

5-Year Sunset Date: June 29, 2027
Record entire subdivision.

I hereby certify this administrative decision.

Signed: *Alysis Bailey Taylor* **Date:** 03/02/2022
Development Services Dir/Designee
Staff Coordinator: Jermont Purifoy

PRELIMINARY SUBDIVISION

4005 MAYNARD PLACE

RALEIGH, NORTH CAROLINA

PROJECT #: SUB-0074-2021

OWNER / DEVELOPER:

Martha Zarate Hernandez & Juan
Carlos Palacios Ledezma

1400 Beichler Road, Garner, NC 27529

email:

TEL:

SITE/CIVIL

GEORGE FINCH/BONEY & ASSOCIATES, PA

309 NORTH BOYLAN AVENUE, RALEIGH, NC 27603-1402

TEL (919) 833-1212

GEORGE M. FINCH, JR., RLA - LICENSE # NC 375

SITE DATA TABLE

SITE INFORMATION

PIN NUMBER: 1723734356

REFERENCE: BNA 1962, P. 177

OWNER: MARTHA ZARATE HERNANDEZ AND JUAN CARLOS

PALACIOS LEDEZMA

ADDRESS: 4005 MAYNARD PLACE, RALEIGH, NC

TOTAL AREA: 23.099 SF, 0.5303 ACRES

ZONING: R-6

ZONING OVERLAY: NONE

WATERSHED: NEUSE RIVER BASIN

WATERSHED PROTECTION AREA: NONE

NO FRONTAGE REQUIREMENT

DEVELOPMENT INFORMATION:

EXISTING USE: VACANT

EXISTING FLOOR AREA: 0 SF

PROPOSED USE: SINGLE UNIT LIVING

PROPOSED DEVELOPMENT TYPE:

CONVENTIONAL, DETACHED HOUSE

TOTAL LOTS PROPOSED: 3

TOTAL DWELLING UNITS PROPOSED: 3

MINIMUM REQUIRED LOT DIMENSIONS

WIDTH: 50'

DEPTH: 80'

AREA: 6000 SF

PROPOSED LOT AREA:

LOT 1: 7689 SF, 176.5 AC

LOT 2: 7660 SF, 175.5 AC

LOT 3: 7750 SF, 177.9 AC

REQUIRED SETBACKS:

PRIMARY STREET: 10'

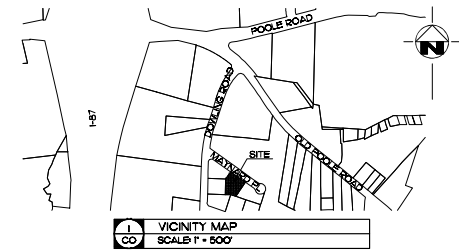
SIDE: 5'

REAR: 20'

MAX BUILDING HEIGHT ALLOWED: 40' / 3 STORIES

GROUND FLOOR ELEVATION 2' IF 20' OR LESS FROM

PROPERTY LINE



RIGHT OF WAY IMPROVEMENTS

PROPOSED: WIDEN EXISTING STREET TO 20' TO MEET WIDTH REQUIREMENTS FOR EMERGENCY VEHICLES. REQUEST FEE IN LIEU TO INCLUDE 6" CONCRETE SIDEWALK, 1/2 OF 27' STREET SECTION INCLUDING CURB AND GUTTER.

EXISTING 60' RIGHT OF WAY EXCEEDS REQUIRED RIGHT OF WAY WIDTH OF 55'. NO ADDITIONAL RIGHT OF WAY DEDICATION IS PROPOSED.

STORMWATER MANAGEMENT

THE PROPOSED SUBDIVISION IS LESS THAN ONE ACRE IN AGGREGATE SIZE, TO BE USED FOR SINGLE-UNIT DETACHED HOUSING, AND IS THEREFORE EXEMPT UNDER LDO SECTION 9.2.2.A.2.B.1 FROM ACTIVE STORMWATER CONTROL REQUIREMENTS. IMPERVIOUS SURFACE SHALL NOT EXCEED 51% OF THE AREA OF ANY LOT.

