



# Administrative Approval Action

Case File / Name: SUB-0078-2022  
DSLC - THE PARC @ 540

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2492  
currentplanning@raleighnc.gov  
www.raleighnc.gov

**LOCATION:** This site is located on the north side of Buffaloe Road, west of Forestville Road and is composed of four parcels currently at 4908, 4924 Forestville Road and 4160, 4172 Landover Lane. The site is outside the city limits.

**REQUEST:** Development of a 34.08 acre site zoned R-4, with 5.55 acres of right-of-way dedication, leaving a net area of 28.52 acres. There are currently some detached single-family dwellings to be removed from the four parcels which will comprise the development. It is a proposed Compact Subdivision of 164 townhomes and 3 HOA Common Lots to be developed in 2 phases (total of 167 lots). Phase 1 net site area being 805,016 sf and Phase 2, 437,299 sf. Phase 1 will have 101 units and Phase 2 will have 63 units.

**DESIGN  
ADJUSTMENT(S)/  
ALTERNATES, ETC:** N/A

**FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated June 2, 2023 by Baker Residential.

## **CONDITIONS OF APPROVAL and NEXT STEPS:**

*This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:*

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

***The following items are required prior to approval of Site Permitting Review plans:***

### **General**

1. Elevations are inserted into the civil Site Permit Review plans set sheets for all proposed retaining walls.

### **Engineering**

2. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to the City of Raleigh Transportation Department – Mobility Strategy and Infrastructure Division prior to Site Permit review approval.

### **Public Utilities**

3. A deed shall be recorded prior to concurrent approval for all necessary offsite City of Raleigh Sanitary Sewer Easements to accommodate future sewer line construction.
4. A Downstream Sewer Capacity Study in compliance with the City of Raleigh Public Utilities Department Handbook shall be submitted by the Project Engineer for review and approval.



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## Stormwater

5. The State of North Carolina shall approve any proposed disturbance within the riparian buffer prior to the issuance of any grading or site permit (UDO 9.2.3.E).
6. A 100-year floodplain analysis shall be submitted and approved by the Engineering Services Department prior to the issuance of any grading or site permit (UDO 9.3).
7. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
8. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
9. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).

## Urban Forestry

10. Submit a final tree conservation plan that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required (UDO 9.1.5).
11. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.

☒ **LEGAL DOCUMENTS** - Email to [legaldocumentreview@raleighnc.gov](mailto:legaldocumentreview@raleighnc.gov). Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Utility Placement Deed of Easement Required
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<input checked="" type="checkbox"/>	Stormwater Maintenance Covenant Required
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☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

***The following items must be approved prior to recording the plat:***

## General

1. Demonstrate compliance with UDO Section 2.5.7 regarding required open space.
2. Provide documentation indicating a Property Owner's Association has been established for the subject development.
3. Street names for this development shall be approved by the Raleigh GIS Division and by Wake County.





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4. A demolition permit shall be issued and this building permit number shown on all maps for recording.
5. A recombination plat shall be recorded with Wake Co. Register of Deeds, prior to or in conjunction with the plat recording of residential lots SUB-0078-2022, recombining the existing residential tracts into 1 proposed site tract.

## **Engineering**

6. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.
7. A 5' utility placement easement deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
8. A public infrastructure surety shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.

## **Public Utilities**

9. Infrastructure Construction Plans (SPR submittal) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.
10. A Petition for Annexation into the City limits shall be submitted in accordance with City Council policy for extension of utility service to properties currently outside of the City limits. This voluntary annexation in no way obligates the City to extend utility services to the property.

## **Stormwater**

11. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).
12. The riparian buffers, in accordance with the preliminary plan and the State of North Carolina regulations, shall be shown on plats for recording along with required buffer statement (Recorded Map Checklist).
13. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).



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14. The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office (UDO 9.2.2.G).
15. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
16. The maximum allocated impervious area for all applicable lots in the subdivision should be identified on all maps for recording.

## Urban Forestry

17. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1). This development proposes 3.197 acres of tree conservation area.
18. A public infrastructure surety for the 148 required street trees shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 125% of the improvement cost for the City of Raleigh infrastructure. A public infrastructure surety for 44 required street trees shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion.

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

***The following items must be approved prior to the issuance of building permits:***

## General

1. A demolition permit shall be obtained.

## Public Utilities

2. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

## Stormwater

3. Impervious restrictions for each lot must be recorded on a plat prior to building permit issuance.

## Urban Forestry

4. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 17 street trees along Forestville Rd, 27 street trees along Landover Ln, 27 street trees along Serenity Meadow Dr, 22 street trees along Brookwalk Dr, 7 street trees along Emerald Moss Way, 46 street trees along Solstice View Dr, 15 street trees along Creekwalk Ct, 14 street trees along Rockwater Ct, and 17 street trees along Stillview Ct.



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***The following are required prior to issuance of building occupancy permit:***

## **General**

1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
2. All street lights and street signs required as part of the development approval are installed.

## **Stormwater**

3. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).
4. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

**EXPIRATION DATES:** If significant construction has not taken place on a project after preliminary subdivision approval, that approval may "sunset" and be declared void, requiring re-approval before permits may be issued. To avoid allowing this preliminary approval to "sunset", the following must take place by the following dates:

**3-Year Sunset Date: July 6, 2026**  
**Record at least ½ of the land area approved.**

**5-Year Sunset Date: July 6, 2028**  
**Record entire subdivision.**

I hereby certify this administrative decision.

**Signed:** *Daniel L. Stegall* **Date:** 07/06/2023  
Development Services Dir/Designee  
**Staff Coordinator: Jermont Purifoy**

Page 3 of 3

Page 1 of 1 [rslw@hmc.edu](#)

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**SIGNATURE BLOCK**

Pursuant to state law (N.C. Gen. Stat. § 160C-400(a)), authorizations for development approvals may be made by the

Printed Name:

rs.leighnc.gov


$$1'' = 1000'$$

FORESTVILLE ROAD  
RALEIGH, NORTH CAROLINA

## CITY OF RALEIGH CASE #SUB-0078-2022

PROJECT NUMBER: BAK-22001

DATE: NOVEMBER 23, 2022

NAME	FW	ADDRESS
COOPER'S MILL SE	1740154664	4177 LAMARQUETTE, BALDWIN NC 27016-0078
BRANDS AND JAYSON S. HOWARD	1740522429	4160 LAMARQUETTE, BALDWIN NC 27016-0078
BLURBORN HOLDINGS, LLC	1736448484	P.O. BOX 1736, BRIDGES NC 27609-1736
BLURBORN HOLDINGS, LLC	1736448484	2001 BOX 1736-01, BALDWIN NC 27016-0136

[illegible]

NET SITE AREA: 28.52 ACRES (1,240,316 SF)

OPEN SPACE:	
REQUIRED:	5.70 ACRES (248,463 SF) (20%)
PROVIDED:	11.04 ACRES (480,739 SF) (28.7%)
CONTIGUOUS OPEN SPACE:	
REQUIRED:	3.42 ACRES (50% OF REQUIRED OPEN SPACE)
PROVIDED:	6.89 ACRES (300,000 SF)
STORMWATER CONTROL MEASURES:	
ALLOWABLE:	3.43 ACRES (25% OF REQUIRED OPEN SPACE)
PROVIDED:	0.00 ACRES (0 SF)

NET SITE AREA

PHASE 1 NET SITE AREA:	10,800 SQ. FT. OR 0.25133 AC.
PHASE 2 NET SITE AREA:	10,039 SQ. FT. OR 0.231,290 SF.
DENSITY (MINIMUM SQUARE FEET): 6,000 (S.F./UNIT)	
PHASE 1 PROPOSED:	7,970 SF/UNIT (131 UNITS)
PHASE 2 PROPOSED:	6,941 SF/UNIT (143 UNITS)
OPEN SPACE (MINIMUM 20% REQUIRED PER PHASE)	
PHASE 1 REQUIRED:	3,300 ACRES OR 144,000 SF (20%)
PHASE 1 PROPOSED:	6.89 ACRES OR 300,000 SF (27% OF PH1 NET ACREAGE)
PHASE 2 REQUIRED:	10.00 ACRES OR 434,000 SF (20%)

### OUTDOOR AMENITY AREA CALCULATIONS

EXISTING SITE AREA:	84.00 ACROSS (1,494,000 SF)
OUTDOOR AMENITY AREA	
SIN. REQUIRED:	1.70 ACROSS (74,215 SF)
PROVIDED:	1.92 ACROSS (85,705 SF)
PHASE 1 PROVIDED:	1.679 AC. OR 75,157 SF.
PHASE 2 PROVIDED:	0.244 AC. OR 10,628 SF.

RESIDENTIAL LOTS	LOTS 1-164	164 LOTS
HQA/COMMUNITY LOTS	LOTS 1000-1002	3 LOTS

TOTAL LOTS:	167 LOTS
SEE SHEET C1.02 FOR LOT AREAS	

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(PER TC-5A-18, SEC.1.5.4.C)	
LOT NUMBER	PRIMARY STREET

21	SUNSHINE MEADOW DRIVE
24	FRATRIAL CROSS WAY
26	FRATRIAL CROSS WAY
28	FRATRIAL CROSS WAY
34	FRATRIAL CROSS WAY
37	ROCKWATER COURT
81	STILLWATER COURT
114	SOLISTICE VIEW DRIVE
128	SOLISTICE VIEW DRIVE
129	CREEKWALK COURT
164	CREEKWALK COURT

1. THE DEVELOPER ACKNOWLEDGES THAT THEY HAVE

2. THE SOLID WASTE REMOVAL FOR THIS PROJECT WILL BE HANDLED BY THE CITY OF RALEIGH.
3. INDIVIDUAL ROLLOUT CARTS WILL BE PROVIDED.
4. ALL REFUSE CONTAINERS WILL BE STORED IN INDIVIDUAL



CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.

C.0.00	PROJECT NOTES
C.1.00	EXISTING CONDITIONS
C.1.01	DEMOLITION PLAN
C.1.02	OVERALL LOTS AND EASEMENTS PLAN
C.2.00	OVERALL SUBDIVISION PLAN
C.2.01	SUBDIVISION AND LOT DIMENSION PLAN - AREA "A"
C.2.02	SUBDIVISION AND LOT DIMENSION PLAN - AREA "B"
C.2.03	SUBDIVISION AND LOT DIMENSION PLAN - AREA "C"
C.2.04	SUBDIVISION AND LOT DIMENSION PLAN - AREA "D"
C.2.05	SUBDIVISION AND LOT DIMENSION PLAN - AREA "E"
C.2.06	SUBDIVISION AND LOT DIMENSION PLAN - AREA "F"
C.2.07	TRANSPORTATION PLAN
C.3.00	OVERALL GRADING AND STORM DRAINAGE PLAN
C.3.01	GRADING AND STORM DRAINAGE PLAN - AREA "A"
C.3.02	GRADING AND STORM DRAINAGE PLAN - AREA "B"
C.3.03	GRADING AND STORM DRAINAGE PLAN - AREA "C"
C.3.04	GRADING AND STORM DRAINAGE PLAN - AREA "D"
C.3.05	GRADING AND STORM DRAINAGE PLAN - AREA "E"
C.3.06	GRADING AND STORM DRAINAGE PLAN - AREA "F"
C.4.00	OVERALL UTILITY PLAN
C.4.01	UTILITY PLAN - AREA "A"
C.4.02	UTILITY PLAN - AREA "B"
C.4.03	UTILITY PLAN - AREA "C"
C.4.04	UTILITY PLAN - AREA "D"
C.4.05	UTILITY PLAN - AREA "E"
C.4.06	UTILITY PLAN - AREA "F"
C.8.00	SITE DETAILS
C.8.01	SITE DETAILS
C.8.02	STORM DRAINAGE DETAILS
C.8.03	WATER DETAILS
C.8.04	SANITARY SEWER DETAILS
L.5.00	OVERALL CODE LANDSCAPE PLAN
L.5.01	CODE LANDSCAPE PLAN - AREA "A"
L.5.02	CODE LANDSCAPE PLAN - AREA "B"
L.5.03	CODE LANDSCAPE PLAN - AREA "C"
L.5.04	CODE LANDSCAPE PLAN - AREA "D"
L.5.05	CODE LANDSCAPE PLAN - AREA "E"
L.5.06	CODE LANDSCAPE PLAN - AREA "F"
L.5.07	OPEN SPACE PLAN
L.5.08	BLOCK PERIMETER PLAN
L.6.00	LIGHTING PERFORMANCE PLAN
L.8.00	TREE CONSERVATION PLAN



**McADAMS**

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[www.mcadamsco.com](http://www.mcadamsco.com)

MIKE SANCHEZ  
SANCHEZ@mcadamsco.com  
PHONE: 984.275.2223

BAKER RESIDENTIAL  
7001 WESTON PARKWAY, SUITE 150  
CARY, NC 27513  
CONTACT: MARK BOWLES  
PHONE: 984. 275. 2223



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Digitally signed by  
Jermont.Purifoy@raleighnc.gov  
Date: 2023.06.27 16:31:03-0400  
*Jermont Purifoy* Raleigh

The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for notifying the Public Works Department at (919) 996-2409 and the Public Utilities Department at (919) 996-4540 at least twenty four hours prior to beginning any of their construction.

Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstatement of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for inspection, install a Downstream Plug, have Permit Plans on the Jobsite or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.

1	03.10.2023	REVISED PER CITY OF RALEIGH COMMITTEE
2	04.25.2023	REVISED PER CITY OF RALEIGH COMMITTEE
2	06.02.2023	REVISED PER CITY OF RALEIGH COMMITTEE

the parc @ 540  
RALEIGH, NORTH CAROLINA  
PROJECT NUMBER: BAK-22001

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



[illegible]

- ### STORM DRAINAGE NOTES

1. ALL STORM DRAINAGE PIPES SHOWN SHALL BE REINFORCED CONCRETE (RCF) (MINIMUM CLASS 4) UNLESS NOTED OTHERWISE. CONTRACTOR TO COORDINATE WITH THE GEOTECH TO VERIFY TYPE OF BEDDING REQUIRED BASED ON SOIL CONDITIONS. CONTRACTOR TO PROVIDE PROTECTIVE BEDDING OF PIPE BASED ON DOWNSIDE OF PIPE AND BEDDING PROVIDED PER THE AMERICAN CONCRETE PIPE ASSOCIATION GUIDELINES.
2. ALL STORM DRAINAGE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF ALABAMA STANDARDS.
3. ALL CONCRETE SHALL MEET A MINIMUM 3000 PSI COMPRESSIVE STRENGTH.
4. ALL PIPE IN STORM DRAIN STRUCTURES SHALL BE STRUCK EVEN WITH INSIDE WALL.
5. ALL PIPE JOINTS SHALL BE MADE WITH PREFORMED JOINT SEALER, WHICH CONFORMS TO AASHTO SPECIFICATION M-188 FOR FLEXIBLE PLASTIC JOINT UNLESS OTHERWISE NOTED.
6. THE INTERIOR SURFACE OF ALL STORM DRAIN STRUCTURES SHALL BE POINTED UP AND SMOOTHED TO AN ACCEPTABLE STANDARD, USING MORTAR MIXED TO MANUFACTURER'S SPECIFICATIONS.
7. ALL BACKFILL SHALL BE NON-PLASTIC IN NATURE, FREE FROM ROOTS, VEGETATION MATTER, WASTE CONSTRUCTION MATERIAL OR OTHER DECOMPOSABLE MATERIAL. SAND MATERIAL SHALL BE CAPABLE OF BEING COMPACTED BY MECHANICAL MEANS AND SHALL BE COMPACTED TO 95% OF THE DRY WEIGHT OF THE MATERIAL. ALL TAMPING SHOULD BE DONE ON FOOTING.
8. MATERIALS BELONGING TO THE OWNER'S REPRESENTATIVE OR GEOTECH ARE UNSUITABLE FOR BACKFILL PURPOSES SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL.
9. BACKFILLING OF TRENCHES SHALL BE ACCOMPISHED IMMEDIATELY AFTER PIPE IS Laid. THE FILL ABOVE THE PIPE SHALL BE THOROUGHLY COMPACTED TO 95% OF THE DRY WEIGHT OF THE MATERIAL USING THE STANDARD PROCTOR TEST. THE TOP TO EIGHT (8) INCHES SHALL BE COMPACTED TO 100% TO MEET A STANDARD PROCTOR.
10. WHERE ON MICRORANGES SHALL WATER BE ALLOWED TO RISE IN UNBACKFILLED TRENCHES AFTER PIPE HAS BEEN PLACED.
11. ALL CONCRETE PIPE AND PRECAST STORM STRUCTURES SHALL MEET NECTD STANDARDS BY MANUFACTURER.
12. CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING ALL PIPE AND STRUCTURES FOR CRACKS OR BREAKS, PRIOR TO INSTALLATION. ANY DAMAGED ITEMS SHALL NOT BE INSTALLED.
13. "KNOCK OUT" HOLES ON HOPE PIPE SHALL NOT BE ALLOWED WITHIN PUBLIC RIGHT-OF-WAYS UNLESS APPROVED IN WRITING BY THE CITY OF ALABAMA STANDARDS.

THE RETAINING WALL ALIGNMENT SHOWN ON THESE PLANS DEPICTS THE LOCATION OF THE FRONT FACE OF THE RETAINING WALL. THE RETAINING WALL SHALL BE CONSTRUCTED WITH A MINIMUM OF 12" OF COMPACTED GRANULAR FILL BEHIND THE WALL, WITH STEAM BATTERS, AND THEIR CONSTRUCTION SHOULD NOT INFRINGE INTO ANY ADJACENT PROPERTIES BUT TO ANY BATTER INCORPORATED IN THE DESIGN OF THE WALLS.

2. RETAINING WALLS ARE TO BE DESIGN-BUILD PROJECTS BY THE CONTRACTOR. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ALL NECESSARY PERMITS FROM A REGISTERED ENGINEER AND GAIN ALL REQUIRED PERMITS NECESSARY FOR THE CONSTRUCTION OF THE RETAINING WALLS.

3. RETAINING WALLS SHALL BE ASSUMED TO BE FACILITATED WITH OFF-SITE STORAGE AND/OR PROCESSED RUM, UNLESS THE CONTRACTOR AGREES TO PROVIDE ON-SITE STORAGE AND/OR PROCESSING. THE GEOTECHNICAL ENGINEER AND THE WALL DESIGNER, THAT READY AVAILABLE ON SITE SOLIDS CAN BE USED.

4. THE TOP AND BOTTOM OF WALL ELEVATIONS SHOWN ON THESE PLANS CANNOT BE FINISHED GRADE ELEVATIONS. ONLY THE TOP OF WALL ELEVATIONS SHALL BE FINISHED GRADE ELEVATIONS. THE BOTTOM OF WALL ELEVATIONS SHALL BE FINISHED GRADE TO THE CARP COUS COURSE SHALL BE IDENTIFIED ON THE RETAINING WALL CONSTRUCTION DRAWINGS.

ALL RETAINING WALLS SHALL BE OVER 30" HIGH SHALL HAVE A SAFETY DESIGN (BY OTHERS).

5. ANY PART OF ANY RETAINING WALL THAT EXTENDS TO THE RIGHT-OF-WAY SHALL REQUIRE AN ENCROACHMENT AGREEMENT, FOR THE ENCROACHMENT AGREEMENT SHALL BE OBTAINED FROM THE CITY OF WASHINGTON, D.C. APPROVAL.

ANY TRUCK SYSTEMS FOR THE RETAINING WALLS SHALL NOT BE ALLOWED WITHIN PUBLIC RIGHT-OF-WAY.

STORMWATER RUN-OFF SHALL BE DIRECTED AWAY FROM RETAINING WALLS. ANY RUN-OFF FLOWING TO AND OVER A RETAINING WALL SHALL BE KEPT TO AN ABSOLUTE MINIMUM AND BROUGHT TO THE ATTENTION OF THE WALL DESIGNER PRO

SOLID WASTE SERVICE WILL INCLUDE THE USE OF 96 GALLON CONTAINERS FOR WASTE AND RECYCLABLES TO BE ROLLED OUT TO THE STREET FOR CITY OF RALEIGH PICK UP. SOLID WASTE CONTAINERS WILL BE STORED IN INDIVIDUAL GARAGES AS SHOWN ON THE DETAIL ON SHEET C8.00.

1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUS HANDBOOK, CURRENT EDITION).

- [illegible]

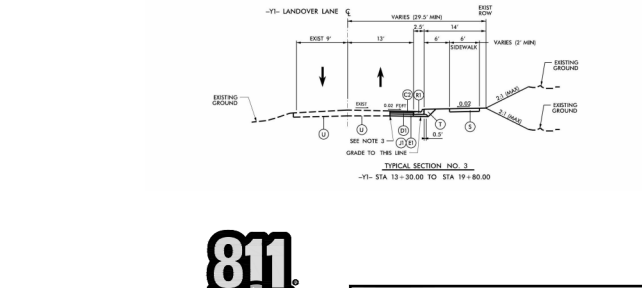
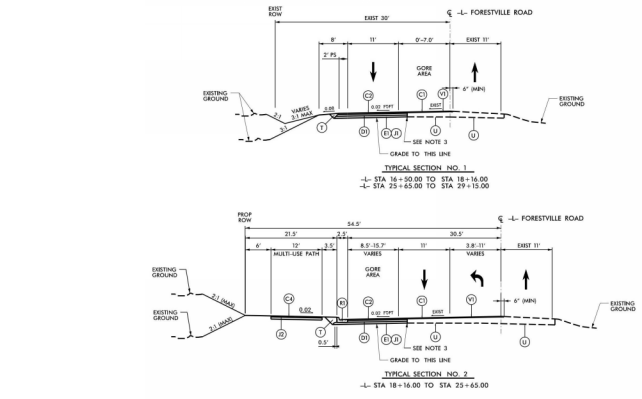
[illegible]

2. THE CONTRACTOR SHALL COMPLY WITH ALL WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADDRESS TO THE PROVIDORS OF THE MUTED ROAD CURRENT EDITIONS.
4. NO WORK ON, OR BLOCKAGE OF, EXISTING THROUGH TRAFFIC LANES SHALL OCCUR DURING THE PEAK TRAFFIC HOURS OF 7AM-9AM AND 4PM-6PM, MONDAY THROUGH FRIDAY. THE CONTRACTOR MUST OBTAIN A LANE CLOSURE PERMIT FOR ANY WORK ON, OR BLOCKAGE OF, EXISTING THROUGH TRAFFIC LANES. PLEASE CONTACT THE CITY PUBLIC WORKS DEPARTMENT, TRANSPORTATION OPERATIONS DIVISION, AT (919) 996-3030 FOR LANE CLOSURES AT LEAST 60 DAYS IN ADVANCE AND FOR ANY WORK ON, OR BLOCKAGE OF, EXISTING THROUGH TRAFFIC LANES, PROVIDE EXACT LOCATION, CROSS STREET, DATES/TIME OF CLOSURE, CONTACT PERSON AND FAX NUMBER.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE INSPECTION DOCUMENT TO OBTAIN A STREET CLOSURE CREDIT PERMIT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE STREET CLOSURE CREDIT PERMIT. THE PERMIT LASTS FOR 90 DAYS AND CAN BE EXTENDED AT NO COST IF REQUEST IS MADE PRIOR TO PERMITS EXPIRATION DATE. INQUIRES SHALL BE MADE AT (919) 996-3030.
6. PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROLS SHALL BE IN PLACE.
7. THE CONTRACTOR SHALL BEAR ALL COMPLETE OF COST OF CONTRACT DOCUMENTS AS WELL AS PERMITS, APPROVALS AND EXEMPTIONS (ON THE JOB SITE AT ALL TIMES).
8. THE CONTRACTOR SHALL REPAIR ALL DAMAGED DRIVEWAYS, DRIVEWAY PITS, CURB GULLIES, SIDEWALKS AND STREETS TO EXISTING CONDITION OR BETTER.
9. ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LIMBS AND PEOPLE WITH MOBILITY DISABILITIES. THE CONTRACTOR SHALL PROVIDE ALTERNATE ACCESSIBILITY ROUTES DURING CONSTRUCTION. WE WILL BE REQUIRED TO COMPLY WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE 2010 ADA STANDARDS FOR ACCESSIBLE TRANSPORTATION.

<b>Width</b>	
A Right-of-way width	55'
B Back of curb to back-of-curb	27'
<b>Streetscape</b>	
C Utility placement, easement (min)	5'
D Maintenance strip (min)	2'
E Sidewalk (min)	6'
F Planting area (min)	6'
<b>Travelway</b>	
G Parallel parking/travel lane	13.5'
<b>General</b>	
Walkway type	Sidewalk
Planting type	Tree lawn
Tree spacing	40' o.c. avg
Parking type	Parallel

Width	
A Right-of-way width	59'
B Back of curb to back of curb	31'
Streetscape	
C Utility placement, easement (min)	5'
D Maintenance strip (min)	2'
E Sidewalk (min)	6'
F Planting area (min)	6'
Travelway	
G Parallel parking/travel lane	15.5'
General	
Walkway type	Sidewalk
Planting type	Tree lawn
Tree spacing	40' o.c. avg
Parking type	Parallel

<b>Width</b>	
A Right-of-way width	109'
B Back of curb to back of curb	66'
<b>Streetscape</b>	
C Maintenance strip (min)	1'
D Sidewalk (min)	6'
E Planting area (min)	6'
F Bike lane (min)	5'
G Buffer (min; planted, paved, or paver)	3.5'
<b>Travelway</b>	
H Travel lane	11'
I Median	17'
<b>General</b>	
Walkway type	Sidewalk
Planting type	Tree grate / lawn
Tree spacing	40' o.c. ave.

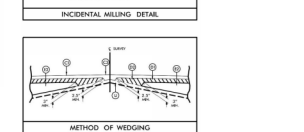
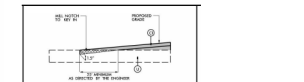


Know what's below.  
**Call before you dig.**

CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT  
LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION  
OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED.  
CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE  
THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811".  
REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.

C1	FRONT APPROACH, 10' APPROXIMATE CONCRETE SIDEWALK COURSE, TYPE 00.0A, 40' OR MORE FROM THE 100' LBS. PER SQ. YD.
C2	FRONT APPROACH, 2" APPROXIMATE CONCRETE SIDEWALK COURSE, TYPE 00.0A, 40' OR MORE FROM THE 100' LBS. PER SQ. YD. TO EDGE OF THE CURB
C3	FRONT, 100' APPROXIMATE APPROXIMATE SIDEWALK COURSE, TYPE 00.0A, 40' OR MORE FROM THE 100' LBS. PER SQ. YD. TO EDGE OF THE CURB
C4	FRONT, 100' APPROXIMATE APPROXIMATE SIDEWALK COURSE, TYPE 00.0A, 40' OR MORE FROM THE 100' LBS. PER SQ. YD. TO EDGE OF THE CURB
D1	FRONT, 100' APPROXIMATE APPROXIMATE SIDEWALK COURSE, TYPE 00.0A, 40' OR MORE FROM THE 100' LBS. PER SQ. YD. TO EDGE OF THE CURB
D2	FRONT, 100' APPROXIMATE APPROXIMATE SIDEWALK COURSE, TYPE 00.0A, 40' OR MORE FROM THE 100' LBS. PER SQ. YD. TO EDGE OF THE CURB
E1	FRONT, 100' APPROXIMATE APPROXIMATE SIDEWALK COURSE, TYPE 00.0A, 40' OR MORE FROM THE 100' LBS. PER SQ. YD. TO EDGE OF THE CURB
E2	FRONT, 100' APPROXIMATE APPROXIMATE SIDEWALK COURSE, TYPE 00.0A, 40' OR MORE FROM THE 100' LBS. PER SQ. YD. TO EDGE OF THE CURB
J1	FRONT, 10' APPROXIMATE SIDEWALK COURSE, TYPE 00.0A, 40' OR MORE FROM THE 100' LBS. PER SQ. YD.
J2	FRONT, 10' APPROXIMATE SIDEWALK COURSE, TYPE 00.0A, 40' OR MORE FROM THE 100' LBS. PER SQ. YD.
R1	FRONT, 2" APPROXIMATE SIDEWALK COURSE, TYPE 00.0A, 40' OR MORE FROM THE 100' LBS. PER SQ. YD.
B	FRONT, 2" APPROXIMATE SIDEWALK COURSE, TYPE 00.0A, 40' OR MORE FROM THE 100' LBS. PER SQ. YD.
T	FRONT, 2" APPROXIMATE SIDEWALK COURSE, TYPE 00.0A, 40' OR MORE FROM THE 100' LBS. PER SQ. YD.
V1	FRONT, 2" APPROXIMATE SIDEWALK COURSE, TYPE 00.0A, 40' OR MORE FROM THE 100' LBS. PER SQ. YD.

1. PAVEMENT EDGE SLOPES ARE 2% UNLESS SHOWN OTHERWISE.
2. REFER TO PLAN SHEETS FOR VARIABLE WIDTHS.
3. SAWCUT AND REMOVE EXISTING ASPHALT PAVEMENT TO PROVIDE 4" MINIMUM FULL DEPTH ASPHALT PAVEMENT.
4. CONTRACTOR IS REQUIRED TO PROVIDE ASPHALT PATCH TO REPAIR PAVEMENT AS NEEDED WITHIN PROJECT LIMITS PRIOR TO OVERLAY.
5. UTILIZE VARIABLE DEPTH WILLOWS TO MATCH EXISTING ELEVATION AT EXISTING EDGE OF PAVEMENT.



BAKER RESIDENTIAL  
7001 WESTON PARKWAY, SUITE 150  
CARY, NC 27513  
CONTACT: MARK BOWLES  
PHONE: 919.275.3223

**BR BAKER**  
RESIDENTIAL

## N PLAN

the  
**parc**  
@540

COMPACT PRELIMINARY SUBDIVISION  
FORESTVILLE ROAD  
RALEIGH, NORTH CAROLINA

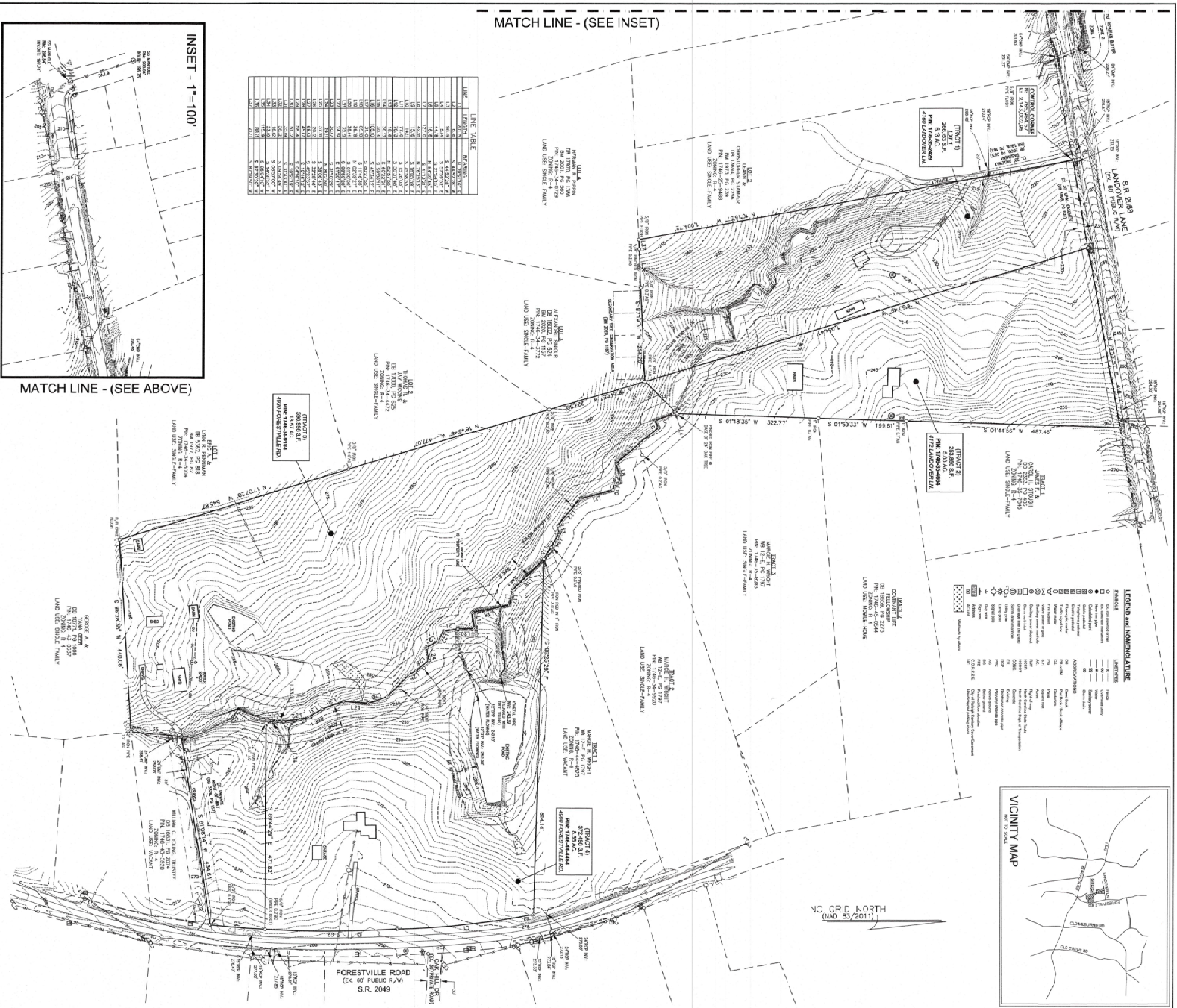
1	03.10.2023	REVISED PER CITY OF RALEIGH COMMENTS
2	04.25.2023	REVISED PER CITY OF RALEIGH COMMENTS
3	06.02.2023	REVISED PER CITY OF RALEIGH COMMENTS

PROJECT NO. BAK-22001  
 FILENAME BAK22001-N1  
 CHECKED BY .  
 DRAWN BY .  
 SCALE N.T.S.  
 DATE 11. 23. 2022

**SHEET**

## PROJECT NOTES

**C0.00**



**NOTES:**

[illegible]

## REFERENCES

WILL BOOK 06-E, PAGE 1887  
DEED BOOK 13272, PAGE 1562  
DEED BOOK 16553, PAGE 1779  
DEED BOOK 17241, PAGE 1429  
BOOK 0= MAPS 1973, PAGE 239  
BOOK 0= MAPS 1992, PAGE 1481  
\*OTHERS SHOWN HEREON

# TOPOGRAPHIC DESIGN SURVEY

## PROPERTIES OF

ALLYSON S. HOWARD and spouse, IRA HOWARD;  
GEORGE R. BELL, SR.;

BLUEROSE HOLDINGS, LLC & NORA LEE WILLIS GOTTLIEB,  
TRUSTEE OF THE GILBERT H. GOTTLIEB AND NORA

ST. MATTHEW'S TSHIP WAKE COUNTY NORTH CAROLINA

CURVE TABLE				
CHARGE	TEMPERATURE	REACTION	MO. AMOUNT	CHARGE
C1	215.102	1.016E-12	M 4.97E-22	314.615
C2	2.09E-28	2.46E-28	N 4.00E-17	2.04E-21
C3	1.23E-23	2.46E-28	N 4.00E-17	1.23E-24

JOB NO.: 228607  
FILE NAME: TOPO  
PLOT DATE: 2/23/23

Sheet C1.00 - Existing Conditions

**NEWCOMB** land surveyors, Llc, 7008 Harps Mill Road, Ste. 105, Raleigh, NC 27615, (919) 847-1800

ST. MATTHEW'S TSHIP WAKE COUNTY NORTH CAROLINA

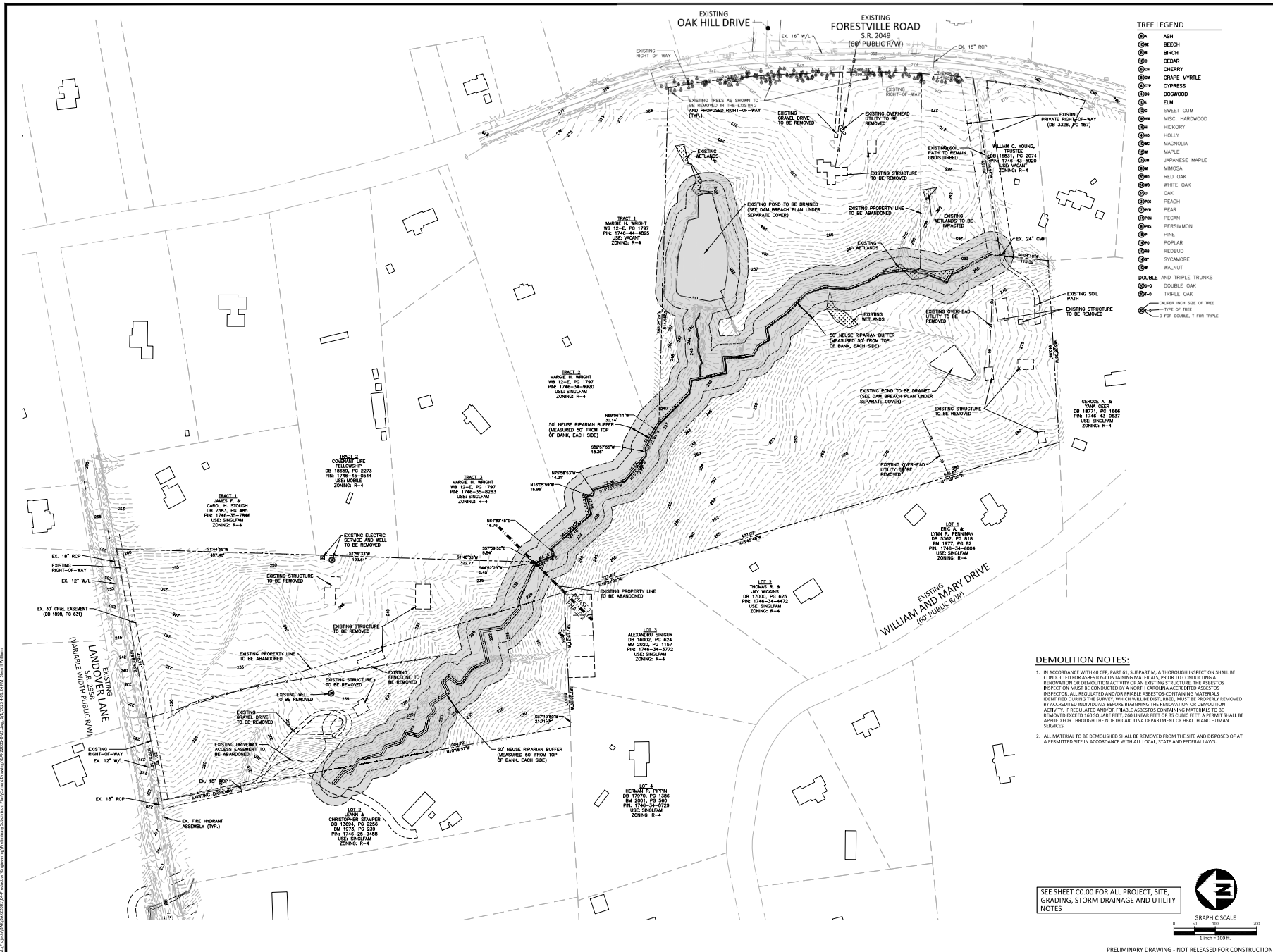
I certify that this copy was obtained from the applicant from an original source, made under my supervision from reference as stated; that the donor(s) not surveyed are indicated as such from information noted under reference; that the ratio of positive or pathological outcome is 1:1000; and that this copy meets the requirements of the Standards of Practice for Land Sampling in North Carolina (27 NCAC 56.1003).