RIGHT OF WAY IMPROVEMENTS WILL REQUIRE THE ADDITION OF 1394 SF OF IMPERVIOUS AREA. ONE THIRD (465 SF) OF THE IMPERVIOUS AREA WITHIN THE RIGHT OF WAY WILL BE DEDUCTED FROM THE ALLOWABLE IMPERVIOUS AREA OF EACH OF THE THREE LOTS.

MAXIMUM IMPERVIOUS WITHOUT DEVICE OR STUDY PER LDO 9.2.2.A.4.B & C.

LOT 1 IMPERVIOUS LIMIT: (7689 SF X 51%) - 465 SF IMPERVIOUS IN

RIGHT-OF-WAY + 3456 SF

LOT 2 IMPERVIOUS LIMIT: (7660 SF X 51%) - 465 SF IMPERVIOUS

IN RIGHT-OF-WAY + 3442 SF

LOT 3 IMPERVIOUS LIMIT: (7750 SF X 51%) - 465 SF IMPERVIOUS IN

RIGHT-OF-WAY + 3488 SF

IMPERVIOUS LIMIT FOR EACH LOT TO BE RECORDED ON PLAT PRIOR TO BUILDING PERMITS

TREE CONSERVATION

NOT REQUIRED. SITE IS LESS THAN 2 ACRES. (LDO 9.1.2)

GENERAL NOTES

- BOUNDARY LINES, EXISTING UTILITIES, AND EXISTING STRUCTURES TAKEN FROM A SURVEY CONDUCTED BY GEORGE FINCH-BONEY AND ASSOCIATES, P.A., COMPLETED ON 11/4/2021.
- TOPOGRAPHIC INFORMATION PROVIDED BY WAKE COUNTY GIS.
- ALL DIMENSIONS AND STAKING POINTS ARE TO BACK OF CURB UNLESS NOTED OTHERWISE.
- LOCATIONS FOR EXISTING UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE ONLY. CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO SAME.
- ALL PERMITS RELATIVE TO THIS PROJECT SHALL BE OBTAINED PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES.
- ALL CONSTRUCTION SHALL COMPLY WITH APPLICABLE CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
- NO FEMA MAPPED FLOOD BOUNDARIES EXIST ON THE PROJECT SITE.
- THERE ARE NO WETLANDS WITHIN THE PROJECT AREA.
- ALL NEW DRIVEWAY LOCATIONS WILL BE DETERMINED AND PERMITTED IN CONJUNCTION WITH BUILDING PERMIT SUBMITTALS. DRIVEWAYS SHALL CONFORM TO CITY OF RALEIGH STANDARDS.
- DEVELOPERS HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.
- SOLID WASTE TO BE HANDLED BY SOIL OUT CONTAINERS FOR EACH LOT.
- PROPERTY IS SUBJECT TO RESIDENTIAL INFILL RULES PER LDO SECTION 2.2.7. NO CONSTRUCTION EXISTS ON NEIGHBORING PROPERTIES TO BE USED IN DETERMINING A COMPARATIVE SAMPLE SETBACKS ARE DETERMINED BY UNDERLYING ZONING REQUIREMENTS.
- PER LDO SEC. 8.3.3.A.2.B THE PROPERTY IS EXEMPT FROM BLOCK PERIMETER REQUIREMENTS.

ALL CONSTRUCTION SHALL CONFORM TO THE LATEST STANDARDS, SPECIFICATIONS, AND DETAILS OF THE CITY OF RALEIGH AND THE NCDDOT.

THESE PLANS ARE PREPARED FOR REVIEW AND PERMITTING BY THE LOCAL AUTHORITIES HAVING JURISDICTION OVER APPLICABLE PORTIONS OF THE WORK, AND AS SUCH ARE NOT RELEASED FOR CONSTRUCTION UNTIL SO NOTED.