The 25 day of February, 2003.

Professional Land Surveyor (L-5107)

**NEWCOMB**





- TREE LEGEND**
- ASH
  - BEECH
  - BIRCH
  - CEDAR
  - CHERRY
  - CRAPPE MYRTLE
  - CYPRESS
  - DOGWOOD
  - ELM
  - SWEET GUM
  - MISC. HARDWOOD
  - HICKORY
  - HOLLY
  - MAGNOLIA
  - MAPLE
  - JAPANESE MAPLE
  - MIMOSA
  - RED OAK
  - WHITE OAK
  - OAK
  - PEACH
  - PEAR
  - PECAN
  - PERSIMMON
  - PINE
  - POPULAR
  - REDBUD
  - SYCAMORE
  - WALNUT
  - DOUBLE AND TRIPLE TRUNKS
  - DOUBLE OAK
  - TRIPLE OAK
- CALLER NOT SIZE OF TREE  
TYPE OF TREE  
D FOR DOUBLE, T FOR TRIPLE

**DEMOLITION NOTES:**

1. IN ACCORDANCE WITH NC DEP. PART 61, SUBPART M, A THOROUGH INSPECTION SHALL BE CONDUCTED FOR ASBESTOS CONTAINING MATERIALS PRIOR TO CONDUCTING A RENOVATION OR DEMOLITION ACTIVITY OF AN EXISTING STRUCTURE. THE ASBESTOS INSPECTION MUST BE CONDUCTED BY A NORTH CAROLINA ACCREDITED ASBESTOS INSPECTOR. ALL REGULATED AND/OR FRAGILE ASBESTOS CONTAINING MATERIALS IDENTIFIED DURING THE SURVEY, WHICH WILL BE DISTURBED, MUST BE PROPERLY REMOVED BY ACCREDITED INDIVIDUALS BEFORE BEGINNING THE RENOVATION OR DEMOLITION ACTIVITY. IF REGULATED AND/OR FRAGILE ASBESTOS CONTAINING MATERIALS TO BE REMOVED EXCEED 100 SQUARE FEET, 300 LINEAR FEET OR 35 CUBIC FEET, A PERMIT SHALL BE APPLIED FOR THROUGH THE NORTH CAROLINA DEPARTMENT OF HEALTH AND HUMAN SERVICES.

2. ALL MATERIAL TO BE DEMOLISHED SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT A PERMITTED SITE IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL LAWS.

**McADAMS**  
The John R. McAdams Company, Inc.  
2305 Meridian Parkway  
Durham, NC 27713  
phone 919.361.5000  
fax 919.361.2269  
license number: C-0293, C-187  
www.mcadamsco.com

**CLIENT**  
BAKER RESIDENTIAL  
7001 WESTON PARKWAY, SUITE 150  
CARY, NC 27513  
CONTACT: MARK ROWLES  
PHONE: 984.275.2223

**BR BAKER**  
RESIDENTIAL

the **pgarc** **@540**  
COMPACT PRELIMINARY SUBDIVISION PLAN  
FORESTVILLE ROAD  
RALEIGH, NORTH CAROLINA

**REVISIONS**

1	03.10.2023	REVISED PER CITY OF RALEIGH COMMENTS
2	04.25.2023	REVISED PER CITY OF RALEIGH COMMENTS
3	06.02.2023	REVISED PER CITY OF RALEIGH COMMENTS

**PLAN INFORMATION**

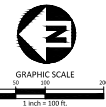
PROJECT NO.	BAK-22001
FILENAME	BAK22001-DM1
CHECKED BY	-
DRAWN BY	-
SCALE	1"=100'
DATE	11.23.2022

**SHEET**

**DEMOLITION PLAN**

**C1.01**

SEE SHEET CO.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES



PRELIMINARY DRAWINGS - NOT RELEASED FOR CONSTRUCTION










LOT DATA TABLE		
RESIDENTIAL LOTS	LOTS 1-164	164 LOTS
HOM/COMMUNITY LOTS	LOTS 1000-1002	3 LOTS
TOTAL LOTS:		167 LOTS
SEE SHEET C1.02 FOR LOT AREAS		












SEE PLANS BY EXULT ENGINEERING FOR IMPROVEMENTS WITHIN THE PROPOSED LANDOVER LANE AND FORESTVILLE ROAD RIGHT-OF-WAY

[illegible]

**SITE LEGEND**

	SIGNAGE
	LIGHT POLE
	ACCESSIBLE PARKING STALL
	VAN ACCESSIBLE PARKING STALL
	ACCESSIBLE RAMPS

	TYPE A		TYPE B		TYPE C
 PROPERTY LINE  RIGHT-OF-WAY LINE  LOT LINE  EASEMENT LINE  CENTERLINE  PHASE LINE					
 SINGLE FAMILY DETACHED LOT  HOA COMMON LOT					

## REVISIONS

1	03. 10. 2023	REVISED PER CITY OF RALEIGH COMMENTS
2	04. 25. 2023	REVISED PER CITY OF RALEIGH COMMENTS
3	06. 02. 2023	REVISED PER CITY OF RALEIGH COMMENTS

PLAN INFORMATION	
PROJECT NO.	BAK-22001
FILENAME	BAK22001-QAS1
CHECKED BY	.
DRAWN BY	.
SCALE	1"=100'
DATE	11. 23. 2022

**SHEET**

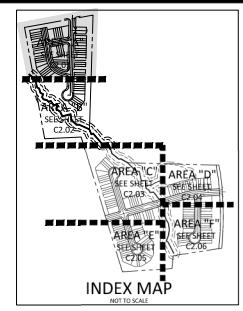
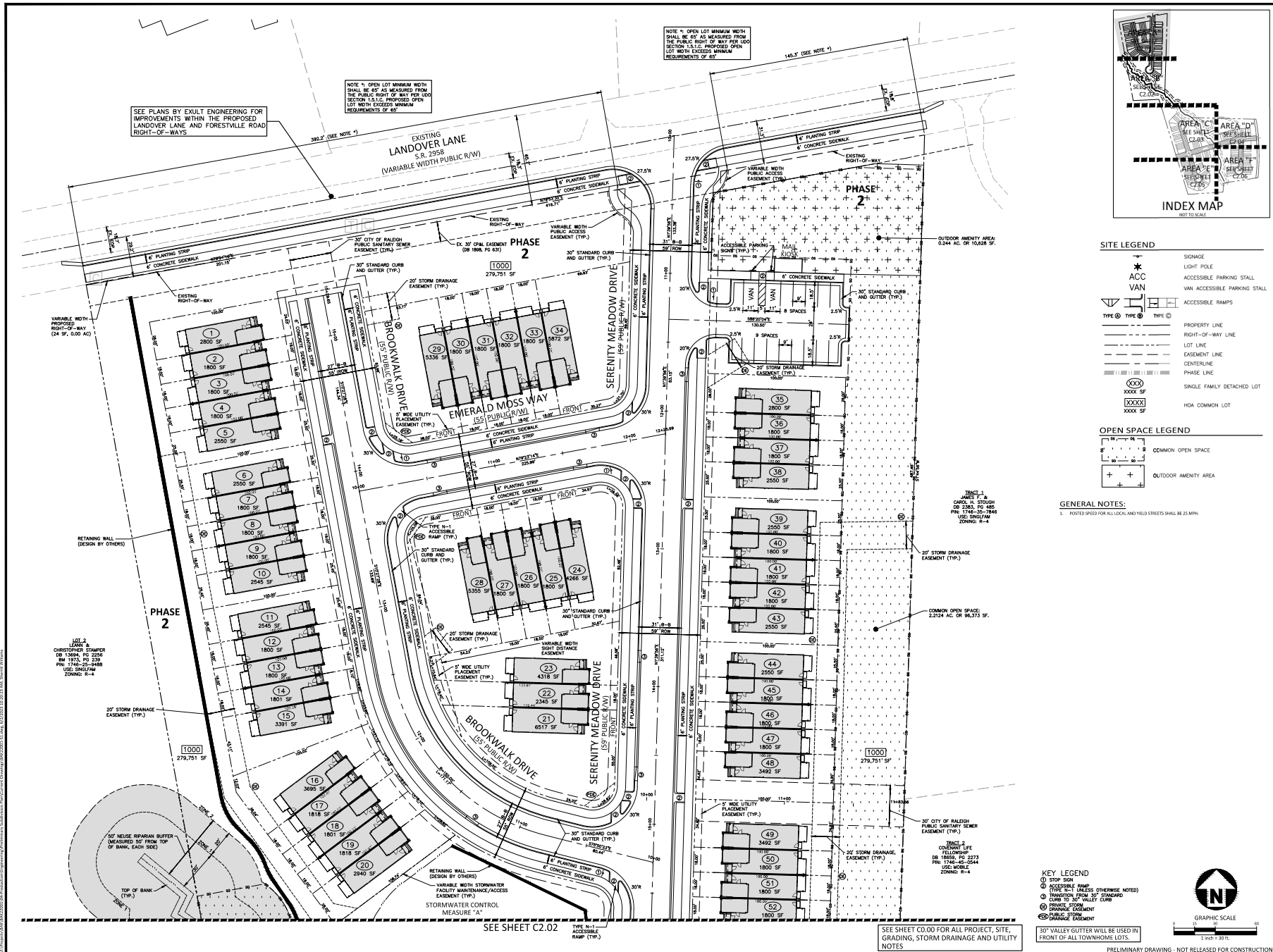
OVERALL  
SUBDIVISION PLAN  
**C2.00**



the **parc**  
@540

COMPACT PRELIMINARY SUBDIVISION PLAN  
FORESTVILLE ROAD  
RALEIGH, NORTH CAROLINA





SITE LEGEND	
ACC VAN	SENSE
TYPE 1	TYPE 2
TYPE 3	TYPE 4
TYPE 5	TYPE 6
TYPE 7	TYPE 8
TYPE 9	TYPE 10
TYPE 11	TYPE 12
TYPE 13	TYPE 14
TYPE 15	TYPE 16
TYPE 17	TYPE 18
TYPE 19	TYPE 20
TYPE 21	TYPE 22
TYPE 23	TYPE 24
TYPE 25	TYPE 26
TYPE 27	TYPE 28
TYPE 29	TYPE 30
TYPE 31	TYPE 32
TYPE 33	TYPE 34
TYPE 35	TYPE 36
TYPE 37	TYPE 38
TYPE 39	TYPE 40
TYPE 41	TYPE 42
TYPE 43	TYPE 44
TYPE 45	TYPE 46
TYPE 47	TYPE 48
TYPE 49	TYPE 50
TYPE 51	TYPE 52
TYPE 53	TYPE 54
TYPE 55	TYPE 56
TYPE 57	TYPE 58
TYPE 59	TYPE 60
TYPE 61	TYPE 62
TYPE 63	TYPE 64
TYPE 65	TYPE 66
TYPE 67	TYPE 68
TYPE 69	TYPE 70
TYPE 71	TYPE 72
TYPE 73	TYPE 74
TYPE 75	TYPE 76
TYPE 77	TYPE 78
TYPE 79	TYPE 80
TYPE 81	TYPE 82
TYPE 83	TYPE 84
TYPE 85	TYPE 86
TYPE 87	TYPE 88
TYPE 89	TYPE 90
TYPE 91	TYPE 92
TYPE 93	TYPE 94
TYPE 95	TYPE 96
TYPE 97	TYPE 98
TYPE 99	TYPE 100

GENERAL NOTES:  
1. POSTED SPEED FOR ALL LOCAL AND NEIGHBORHOOD STREETS SHALL BE 25 MPH.

KEY LEGEND  
① STOP SIGN  
② ACCESSIBLE RAMP  
③ EASEMENT  
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OPEN SPACE LEGEND  
COMMON OPEN SPACE  
OUTDOOR AMENITY AREA

REVISIONS  
1. 03.10.2023 REVISED PER CITY OF RALEIGH COMMENTS  
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3. 06.02.2023 REVISED PER CITY OF RALEIGH COMMENTS

PLAN INFORMATION  
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FILENAME BAK22001-S1  
CHECKED BY  
DRAWN BY  
SCALE 1"=30'  
DATE 11.23.2022  
SHEET  
SUBDIVISION AND LOT DIMENSION PLAN  
AREA "A"

KEY LEGEND  
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AREA "A"

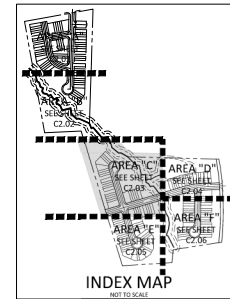
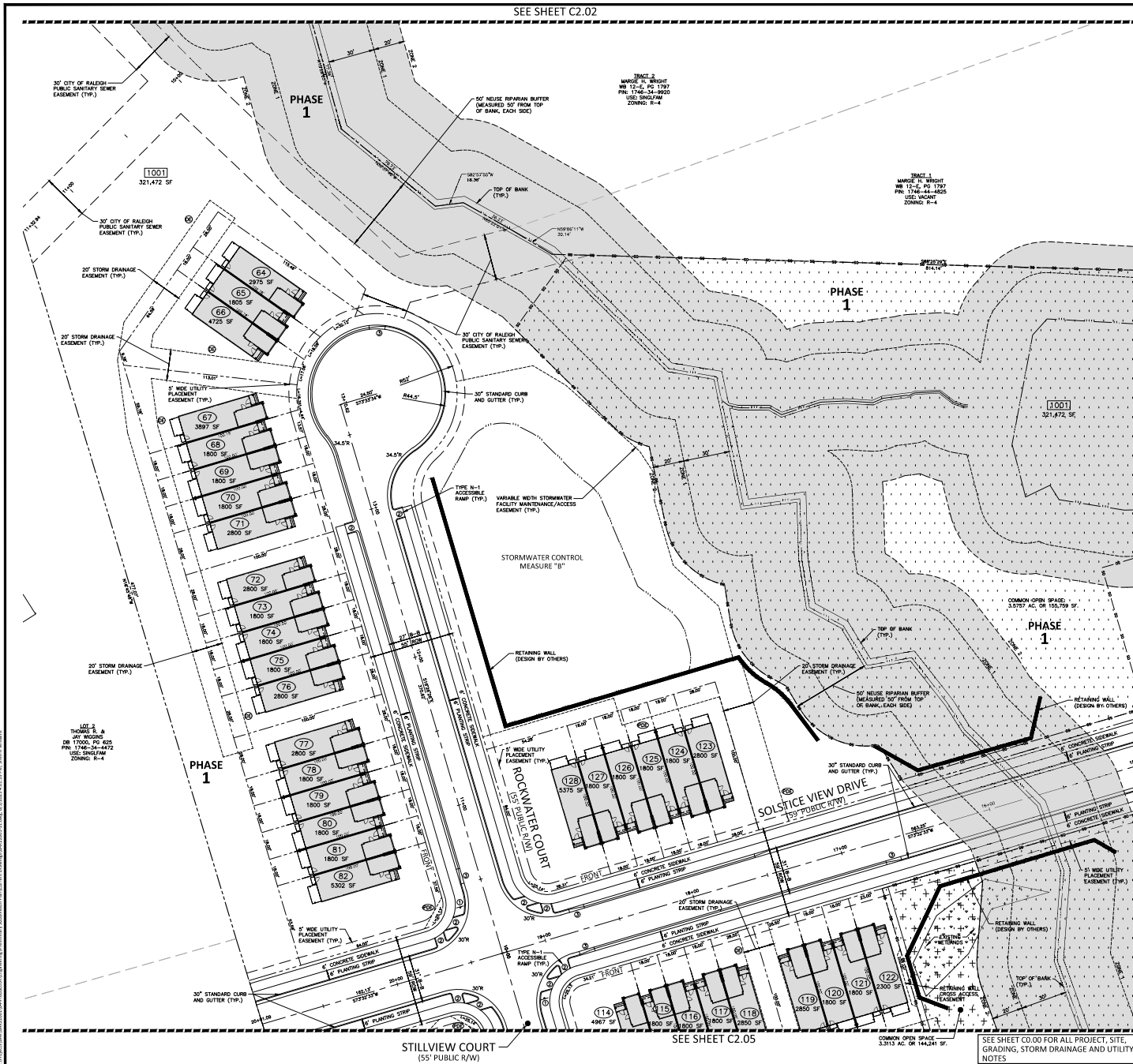
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OUTDOOR AMENITY AREA

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FILENAME BAK22001-S1  
CHECKED BY  
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SCALE 1"=30'  
DATE 11.23.2022  
SHEET  
SUBDIVISION AND LOT DIMENSION PLAN  
AREA "A"





#### SITE LEGEND

★	ACC VAN	★	STORM DRAINAGE
▽	TYPE ①	▽	TYPE ②
—	PROPERTY LINE	—	RIGHT-OF-WAY LINE
---	LOT LINE	---	EASEMENT LINE
---	CENTERLINE	---	PHASE LINE
---	SINGLE FAMILY DETACHED LOT	---	HOA COMMON LOT

#### OPEN SPACE LEGEND

+	COMMON OPEN SPACE
+	OUTDOOR AMENITY AREA

#### GENERAL NOTES:

- POSTED SPEED FOR ALL LOCAL AND YIELD STREETS SHALL BE 25 MPH.