INDEX OF DRAWINGS

- C0 COVER SHEET
- C1 EXISTING CONDITIONS
- C2 SITE PLAN AND LANDSCAPING PLAN
- C3 UTILITIES PLAN

NOT FOR CONSTRUCTION

REVISIONS
12/8/2021
1ST REVIEW
COMMENTS
17/7/2022
2ND REVIEW
COMMENTS
17/7/2022
3RD REVIEW
COMMENTS

George M. Finch, Jr.
Professional Engineer
Raleigh, NC 27603-1402
P 919 833-1212
F 919 833-1212
NCELA Lic. No. E-1545
NCELA Lic. No. C-1545

FINCH
BONEY & ASSOCIATES
P.A.
309 North Boylan Avenue
Raleigh, NC 27603-1402

PRELIMINARY SUBDIVISION PLAN
4005 MAYNARD PLACE
RALEIGH, NORTH CAROLINA

DRAWN BY: MVE
CHECKED BY: GVF
PROJ. NO.: 20035
DATE: 9/17/2021
CO SHEET 1 OF 4

Preliminary Subdivision Application Planning and Development

Planning and Development | Planning and Development | Planning and Development | Planning and Development | Planning and Development



INSTRUCTIONS: This form is used when submitting a Preliminary Subdivision (UDO Section 10.2.5). Please check the appropriate review type and include the plan checklist document. Please email all documents and your preliminary subdivision plans to SiteReview@raleighnc.gov.

DEVELOPMENT TYPE (UDO Section 2.1.2)

Conventional Subdivision ☐ Compact Development ☐ Conservation Development ☐ Cottage Court ☐

NOTE: Subdivisions may require City Council approval if in a Metro Park Overlay or Historic Overlay District

GENERAL INFORMATION

Scoping/sketch plan case number(s): SCOPE-0067-2021

Development name (subject to approval): 4005 Maynard Subdivision

Property Address(es): 4005 Maynard Place, Raleigh, NC

Recorded Deed PIN(s): 1723734356, David Road 018035 Page 02471

What is your project type? ☒ Single family ☐ Townhouse ☐ Attached houses ☐ Other

☐ Apartment ☐ Non-residential

Current property owner/developer information

NOTE: Please attach purchase agreement when submitting this form

Company: N/A Owner/Developer Name and Title: Martha Zarate Hernandez and Juan Carlos Palacios Ledezma

Address: 1400 Beichler Road, Garner, NC 27529

Phone #: 919-279-7776 Email:

Company: George Finch-Boney and Assoc. P.A. Contact Name and Title: George Finch, ASLA

Address: 309 N. Boylan Ave, Raleigh, NC 27603

Phone #: 919-833-1212 Email: gfinch@gbna.net

Continue to page 2 >>

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REVISION 02.18.21

raleighnc.gov

DEVELOPMENT TYPE • SITE DATA TABLE

(Applicable to all developments)

ZONING INFORMATION

Choose all that apply: 0.0000

Zoning districts (if more than one, provide acreage of each): R-6

Overlay district (NONE) Inside City limits? ☐ Yes ☒ No

Conditional Use District (CUD) Case # Z: (NONE) Board of Adjustment (BOA) Case # A: (NONE)

STORMWATER INFORMATION

Existing Impervious Surface: Acres: 0 Square Feet: 0

Proposed Impervious Surface: Acres: 0.007 Square Feet: 318

Neuse River Buffer ☐ Yes ☒ No Wetlands ☐ Yes ☒ No

Is this a flood hazard area? ☐ Yes ☒ No

If yes, please provide the following:

Abundant soils:

FEMA Map Panel #:

NUMBER OF LOTS AND DENSITY

Total # of townhouse lots: Detached: 0 Attached: 0

Total # of single-family lots: 3

Proposed density for each zoning district (UDO 1.5.2.F): 6.7 units/acre

Total # of open space and/or common area lots: 0

Total # of requested lots: 3

SIGNATURE BLOCK

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

I, George Finch, do hereby certify that I am duly qualified to prepare and submit this application, and will execute and respond to administrative comments, resubmit plans and applicable documentation, and will represent the property owner(s) in any public meeting regarding this application.