#### KEY LEGEND

- STOP SIGN
- ACCESSIBLE RAMP
- TYPE N-1 (UNLESS OTHERWISE NOTED)
- TRANSITION FROM 30\"/>

30\"/>



GRAPHIC SCALE  
1 inch = 30 ft

**McADAMS**  
The John R. McAdams Company, Inc.  
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Durham, NC 27713  
phone 919. 361. 5000  
fax 919. 361. 2269  
license number: C-0293, C-187  
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7001 WESTON PARKWAY, SUITE 150  
CARY, NC 27513  
CONTACT: MARK ROWLES  
PHONE: 919. 275. 2223

**BR BAKER RESIDENTIAL**  
the **pgrc** @540  
COMPACT PRELIMINARY SUBDIVISION PLAN  
FORESTVILLE ROAD  
RALEIGH, NORTH CAROLINA

**REVISIONS**

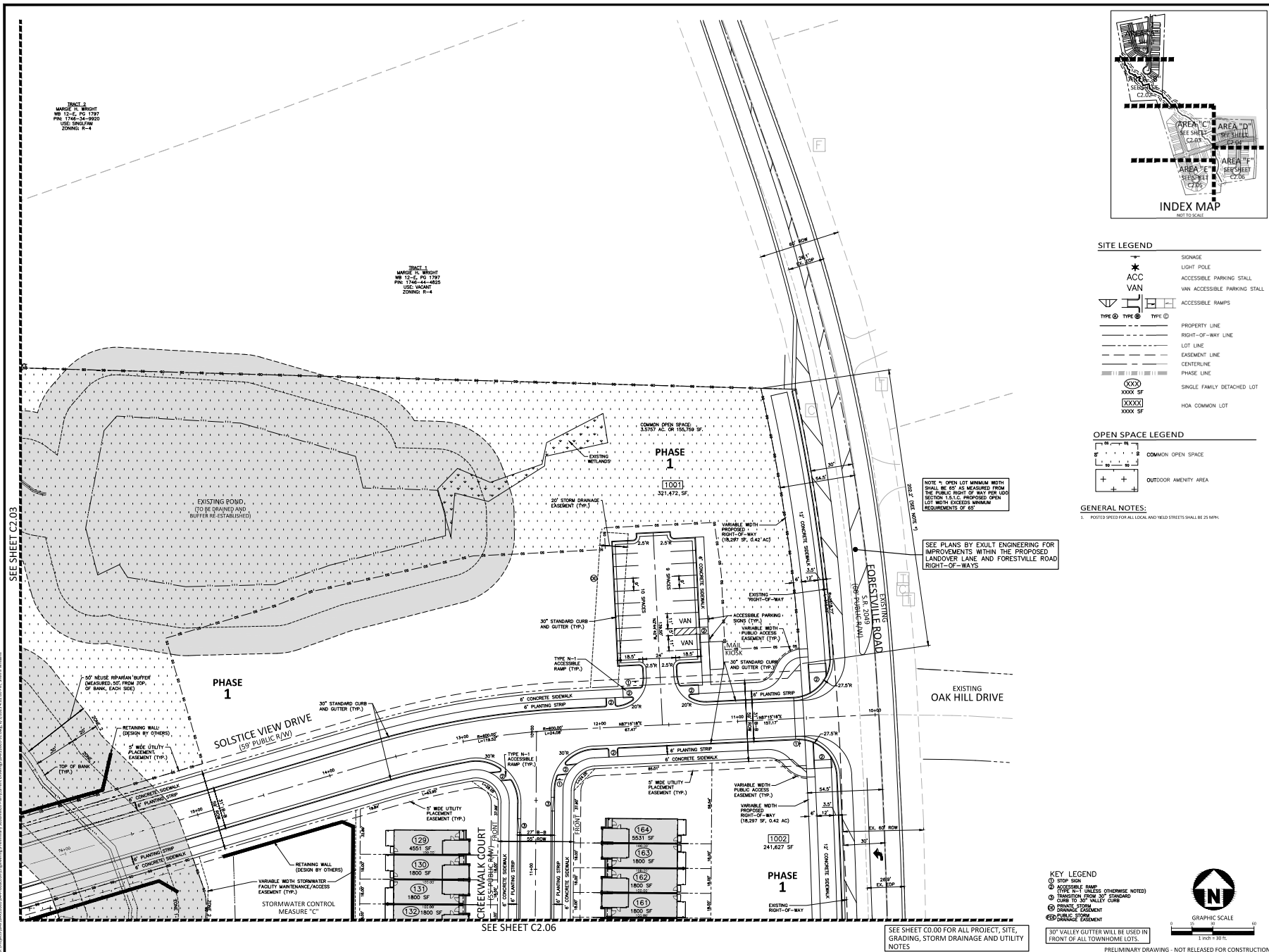
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2	04.25.2023	REVISED PER CITY OF RALEIGH COMMENTS
3	06.02.2023	REVISED PER CITY OF RALEIGH COMMENTS

**PLAN INFORMATION**

PROJECT NO. BAK-22001  
FILENAME BAK22001-S1  
CHECKED BY  
DRAWN BY  
SCALE 1\"/>

**SHEET**  
SUBDIVISION AND LOT DIMENSION PLAN  
AREA "C"  
**C2.03**



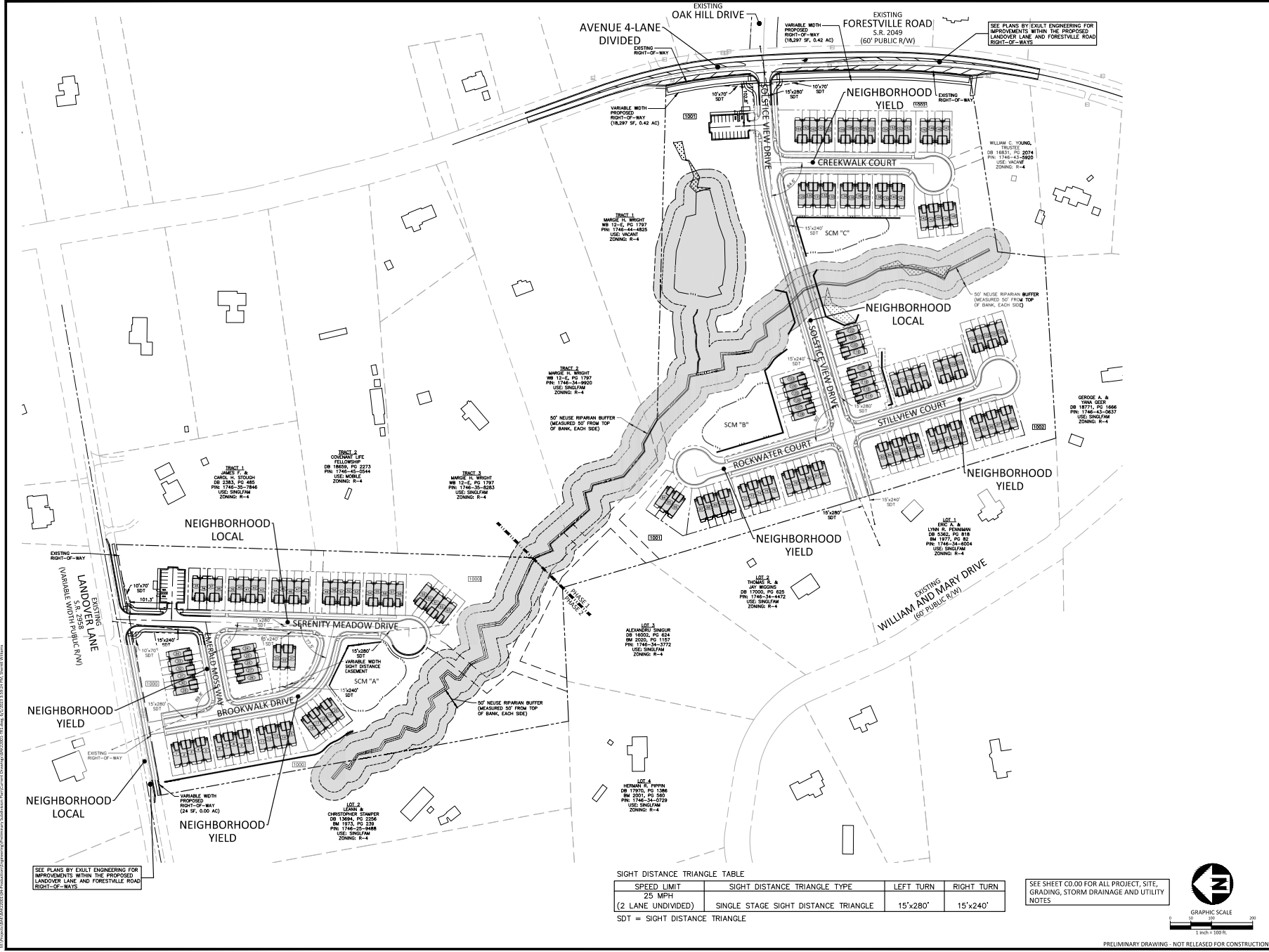


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2905 Meridian Parkway  
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fax 919. 361. 2269  
license number: C-0293, C-187  
[www.mcadamsco.com](http://www.mcadamsco.com)



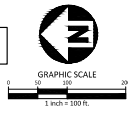






SIGHT DISTANCE TRIANGLE TABLE			
SPEED LIMIT	SIGHT DISTANCE TRIANGLE TYPE	LEFT TURN	RIGHT TURN
25 MPH			
(2 LANE UNDIVIDED)	SINGLE STAGE SIGHT DISTANCE TRIANGLE	15'x280'	15'x240'
SDT = SIGHT DISTANCE TRIANGLE			

SEE SHEET C0.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES



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**CLIENT**  
BAKER RESIDENTIAL  
7001 WESTON PARKWAY, SUITE 150  
CARY, NC 27513  
CONTACT: MARK ROWLES  
PHONE: 919. 275. 2223

**BR BAKER**  
RESIDENTIAL

the **pgarc** @540  
COMPACT PRELIMINARY SUBDIVISION PLAN  
FORESTVILLE ROAD  
RALEIGH, NORTH CAROLINA

**REVISIONS**

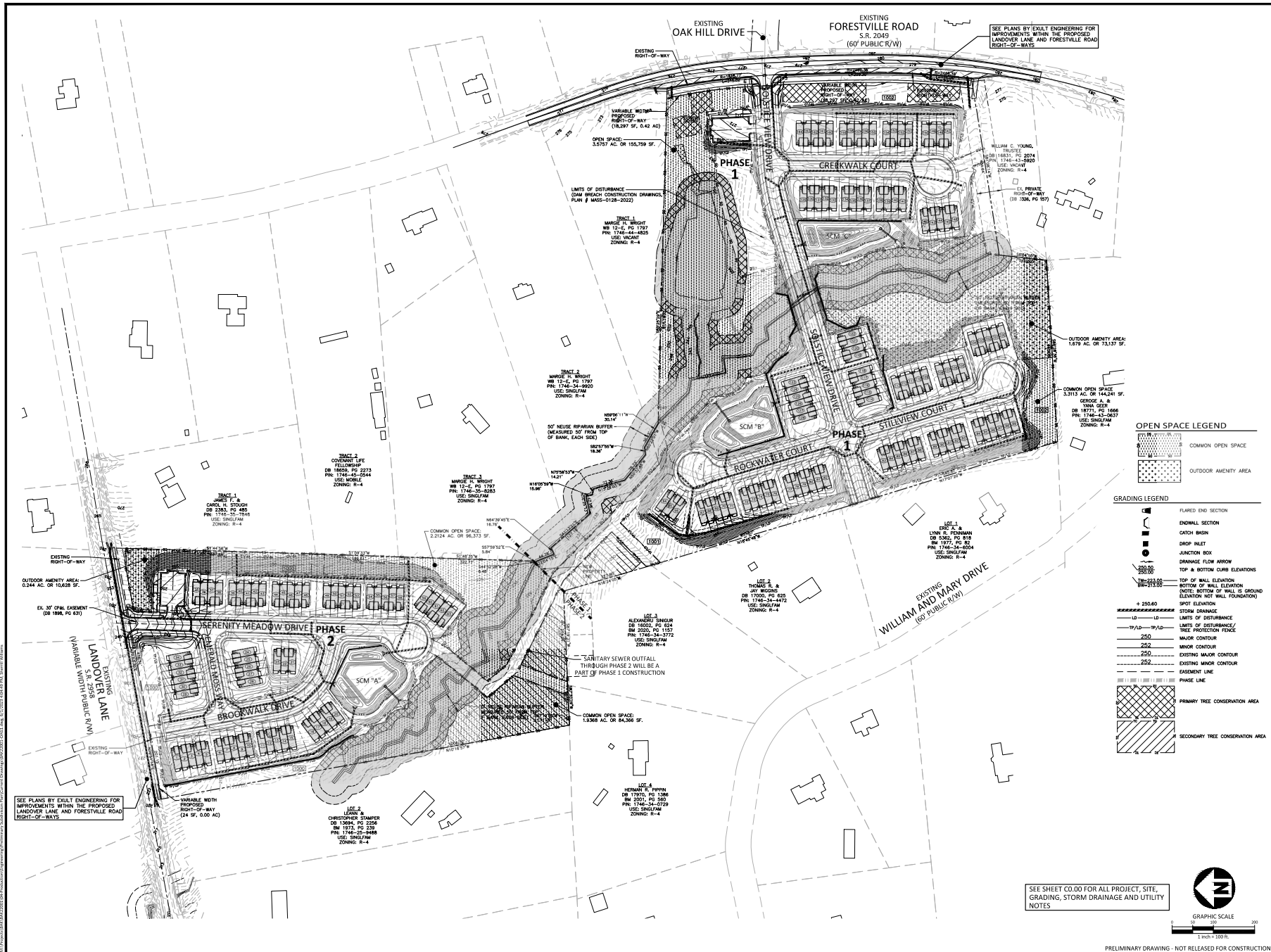
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2	04.25.2023	REVISED PER CITY OF RALEIGH COMMENTS
3	06.02.2023	REVISED PER CITY OF RALEIGH COMMENTS

**PLAN INFORMATION**

PROJECT NO.: BAK-22001  
FILENAME: BAK22001-TR1  
CHECKED BY: -  
DRAWN BY: -  
SCALE: 1"=100'  
DATE: 11.23.2022

**TRANSPORTATION PLAN**

**C2.07**



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RESIDENTIAL

the **pgrc** @540  
COMPACT PRELIMINARY SUBDIVISION PLAN  
FORESTVILLE ROAD  
RALEIGH, NORTH CAROLINA

**REVISIONS**

NO.	DATE	REVISION
1	03.10.2023	REVISED PER CITY OF RALEIGH COMMENTS
2	04.25.2023	REVISED PER CITY OF RALEIGH COMMENTS
3	06.02.2023	REVISED PER CITY OF RALEIGH COMMENTS

**PLAN INFORMATION**

PROJECT NO.	BAK-22001
FILENAME	BAK22001-04G1
CHECKED BY	
DRAWN BY	
SCALE	1"=100'
DATE	11.23.2022

**SHEET**

**OVERALL GRADING AND STORM DRAINAGE PLAN**

**C3.00**

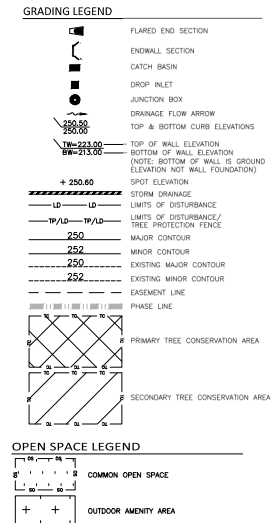
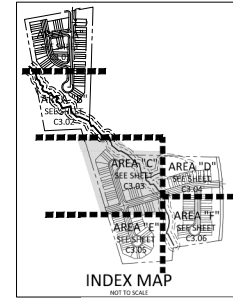
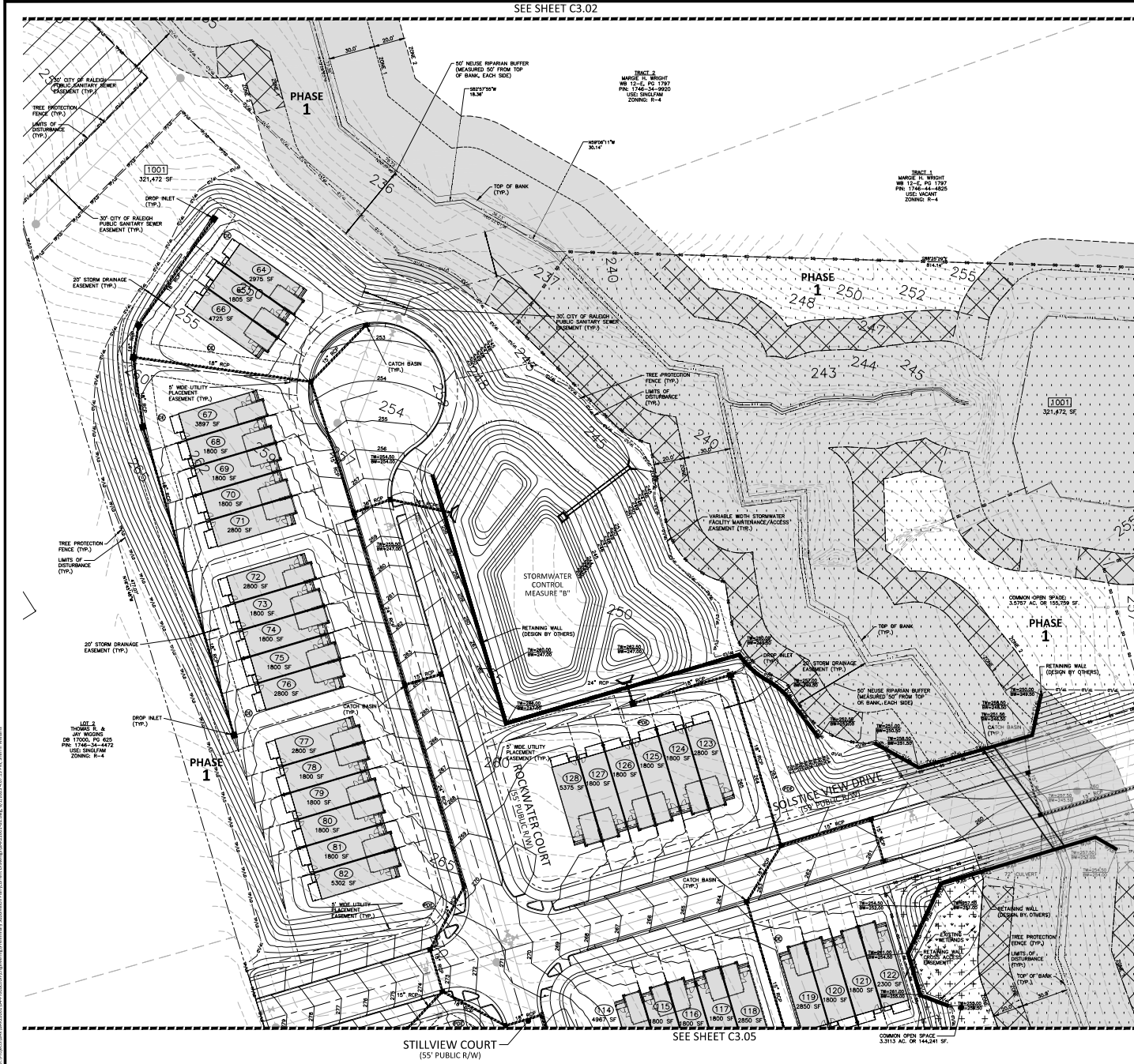








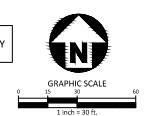
SEE SHEET C3.02



**GENERAL NOTES:**

- ALL CATCH BASINS SHOWN ON THIS SHEET SHALL BE LOCATED AT THE END OF EACH DRIVEWAY SHALL BE ROLL-OVER TYPE GRATES. SEE DETAIL SHEET C3.02.

SEE SHEET C3.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

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the **pgarc** @540  
COMPACT PRELIMINARY SUBDIVISION PLAN  
FORESTVILLE ROAD  
RALEIGH, NORTH CAROLINA

**REVISIONS**

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3	06.02.2023	REVISED PER CITY OF RALEIGH COMMENTS

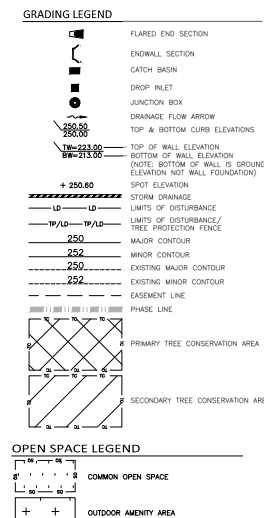
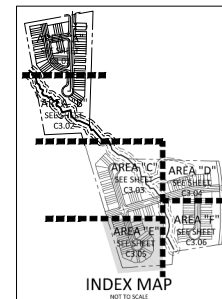
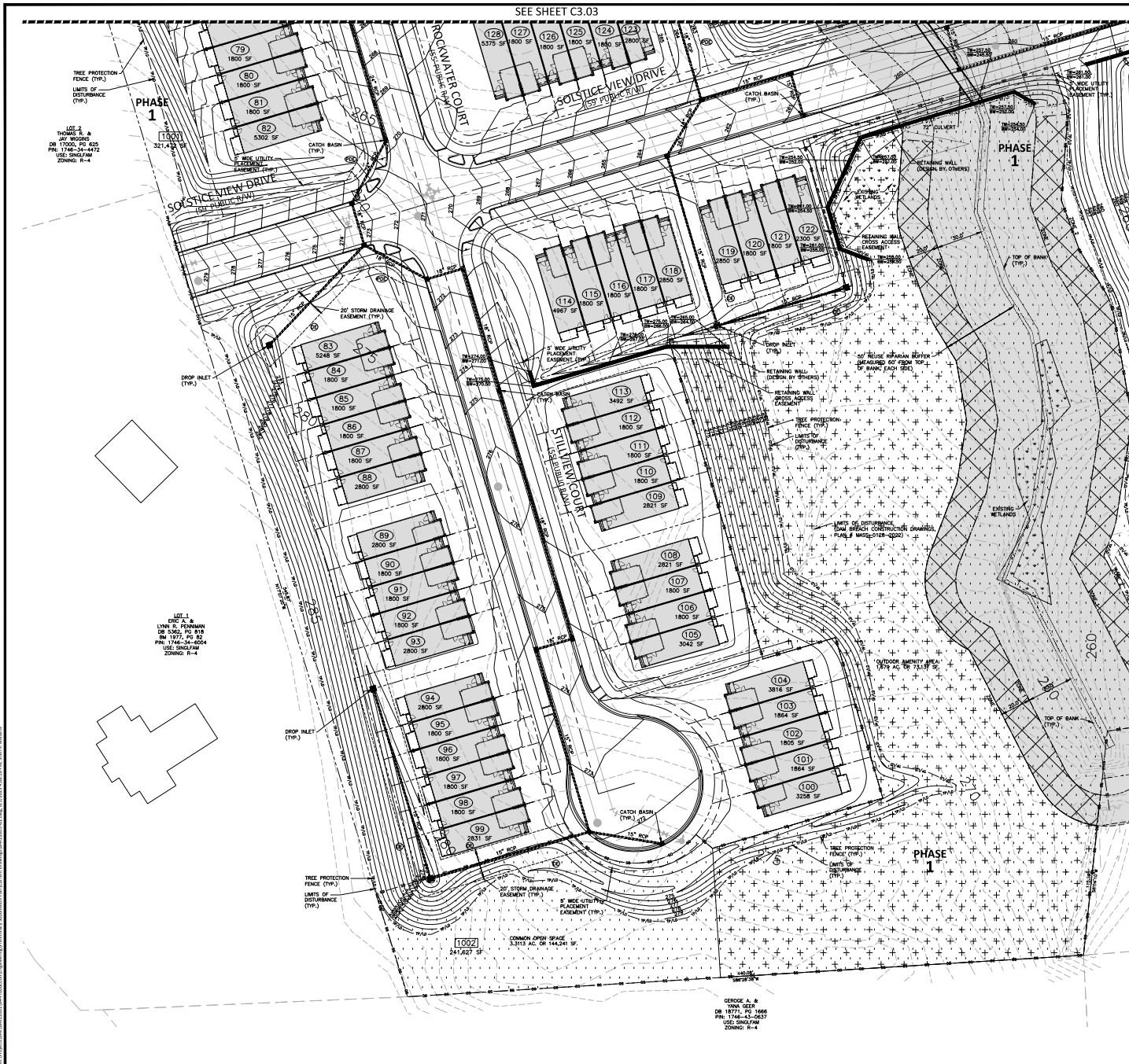
**PLAN INFORMATION**

PROJECT NO.: BAK-22001  
FILENAME: BAK22001-G1  
CHECKED BY: .  
DRAWN BY: .  
SCALE: 1"=30'  
DATE: 11.23.2022

**SHEET**  
GRADING AND STORM DRAINAGE PLAN  
AREA "C"  
**C3.03**



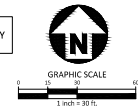




**GENERAL NOTES:**  
 1. ALL CATCH BASINS SHOWN ON 30' VALLEY CUTTER AT RESIDENTIAL DRIVEWAYS SHALL BE KOLLOID TYPE GRATES. SEE DETAIL SHEET C3.02.

SEE SHEET C3.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

PRIVATE STORM DRAINAGE EASEMENT  
 PUBLIC STORM DRAINAGE EASEMENT



PRELIMINARY DRAWINGS - NOT RELEASED FOR CONSTRUCTION

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 www.mcadamsco.com

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 7001 WESTON PARKWAY, SUITE 150  
 CARY, NC 27513  
 CONTACT: MARK ROWLES  
 PHONE: 919.275.2223

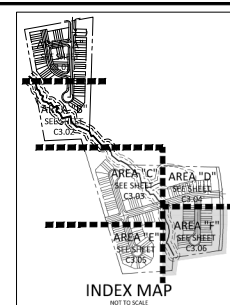
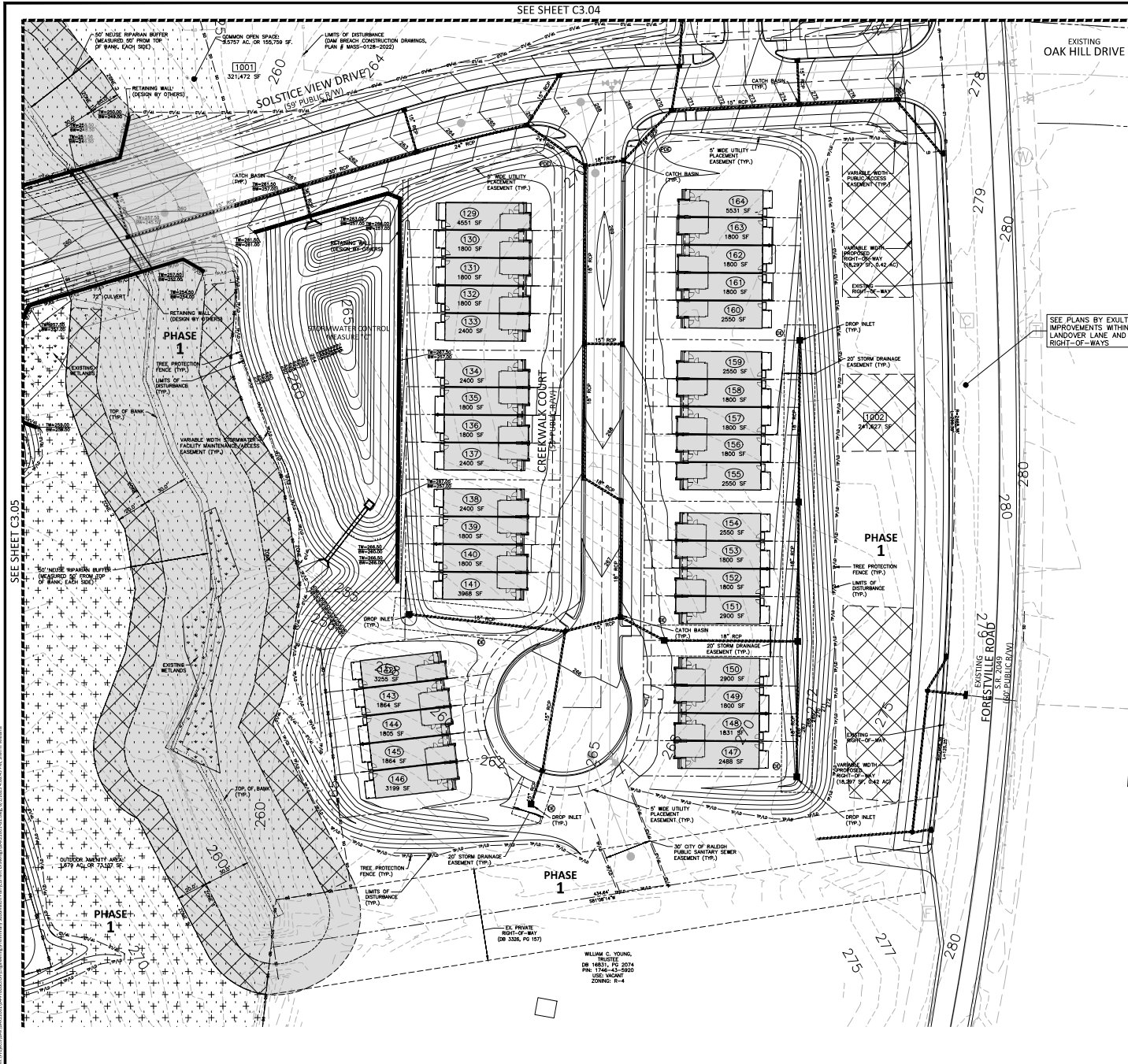
**BR BAKER**  
 RESIDENTIAL

the **pgrc** @540  
 COMPACT PRELIMINARY SUBDIVISION PLAN  
 FORESTVILLE ROAD  
 RALEIGH, NORTH CAROLINA

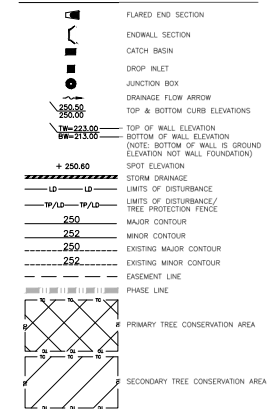
**REVISIONS**  
 1. 03.10.2023 REVISED PER CITY OF RALEIGH COMMENTS  
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 3. 06.02.2023 REVISED PER CITY OF RALEIGH COMMENTS

**PLAN INFORMATION**  
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 FILENAME BAK22001-G1  
 DRAWN BY  
 SCALE 1"=30'  
 DATE 11.23.2022

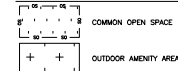
**SHEET**  
 GRADING AND STORM DRAINAGE PLAN  
 AREA "E"  
**C3.05**



#### GRADING LEGEND



#### OPEN SPACE LEGEND



#### GENERAL NOTES:

- ALL CATCH BASINS SHOWN ON 30" VALLEY GUTTER AT RESIDENTIAL DRIVEWAYS SHALL BE ROLL-OVER TYPE GRATES. SEE DETAIL, SHEET C3.02.

SEE SHEET C3.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

- PRIVATE STORM DRAINAGE EASEMENT
- PUBLIC STORM DRAINAGE EASEMENT



GRAPHIC SCALE  
1" = 30' RL

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PHONE: 919.275.2223

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## the pgrc @540

### COMPACT PRELIMINARY SUBDIVISION PLAN FORESTVILLE ROAD RALEIGH, NORTH CAROLINA

#### REVISIONS

- 03.10.2023 REVISED PER CITY OF RALEIGH COMMENTS
- 04.25.2023 REVISED PER CITY OF RALEIGH COMMENTS
- 06.02.2023 REVISED PER CITY OF RALEIGH COMMENTS

#### PLAN INFORMATION

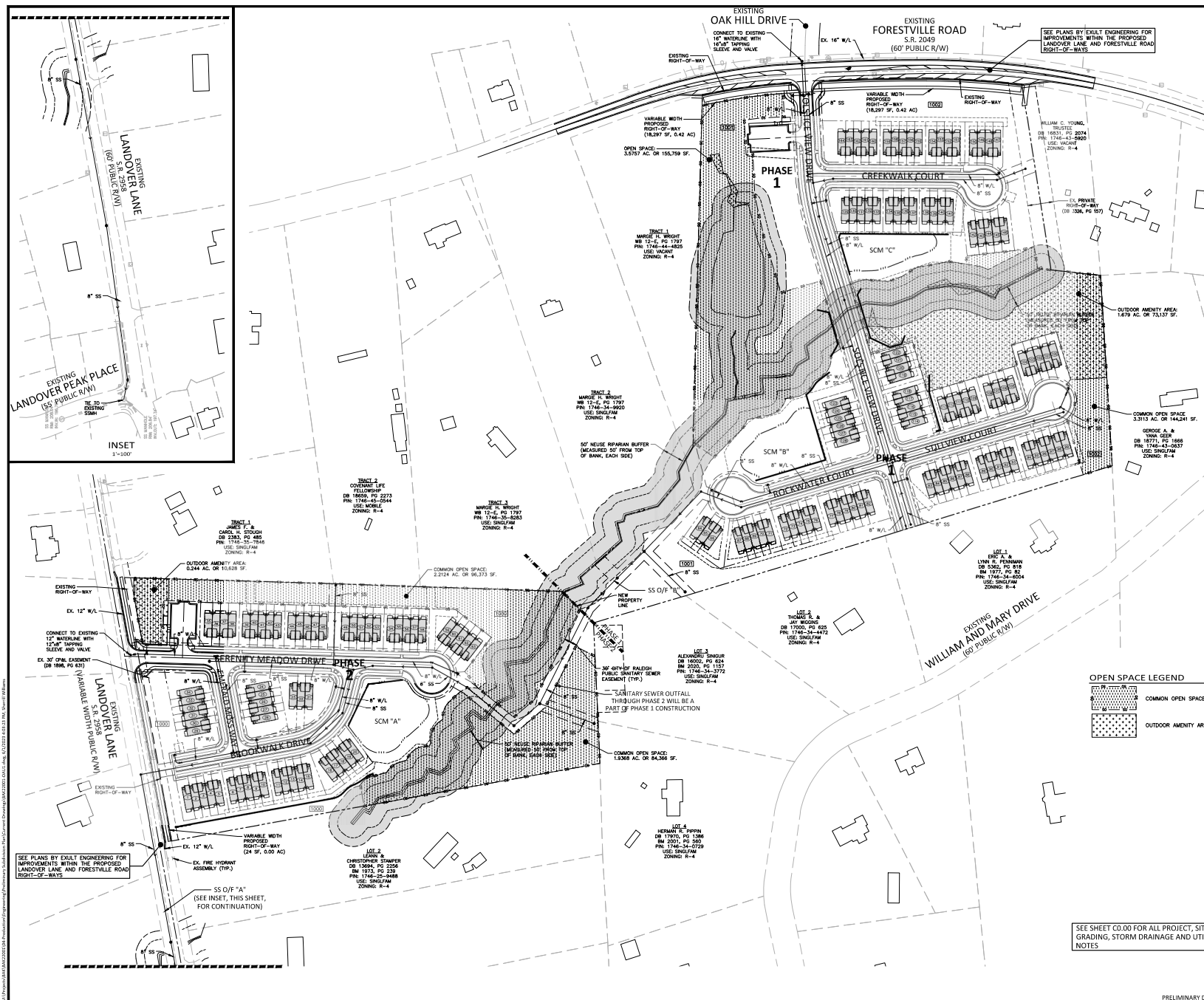
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CHECKED BY: .  
DRAWN BY: .  
SCALE: 1"=30'  
DATE: 11.23.2022

#### SHEET

GRADING AND STORM DRAINAGE PLAN  
AREA "F"

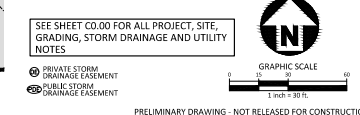
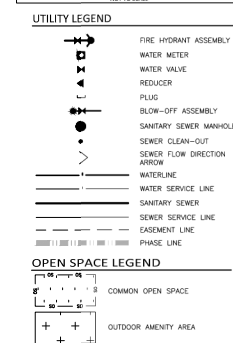
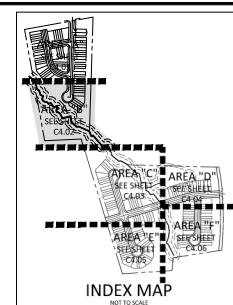
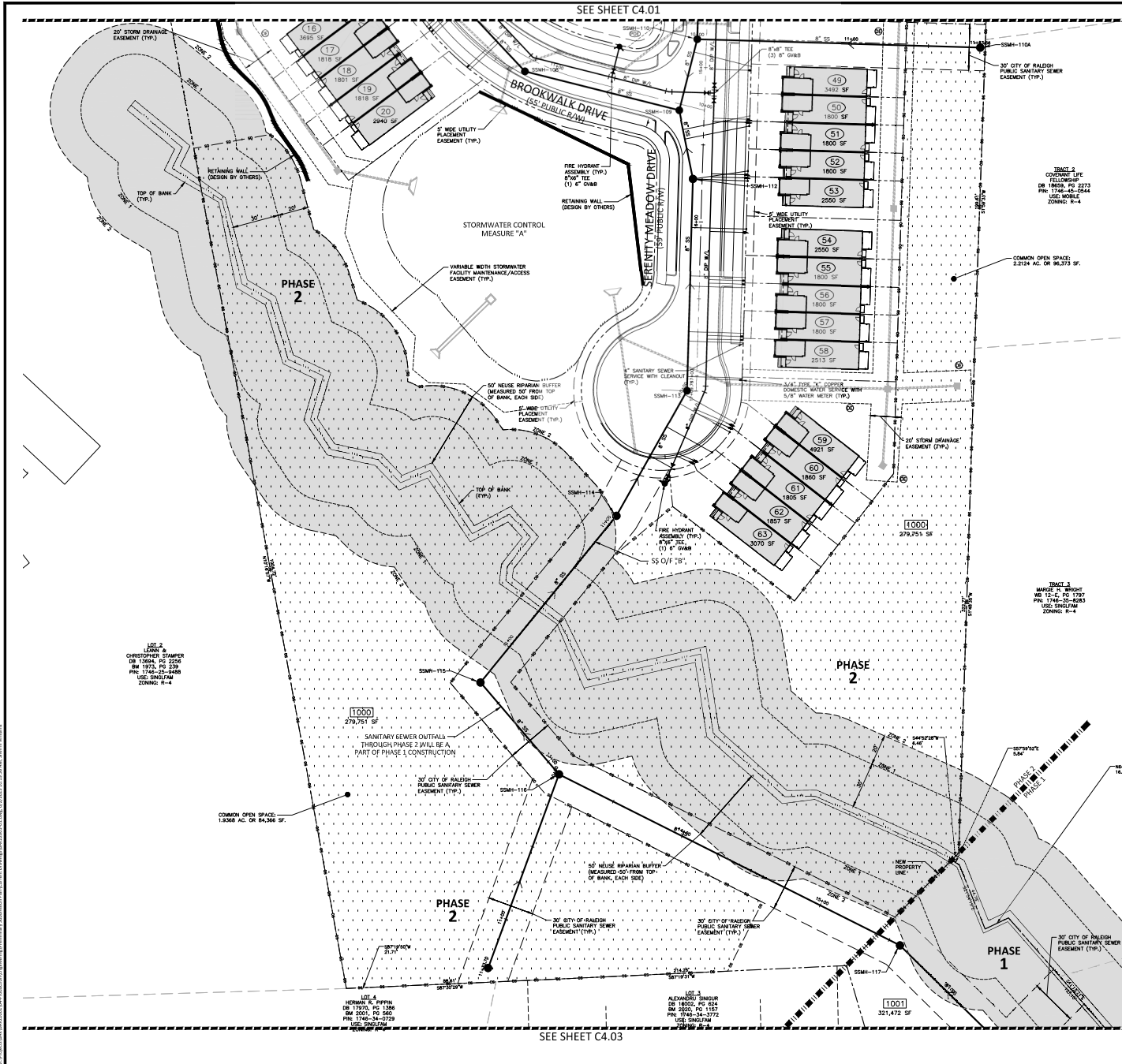
# C3.06