I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.

Signature: George Finch Date: 9/17/2021

Printed Name: George Finch

Signature:

Printed Name:

Please email your completed application to SiteReview@raleighnc.gov.

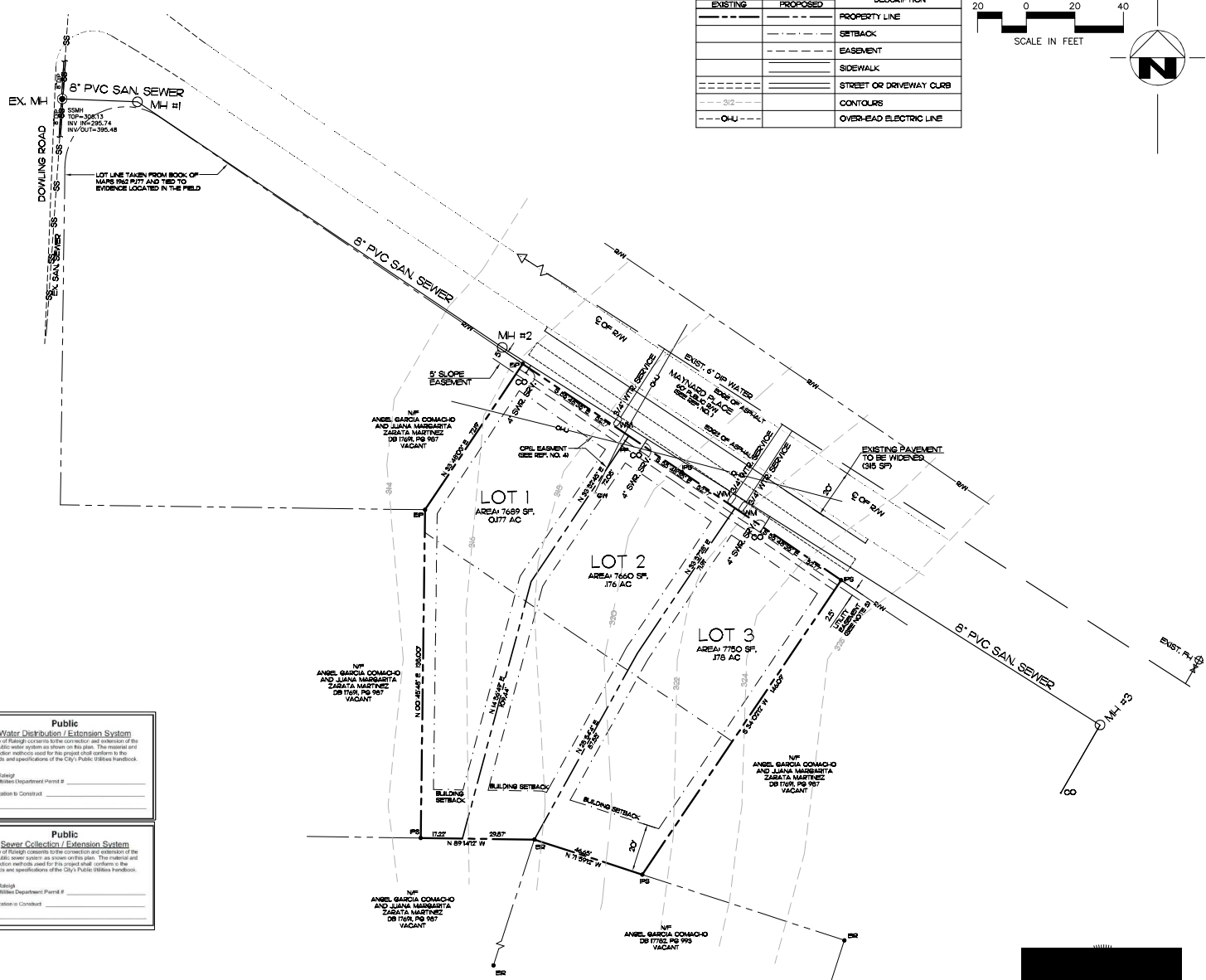
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REVISION 02.18.21