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CARY, NC 27513  
CONTACT: MARK ROWLES  
PHONE: 919.275.2223

**BR BAKER RESIDENTIAL**

the **pgarc** @540

COMPACT PRELIMINARY SUBDIVISION PLAN  
FORESTVILLE ROAD  
RALEIGH, NORTH CAROLINA

**REVISIONS**

1	03.10.2023	REVISED PER CITY OF RALEIGH COMMENTS
2	04.25.2023	REVISED PER CITY OF RALEIGH COMMENTS
3	06.02.2023	REVISED PER CITY OF RALEIGH COMMENTS

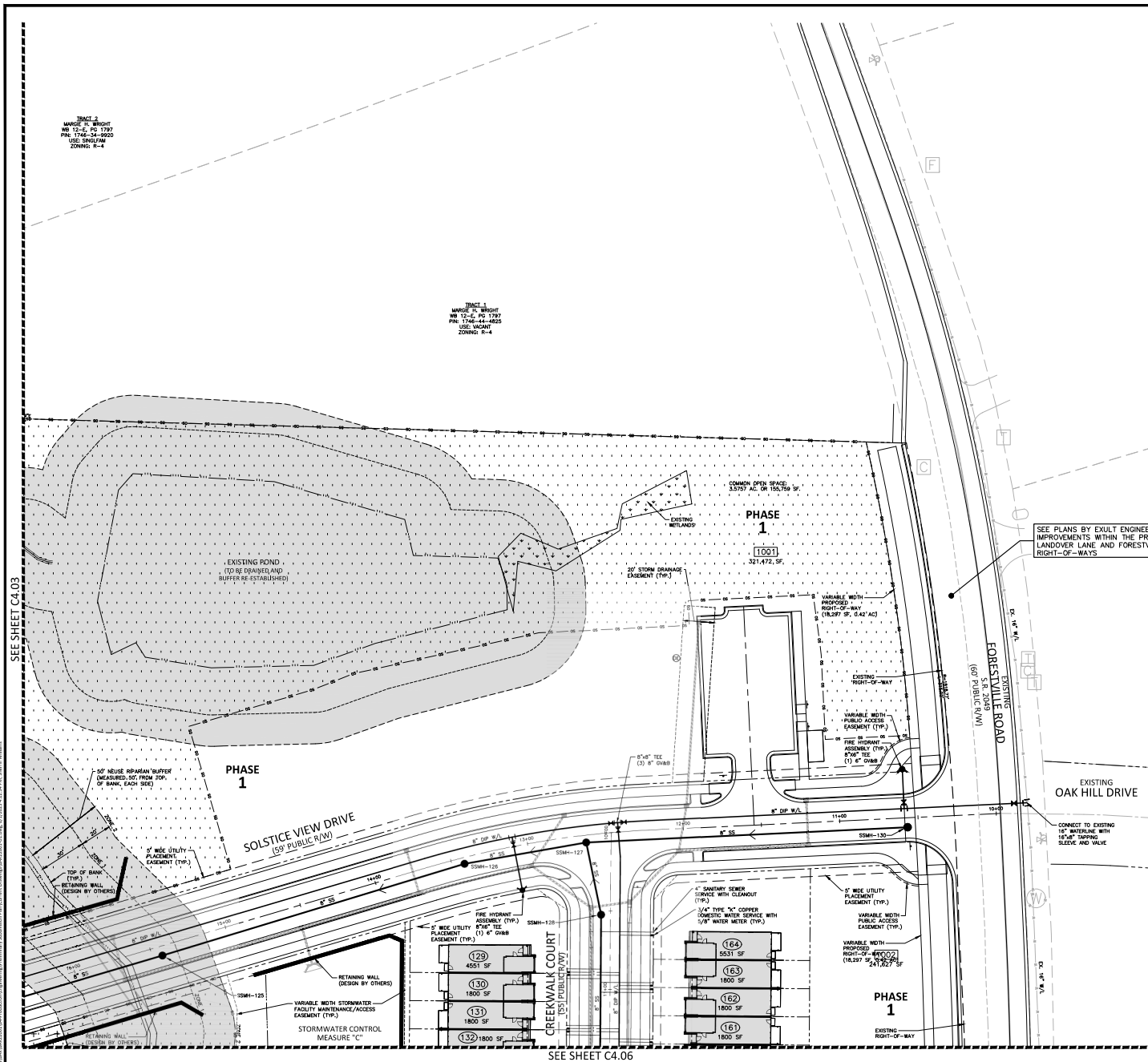
**PLAN INFORMATION**

PROJECT NO.	BAK-22001
FILENAME	BAK22001-U1
CHECKED BY	-
DRAWN BY	-
SCALE	1"=30'
DATE	11.23.2022

**UTILITY PLAN**  
**AREA "B"**  
**C4.02**







TRACT 2  
MARGIE H. WRIGHT  
WB 12-E, PG 1797  
PIN: 1746-34-9920  
USE: SINGLFAM  
ZONING: R-4

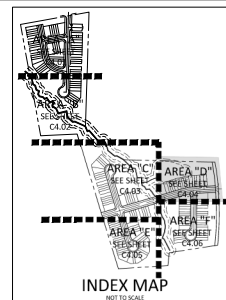
PHASE  
1

EXISTING  
K HILL DRIVE

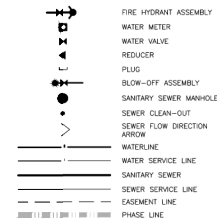
SEE SHEET C0.00 FOR ALL PROJECT, SITE,  
GRADING, STORM DRAINAGE AND UTILITY  
NOTES

 PRIVATE STORM DRAINAGE EASEMENT  
 PUBLIC STORM DRAINAGE EASEMENT

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



### UTILITY LEGEND



### OPEN SPACE LEGEND



**GRAPHIC SCALE**

15 30 60

1 inch = 30 ft



## CLIENT

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7001 WESTON PARKWAY, SUITE 150  
CARY, NC 27513  
CONTACT: MARK BOWLES  
PHONE: 919.276.3333



## REVISIONS

- |   |            |                                      |
|---|------------|--------------------------------------|
| 1 | 03.10.2023 | REVISED PER CITY OF RALEIGH COMMENTS |
| 2 | 04.25.2023 | REVISED PER CITY OF RALEIGH COMMENTS |
| 3 | 06.02.2023 | REVISED PER CITY OF RALEIGH COMMENTS |

## PLAN INFORMATION

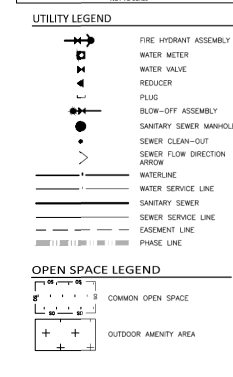
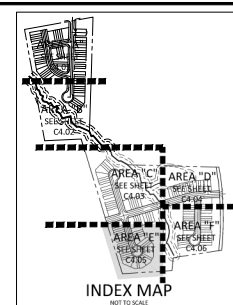
PROJECT NO.	BAK-22001
FILENAME	BAK22001-U1
CHECKED BY	.
DRAWN BY	.
SCALE	1"=30'
DATE	11. 23. 2022

## SHEET

UTILITY PLAN  
AREA "D"

## C4.04



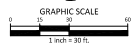


SEE SHEET C4.00

SEE SHEET C4.05

SEE SHEET C4.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

PRIVATE STORM DRAINAGE EASEMENT  
PUBLIC STORM DRAINAGE EASEMENT



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CONTACT: MARK ROWLES  
PHONE: 919.275.2223

**BR BAKER**  
RESIDENTIAL

the **pgarc** **@540**  
COMPACT PRELIMINARY SUBDIVISION PLAN  
FORESTVILLE ROAD  
RALEIGH, NORTH CAROLINA

**REVISIONS**

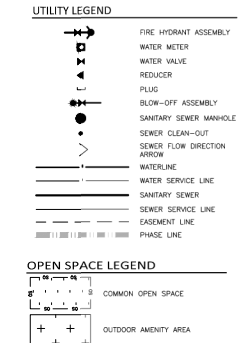
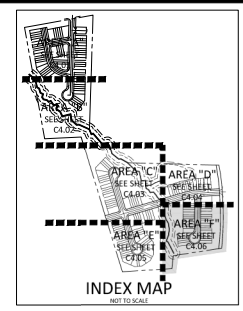
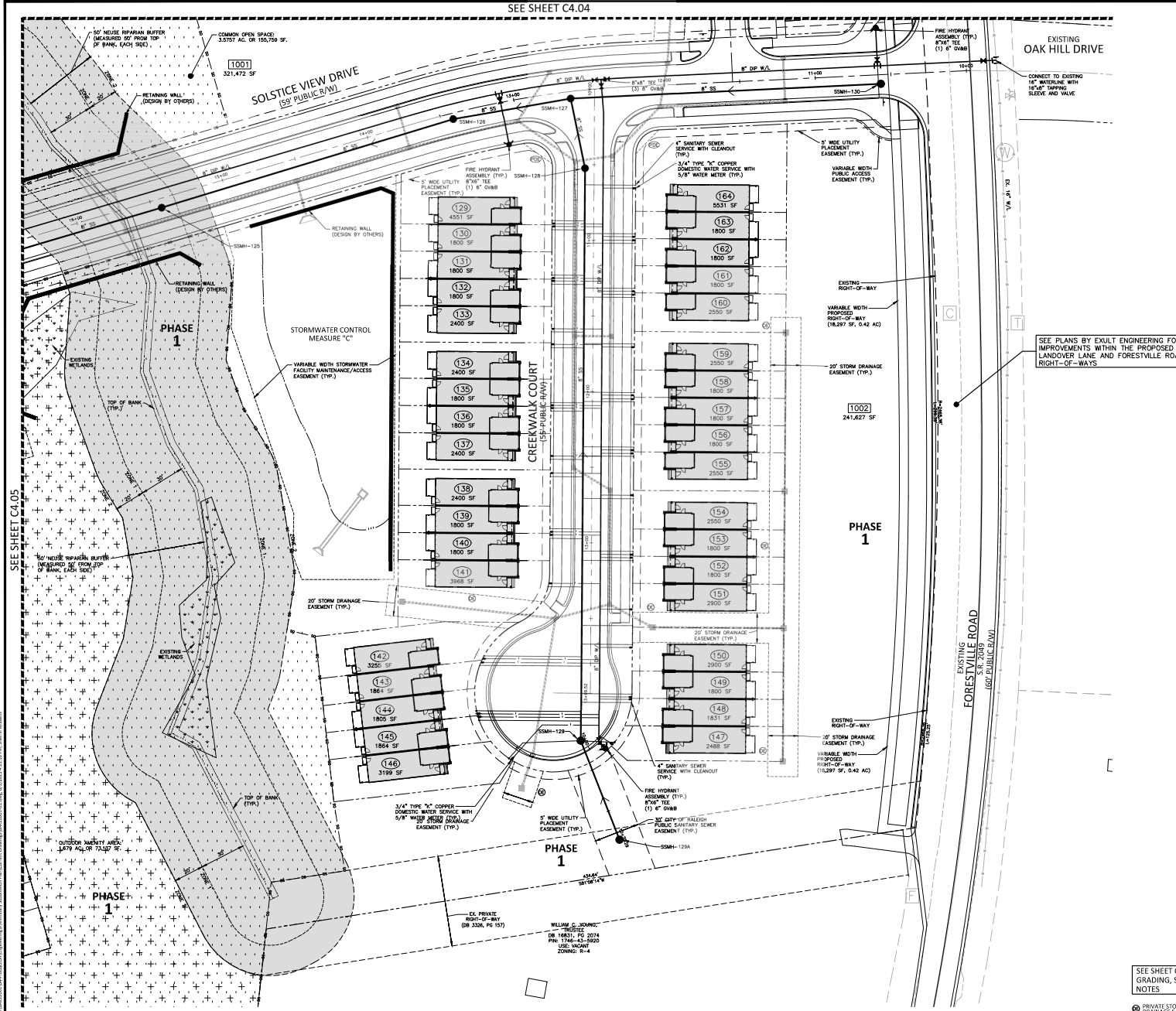
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3	06.02.2023	REVISED PER CITY OF RALEIGH COMMENTS

**PLAN INFORMATION**

PROJECT NO.	BAK-22001
FILENAME	BAK22001-U1
CHECKED BY	
DRAWN BY	
SCALE	1"=30'
DATE	11.23.2022

**SHEET**  
**UTILITY PLAN**  
**AREA "E"**  
**C4.05**

SEE SHEET C4.04



SEE SHEET C4.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

PRIVATE STORM DRAINAGE EASEMENT  
PUBLIC STORM DRAINAGE EASEMENT



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**BR BAKER RESIDENTIAL**

**COMPACT PRELIMINARY SUBDIVISION PLAN**  
**FORESTVILLE ROAD**  
RALEIGH, NORTH CAROLINA



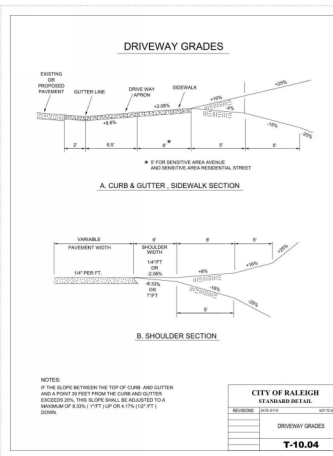
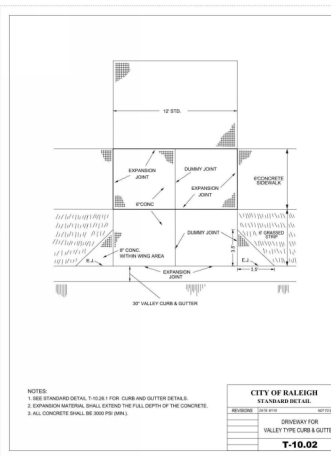
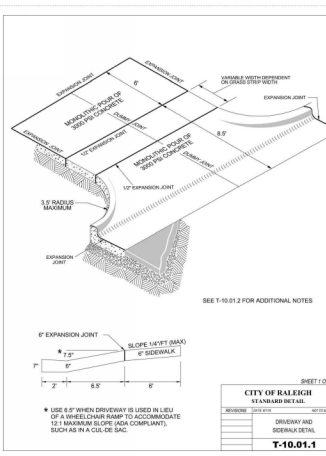
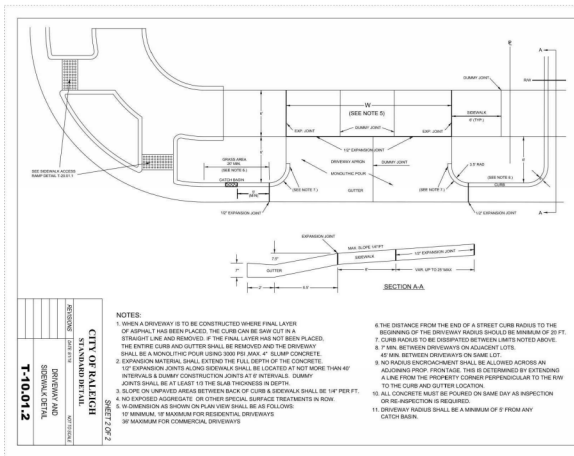
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**PLAN INFORMATION**

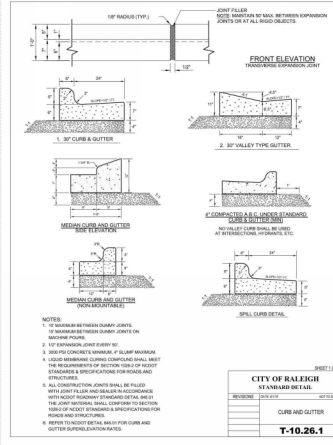
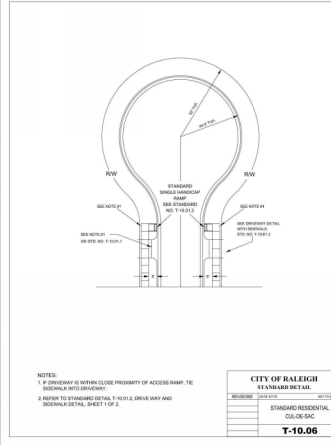
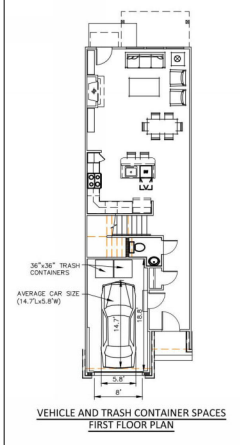
PROJECT NO.	BAK-22001
FILENAME	BAK22001-U1
CHECKED BY	
DRAWN BY	
SCALE	1"=30'
DATE	11.23.2022

**SHEET**  
**UTILITY PLAN**  
**AREA "F"**  
**C4.06**



**SOLID WASTE COMPLIANCE STATEMENT:**

- THE DEVELOPER ACKNOWLEDGES THAT THEY HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.
- THE SOLID WASTE REMOVAL FOR THIS PROJECT WILL BE HANDLED BY THE CITY OF RALEIGH.
- INDIVIDUAL ROLL-OUT CARTS WILL BE PROVIDED.
- ALL REUSE CONTAINERS WILL BE STORED IN INDIVIDUAL GARAGES.



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PHONE: 984.275.2223

**BR BAKER**  
RESIDENTIAL

the **pgarc** @540  
COMPACT PRELIMINARY SUBDIVISION PLAN  
FORESTVILLE ROAD  
RALEIGH, NORTH CAROLINA

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**PLAN INFORMATION**

PROJECT NO.	BAK-22001
FILENAME	BAK22001-01
CHECKED BY	WTO
DRAWN BY	SRW
SCALE	N.T.S.
DATE	11.23.2022

**SHEET**

**SITE DETAILS**

**C8.00**

**CLIENT**

AKER RESIDENTIAL  
01 WESTON PARKWAY, SUITE 150  
RY, NC 27513  
CONTACT: MARK BOWLES  
PHONE: 984.275.3223



**parc  
@540**

COMPACT PRELIMINARY SUBDIVISION PLAN  
FORESTVILLE ROAD  
RALEIGH, NORTH CAROLINA

## REVISIONS

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06.02.2023	REVISED PER CITY OF RALEIGH COMM

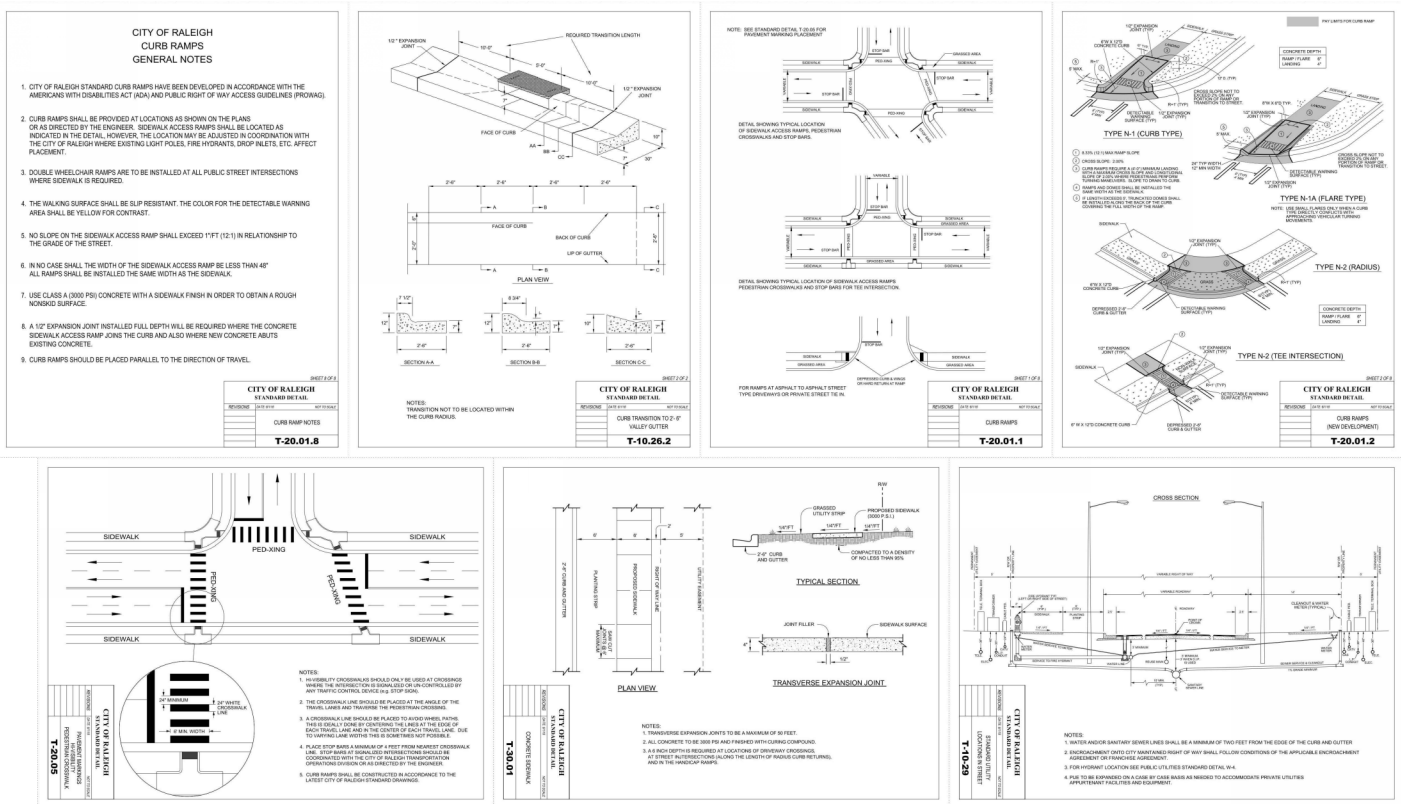
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FILENAME	BAK22001-D1
CHECKED BY	WTO
DRAWN BY	SRW
SCALE	N.T.S.
DATE	11. 23. 2022

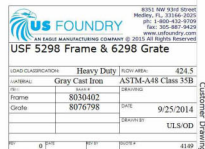
## HEET

## SITE DETAILS

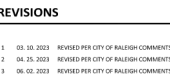
## C8.01







PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



## REVISIONS

1	03. 10. 2023	REVISED PER CITY OF RALEIGH COMMENTS
2	04. 25. 2023	REVISED PER CITY OF RALEIGH COMMENTS
3	06. 02. 2023	REVISED PER CITY OF RALEIGH COMMENTS

### PLAN INFORMATION

PROJECT NO.	BAK-22001
FILENAME	BAK22001-D1
CHECKED BY	WTO
DRAWN BY	SRW
SCALE	N.T.S.
DATE	11. 23. 2022

SHEET

## STORM DRAINAGE DETAILS

## C8.02





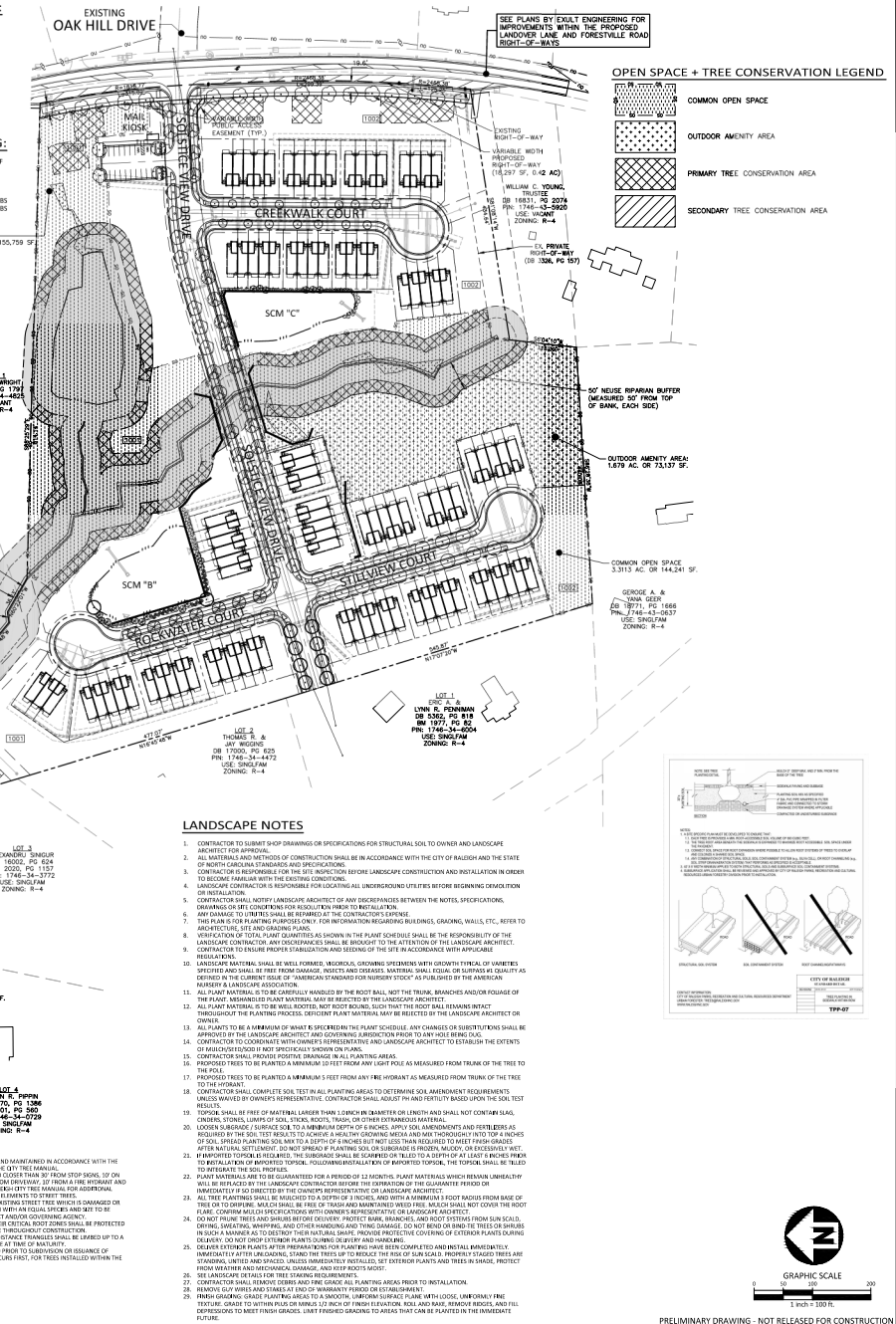
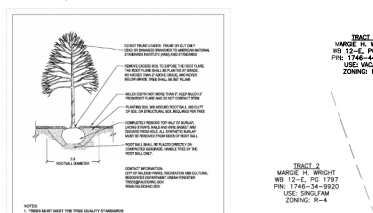


# PLANT SCHEDULE

TREES	CODE	QTY	COMMON NAME	BOTANICAL NAME	CAL	HEIGHT
ACB	7		Southern Sugar Maple	<i>Acer barbatum</i>	9" min	10' min
ART	31		Trident Maple	<i>Acer buergerianum 'Arym'</i>	3" min	10' min
CNE	29		European Hornbeam	<i>Carpinus betulus</i>	9" min	10' min
NTS	17		Black gum	<i>Nyssa sylvatica</i>	3" min	10' min
PCC	12		Chinese Pistache	<i>Pistacia chinensis</i>	3" min	10' min
QUB	14		Swamp White Oak	<i>Quercus bicolor</i>	3" min	10' min
QUS	20		Quercus shumardii	<i>Quercus shumardii</i>	3" min	10' min
UAP	33		American Elm	<i>Ulmus americana 'Princeton'</i>	3" min	10' min
ZSV	28		Sawleaf Zelkova	<i>Zelkova serrata 'Village Green'</i>	3" min	10' min
UNDERSTORY TREES	CODE	QTY	COMMON NAME	BOTANICAL NAME	CAL	HEIGHT
AGB	12		'Autumn Brilliance' Serviceberry	<i>Amelanchier x grandiflora 'Autumn Brilliance'</i>	1.5" min	8' min
CCA	27		Eastern Red Bud Single Stem	<i>Cercis canadensis</i>	1.5" min	8' min
CCF	18		Eastern Red Bud Single Stem	<i>Cercis canadensis 'Flame'</i>	1.5" min	8' min
SHRUBS	CODE	QTY	COMMON NAME	BOTANICAL NAME	CAL	HEIGHT
FXIN	17		Banister Forsythia	<i>Forsythia x intermedia</i>	-	24" min
GBH	49		Isaberry	<i>Rosa glabra</i>	-	24" min
IGNI	29		Nigra Inkberry	<i>Rosa glabra 'Nigra'</i>	-	18" min
EVN	53		Dwarf 'Euphon Holly	<i>Ilex vomitoria 'Nana'</i>	-	18" min
ITVI	12		Virginia Sweetpire	<i>Itea virginica</i>	-	18" min
LORD	48		Fringe Flower	<i>Lonicetulum chinense</i>	-	24" min
LORS	26		Purple Diamond® Fringe Flower	<i>Lonicetulum chinense rubrum 'Shang Yi'</i>	-	30" min
MYCE	15		Wax Myrtle	<i>Myrica cerifera</i>	-	24" min

# LANDSCAPE CALCULATIONS:

STREET TREES	LANDSCAPE CALCULATIONS:	LANDSCAPE CALCULATIONS:
FORESTVILLE RD: SHADE TREES REQUIRED: SCREENING PROVIDED:	684 LF 27 (1/400 LF) 8 TREES	SCM A': SCREENING REQUIRED: SCREENING PROVIDED:
LANDOVER LN: UNDERSTORY TREES REQUIRED:	558 LF 27 (1/200 LF) 8 TREES	SCM B': SCREENING REQUIRED: SCREENING PROVIDED:
SERENITY MEADOW DR: SHADE TREES REQUIRED: SHADE TREES PROVIDED:	1,020 LF 25 (1/400 LF) 27	SCM C': SCREENING REQUIRED: SCREENING PROVIDED:
BROOKWALK DR: SHADE TREES REQUIRED: SHADE TREES PROVIDED:	887 LF 22 (1/400 LF) 15	TOTAL CS PROTECTIVE YARD: SHRUBS REQUIRED: SHRUBS PROVIDED:
EMERALD ACRES WAY: SHADE TREES REQUIRED: SHADE TREES PROVIDED:	272 LF 7 (1/400 LF) 46	72 LF 22 SHRUBS 26 SHRUBS
SOLISTICE VIEW DR: SHADE TREES REQUIRED: SHADE TREES PROVIDED:	1,814 LF 45 (1/400 LF) 15	CRENSHAW COURT: SHADE TREES REQUIRED: SHADE TREES PROVIDED:
ROCKWATER COURT: SHADE TREES REQUIRED: SHADE TREES PROVIDED:	572 LF 14 (1/400 LF) 14	STILLVIEW COURT: SHADE TREES REQUIRED: SHADE TREES PROVIDED:



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**BR BAKER RESIDENTIAL**

the **pgarc** @540

COMPACT PRELIMINARY SUBDIVISION PLAN  
FORESTVILLE ROAD  
RALEIGH, NORTH CAROLINA

**REVISIONS**

1	03. 10. 2023	REVISED PER CITY OF RALEIGH COMMENTS
2	04. 25. 2023	REVISED PER CITY OF RALEIGH COMMENTS
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**PLAN INFORMATION**

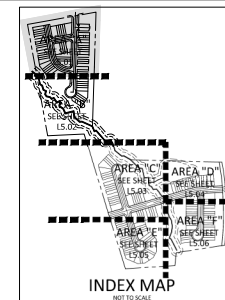
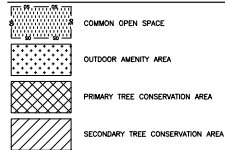
PROJECT NO. BAK-22001  
FILENAME BAK22001-LS1  
CHECKED BY -  
DRAWN BY -  
SCALE 1"=100'  
DATE 11. 23. 2022

**SHEET**

OVERALL CODE  
CODE LANDSCAPE PLAN  
**L5.00**



# OPEN SPACE + TREE CONSERVATION LEGEND



## PLANT SCHEDULE

TREES	CODE	BOTANICAL / COMMON NAME
ACB	Asar herbustum	Southern Sugar Maple
ABT	Asar buergerianum 'Aetyn'	Trident Maple
CBE	Carpinus betulus	European Hornbeam
NYS	Nyssa sylvatica	Black gum
PCC	Pisica chinensis	Chinese Pistache
QUB	Quercus brederi	Savanna White Oak
QUS	Quercus shumardii	Shumard Red Oak
UAP	Ulmus americana 'Princeton'	American Elm
ZSV	Zakova serrata 'Village Green'	Savard Zelkova
UNDERSTORY TREES	CODE	BOTANICAL / COMMON NAME
AGB	Amelanchier x grandiflora 'Autumn Brilliance'	'Autumn Brilliance' Serviceberry
CCA	Cercis canadensis	Eastern Red Bud
CCF	Cercis canadensis 'Flame'	Eastern Red Bud
SHRUBS	CODE	BOTANICAL / COMMON NAME
FXN	Forsythia x intermedia	Border Forsythia
IBH	Ilex glabra	Inkberry
IGN	Ilex glabra 'Nigra'	Nigra Inkberry
ILVN	Ilex vomitoria 'Nana'	Dwarf Yaupon Holly
ITVI	Itea virginica	Virginia Sweetpea
LCPD	Loropetalum chinense	Fringe Flower
LCPB	Loropetalum chinense nigrum 'Shang-hi'	Purple Diamond® Fringe Flower
MACE	Myrica cerifera	Wax Myrtle

## REVISIONS

1	03.10.2023	REVISED PER CITY OF RALEIGH COMMENTS
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3	06.02.2023	REVISED PER CITY OF RALEIGH COMMENTS

## PLAN INFORMATION

PROJECT NO. BAK-22001  
 FILENAME BAK22001-L51  
 CHECKED BY  
 DRAWN BY  
 SCALE 1"=30'  
 DATE 11.23.2022  
 SHEET

## CODE LANDSCAPE PLAN AREA "A"

L5.01

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 COMPACT PRELIMINARY SUBDIVISION PLAN  
 FORESTVILLE ROAD  
 RALEIGH, NORTH CAROLINA



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 SHEET

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L5.01

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 FORESTVILLE ROAD  
 RALEIGH, NORTH CAROLINA



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3	06.02.2023	REVISED PER CITY OF RALEIGH COMMENTS

## PLAN INFORMATION

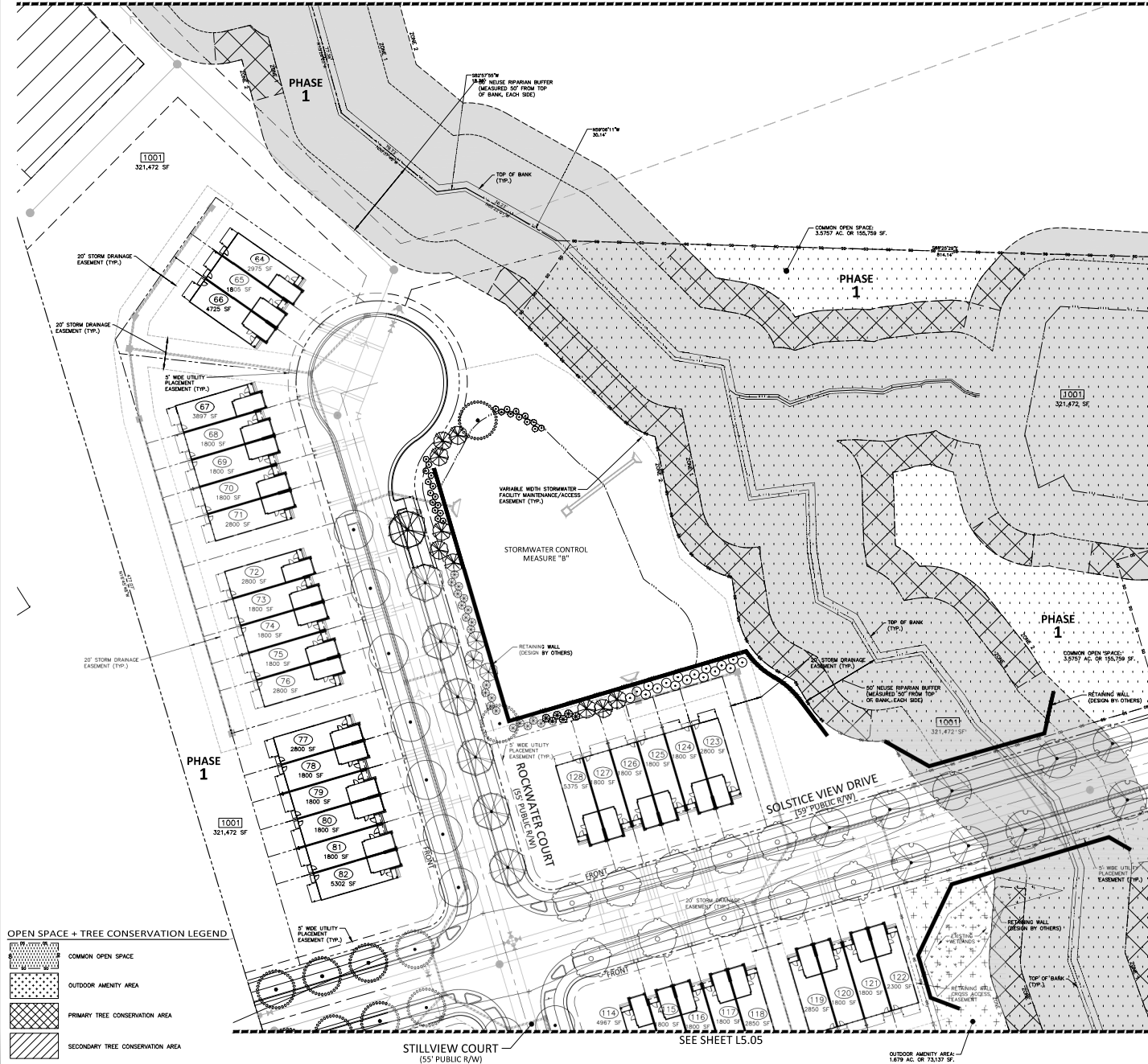
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 SCALE 1"=30'  
 DATE 11.23.2022  
 SHEET

## CODE LANDSCAPE PLAN AREA "A"

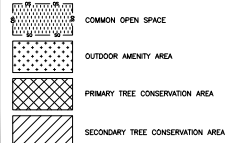
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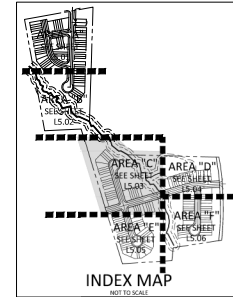
SEE SHEET L5.02



## OPEN SPACE + TREE CONSERVATION LEGEND

STILLVIEW COURT  
(55' PUBLIC R/W)

SEE SHEET L5.05

OUTDOOR AMENITY AREA  
1,679 AC. OR 73,137 SF.