raleighnc.gov

CITY OF RALEIGH STANDARD UTILITY NOTES

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORP'D HANDBOOK, CURRENT EDITION)
- UTILITY SEPARATION REQUIREMENTS:
 - A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN UNPOLLUTED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - WHEN INSTALLING WATER & SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER. THIS MUST BE APPROVED BY THE PUBLIC UTILITIES DEPARTMENT. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENGAGEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - 5.0 MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & ROP STORM DRAIN CROSSINGS. MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & ROP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE COARSE HAVING 6" MIN. CLEARANCE (PER CORP'D DETAILS W-41 & S-49).
 - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN & OF RECORD BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24-HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- 5.0 MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 40" MINIMUM COVER IS REQUIRED ON ALL SEWER MAINS.
- INSTALL 1/2" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE. INSTALL 4" PVC SEWER SERVICES + 10' MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75' LINEAR FEET MAXIMUM. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 10' ABOVE THE NEXT UPSTREAM MANHOLE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCWQS, USACE & OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND & OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.



ATTENTION CONTRACTORS

THE CONSTRUCTION CONTRACTOR RESPONSIBLE FOR THE EXTENSION OF WATER, SEWER, AND/OR REUSE, AS APPROVED IN THESE PLANS, IS RESPONSIBLE FOR CONTACTING THE PUBLIC WORKS DEPARTMENT AT (919) 996-2409, AND THE PUBLIC UTILITIES DEPARTMENT AT (919) 996-4540 AT LEAST TWENTY FOUR HOURS PRIOR TO BEGINNING ANY OF THEIR CONSTRUCTION.

FAILURE TO NOTIFY BOTH CITY DEPARTMENTS IN ADVANCE OF BEGINNING CONSTRUCTION, WILL RESULT IN THE ISSUANCE OF MONETARY FINES, AND REQUIRE REINSTATEMENT OF ANY WATER OR SEWER FACILITIES NOT INSPECTED AS A RESULT OF THIS NOTIFICATION FAILURE.

FAILURE TO CALL FOR INSPECTION, INSTALL A DOWNSTEAM PLUG, HAVE PERMITTED PLANS ON THE JOBSITE, OR ANY OTHER VIOLATION OF CITY OF RALEIGH STANDARDS WILL RESULT IN A FINE AND POSSIBLE EXCLUSION FROM FUTURE WORK IN THE CITY OF RALEIGH.

PRIOR TO ANY CONSTRUCTION ACTIVITY, UNDERGROUND UTILITY LOCATIONS SHOULD BE REQUESTED BY CALLING THE NORTH CAROLINA ONE CALL CENTER, INC. (1-800-632-4949).



Public
Water Distribution / Extension System
The City of Raleigh consents to the connection and extension of the City's public water system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.

City of Raleigh
Public Utilities Department Permit # _____
Authorization to Construct _____
Date _____

Public
Sewer Collection / Extension System
The City of Raleigh consents to the connection and extension of the City's public sewer system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.

City of Raleigh
Public Utilities Department Permit # _____
Authorization to Construct _____
Date _____

REVISIONS
12/8/2021
1ST REVIEW
17/2022
2ND REVIEW
3/7/2023
3RD REVIEW
COMMENTS

FINCH & ASSOCIATES
200 West Main Street
Raleigh, NC 27603-1602
P 919 833-3122
F 919 833-3123
NORCIS Lic. No. C-1845
NORCIS Lic. No. C-1846

FINCH & ASSOCIATES
REGISTERED PROFESSIONAL ENGINEERS
SINCE 1979

PRELIMINARY SUBDIVISION PLAN
4005 MAYNARD PLACE
RALEIGH, NORTH CAROLINA

DRAWN BY: MMB
CHECKED BY: GVF
PROJ. NO.: 20035
DATE: 9/17/2021
C3
SHEET 1 OF 4

1 UTILITIES PLAN
CS SCALE: 1" = 20'