## PLANT SCHEDULE

TREES	CODE	BOTANICAL / COMMON NAME
ACB	Acorn	Acorn
ABT	Acorn	Acorn
CBE	Carpinus betulus	European Hornbeam
NYS	Nyssa sylvatica	Black gum
PCC	Pistacia chinensis	Chinese Pistache
QIB	Quercus bicolor	Swamp White Oak
QIS	Quercus shumardii	Shumard Red Oak
UAP	Ulmus americana	'Princeton' American Elm
ZSV	Zelkova serrata	'Village Green' Sawtooth Zelkova
UNDERSTORY TREES	CODE	BOTANICAL / COMMON NAME
AGB	Ametelchieria grandiflora	'Autumn Brilliance' Autumn Brilliance Serviceberry
CCA	Cercis canadensis	Eastern Red Bud
CCF	Cercis canadensis	'Flame' Eastern Red Bud
SHRUBS	CODE	BOTANICAL / COMMON NAME
IGH	Ilex glabra	Hollyberry
IGN	Ilex glabra	'Nigra' Hollyberry
LVN	Ilex vomitoria	'Nana' Dwarf Yaupon Holly
IVI	Ilex virginica	Virginia Sweetgum
LOPD	Lonicera japonica	Chinese Honeysuckle
LOKS	Lonicera japonica	'Shangri-La' Purple Diamond® Honeysuckle
MYCE	Myrica cerifera	Wax Myrtle

SHRUBS	CODE	BOTANICAL / COMMON NAME
IGH	Ilex glabra	Hollyberry
IGN	Ilex glabra	'Nigra' Hollyberry
LVN	Ilex vomitoria	'Nana' Dwarf Yaupon Holly
IVI	Ilex virginica	Virginia Sweetgum
LOPD	Lonicera japonica	Chinese Honeysuckle
LOKS	Lonicera japonica	'Shangri-La' Purple Diamond® Honeysuckle
MYCE	Myrica cerifera	Wax Myrtle

GRAPHIC SCALE  
1" = 30' RL

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

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## CLIENT

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the **pgrc** @540  
COMPACT PRELIMINARY SUBDIVISION PLAN  
FORESTVILLE ROAD  
RALEIGH, NORTH CAROLINA

## REVISIONS

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## PLAN INFORMATION

PROJECT NO.: BAK-22001  
FILENAME: BAK22001-L51  
CHECKED BY: -  
DRAWN BY: -  
SCALE: 1"=30'  
DATE: 11.23.2022

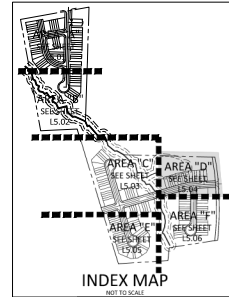
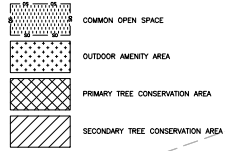
## SHEET

CODE LANDSCAPE PLAN  
AREA "C"

L5.03



# OPEN SPACE + TREE CONSERVATION LEGEND



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7001 WESTON PARKWAY, SUITE 150  
CARY, NC 27513  
CONTACT: MARK ROWLES  
PHONE: 919. 275. 2223

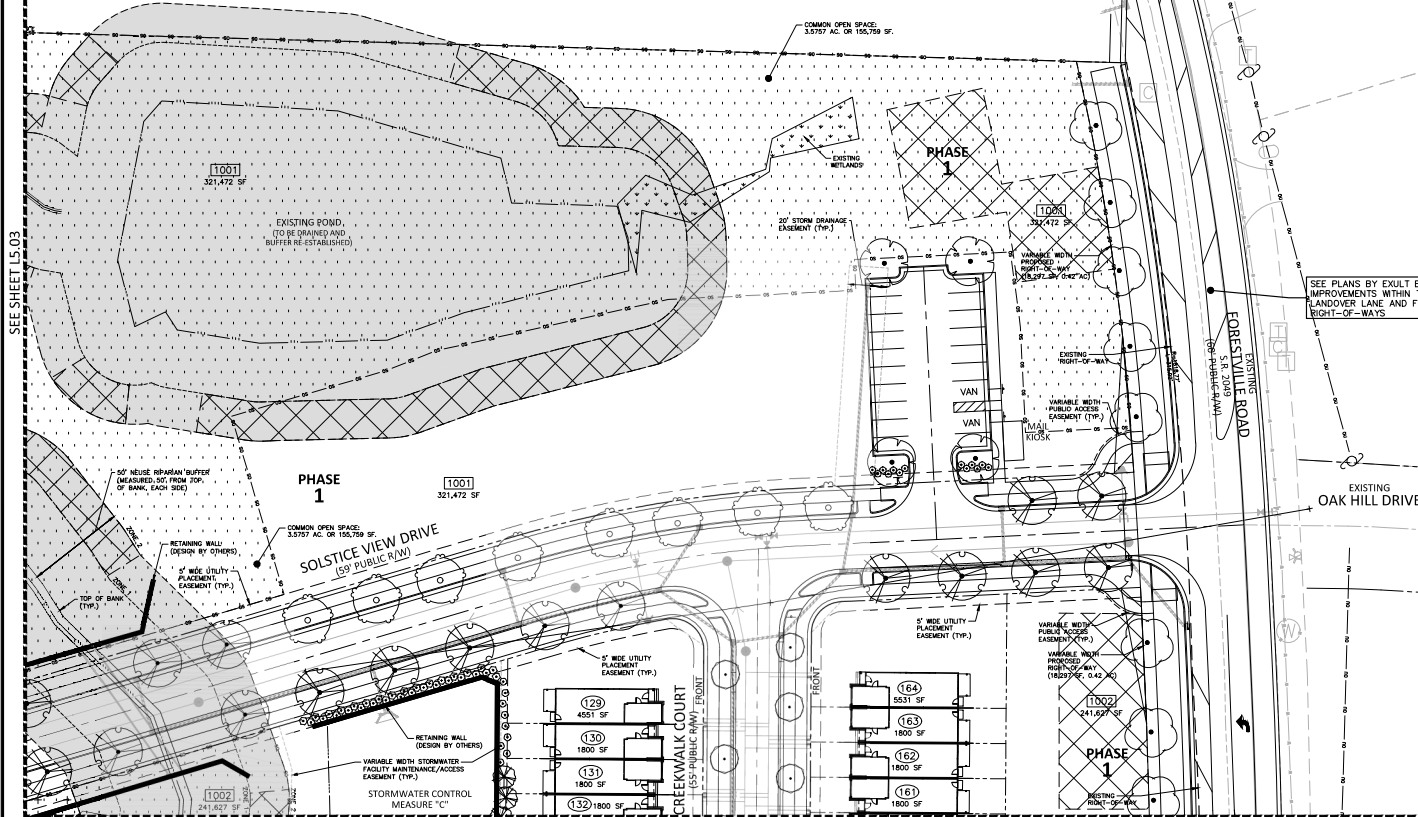
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the **pgarc** **@540**  
COMPACT PRELIMINARY SUBDIVISION PLAN  
FORESTVILLE ROAD  
RALEIGH, NORTH CAROLINA

## PLANT SCHEDULE

TREES	CODE	BOTANICAL / COMMON NAME
ACB	ACB	Acer barbatum Southern Sugar Maple
ABT	ABT	Acer buergerianum 'Aerlyn' Trident Maple
CBE	CBE	Carpinus betulus European Hornbeam
NTS	NTS	Nyssa sylvatica Black gum
PCC	PCC	Pistacia chinensis Chinese Pistache
QUB	QUB	Quercus bicolor Swamp White Oak
QUS	QUS	Quercus shumardii Shumard Red Oak
UAP	UAP	Ulmus americana 'Princeton' American Elm
ZSV	ZSV	Zelkova serrata 'Village Green' Sawleaf Zelkova
UNDERSTORY TREES	CODE	BOTANICAL / COMMON NAME
AGB	AGB	Aemulocher x grandiflora 'Autumn Brilliance' Autumn Brilliance Serviceberry
CCA	CCA	Cercis canadensis Eastern Red Bud
CCF	CCF	Cercis canadensis 'Flame' Eastern Red Bud
SHRUBS	CODE	BOTANICAL / COMMON NAME
IGH	IGH	Ilex glabra Holly
IGN	IGN	Ilex glabra 'Nrga' Nrga Holly
ELVN	ELVN	Ilex vomitoria 'Nand' Dwarf Nausea Holly
ITV	ITV	Ilex virginica Virginia Sweetgum
LCTP	LCTP	Lonicera chlorocarpa Fringe Flower
LCBS	LCBS	Lonicera chlorocarpa 'Shang-Hi' Purple Diamond® Fringe Flower
MYEL	MYEL	Myrica caroliniana Wax Myrtle

SEE SHEET L5.03



SEE SHEET L5.06

SEE PLANS BY EXULT ENGINEERING FOR IMPROVEMENTS WITHIN THE PROPOSED C&DOVER LANE AND FORESTVILLE ROAD RIGHT-OF-WAYS

EXISTING OAK HILL DRIVE



GRAPHIC SCALE  
1 inch = 30 feet

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

## REVISIONS

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3	06.02.2023	REVISED PER CITY OF RALEIGH COMMENTS

## PLAN INFORMATION

PROJECT NO. BAK-22001  
FILENAME BAK22001-L51  
CHECKED BY  
DRAWN BY  
SCALE 1"=30'  
DATE 11.23.2022

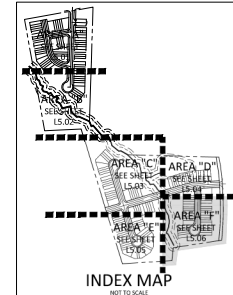
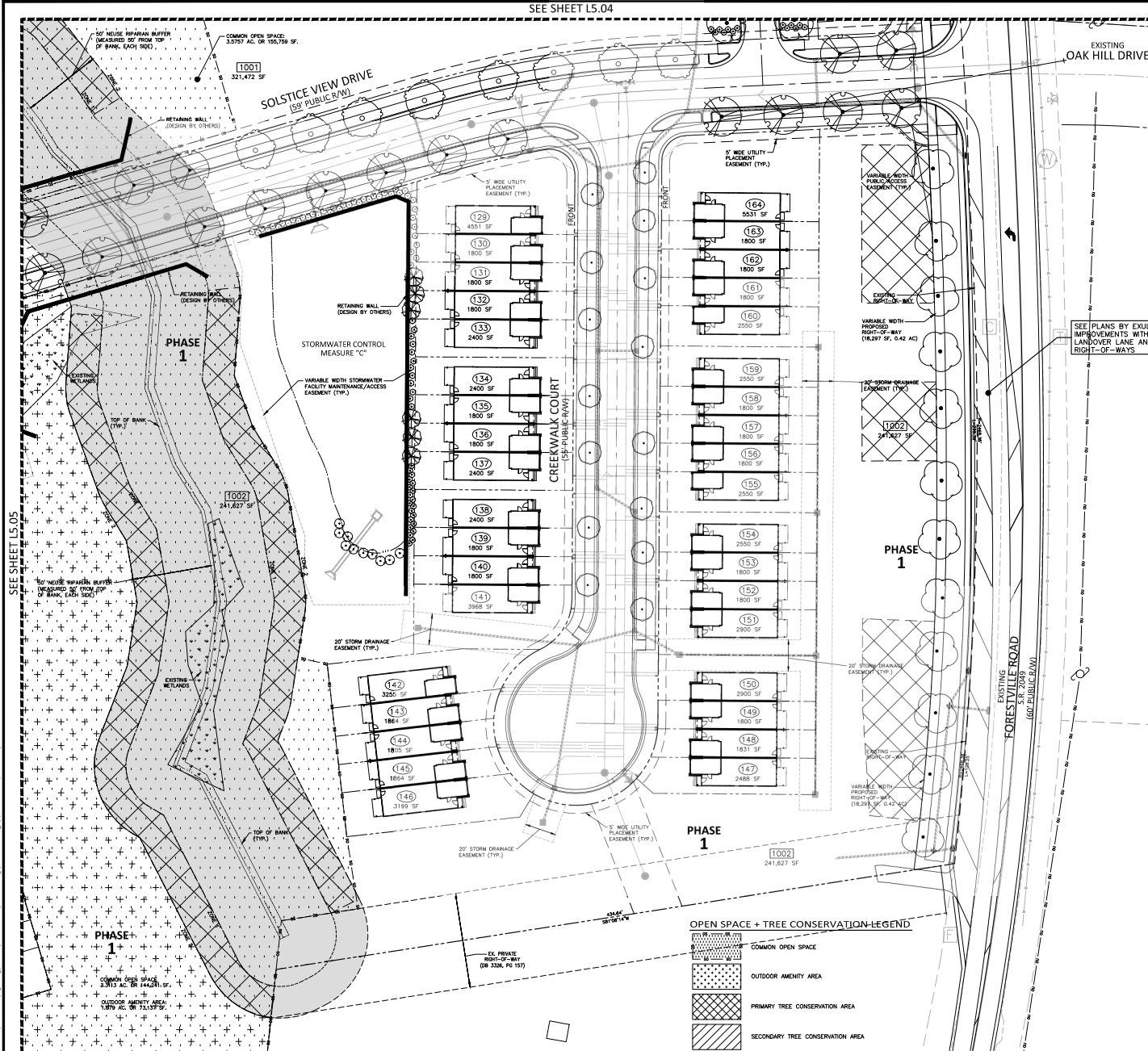
## SHEET

CODE LANDSCAPE PLAN  
AREA "D"

**L5.04**



SEE SHEET L5.04



**PLANT SCHEDULE**

TREES	CODE	BOTANICAL / COMMON NAME
ACB	Acer barbatum	Southern Sugar Maple
ABT	Acer buergerianum 'Aem'	Trident Maple
CBE	Carpinus betulus	European Hornbeam
NYS	Nyssa sylvatica	Black gum
PCC	Pistacia chinensis	Chinese Pistache
QUB	Quercus bicolor	Swamp White Oak
QUS	Quercus shumardii	Shumard Red Oak
UAP	Ulmus americana 'Princeton'	American Elm
ZSV	Zelkova serrata 'Village Green'	Sawleaf Zelkova
UNDERSTORY TREES	CODE	BOTANICAL / COMMON NAME
AGR	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry
CCA	Cercis canadensis	Eastern Red Bud
CCF	Cercis canadensis 'Flame'	Eastern Red Bud
SHRUBS	CODE	BOTANICAL / COMMON NAME
IGH	Ilex glabra	Indigo
IGN	Ilex glabra 'Nipsa'	Nipsa Indigo
ELN	Ilex vomitoria 'Nana'	Dwarf Nausea Holly
ITV	Itaia virginica	Virginia Sweetgum
LCPD	Longepetrum chinense	Fringe Flower
LCRS	Longepetrum chinense rubrum 'Shang-hi'	Red Fringe Flower
MYCE	Myrica cerifera	Wax Myrtle

**CLIENT**  
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CARY, NC 27513  
CONTACT: MARK ROWLES  
PHONE: 919. 275. 2223



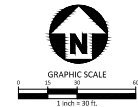
**the pgrc @540**  
COMPACT PRELIMINARY SUBDIVISION PLAN  
FORESTVILLE ROAD  
RALEIGH, NORTH CAROLINA

**REVISIONS**

1	03.10.2023	REVISED PER CITY OF RALEIGH COMMENTS
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3	06.02.2023	REVISED PER CITY OF RALEIGH COMMENTS

**PLAN INFORMATION**

PROJECT NO. BAK-22001  
FILENAME BAK22001-L51  
CHECKED BY  
DRAWN BY  
SCALE 1"=30'  
DATE 11.23.2022  
**SHEET**  
**CODE LANDSCAPE PLAN AREA "F"**



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

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OPEN SPACE CALCULATIONS	
NET SITE AREA:	28.62 ACRES (1,240,500 SF)
IMPROVEMENTS:	4.93 ACRES (213,450 SF) (3.9%)
PROVIDED:	3.14 ACRES (135,750 SF) (10.9%)
CONTINGENCY OPEN SPACE:	1.79 ACRES (78,750 SF) (6.3%)
PROVIDED:	5.0 ACRES (217,500 SF) (4.1%)
FORMAL/INFORMAL MAINTENANCE:	0.00 ACRES (0 SF) (0.0%)
LANDSCAPED:	0.00 ACRES (0 SF) (0.0%)
PROVIDED:	0.00 ACRES (0 SF) (0.0%)

OUTDOOR AMENITY AREA CALCULATIONS	
NET SITE AREA:	28.62 ACRES (1,240,500 SF)
IMPROVEMENTS:	4.93 ACRES (213,450 SF) (3.9%)
PROVIDED:	3.14 ACRES (135,750 SF) (10.9%)
CONTINGENCY OPEN SPACE:	1.79 ACRES (78,750 SF) (6.3%)
PROVIDED:	5.0 ACRES (217,500 SF) (4.1%)
FORMAL/INFORMAL MAINTENANCE:	0.00 ACRES (0 SF) (0.0%)
LANDSCAPED:	0.00 ACRES (0 SF) (0.0%)
PROVIDED:	0.00 ACRES (0 SF) (0.0%)

COMMON OPEN SPACE ANALYSIS:	
UDG SECTION 2.5.2. OPEN SPACE ALLOCATION	
IN ALLOCATING LAND FOR COMMON OPEN SPACE, UDG SECTION 2.5.2. SHALL BE UTILIZED TO DETERMINE PRIORITY AREAS RESERVED FOR COMMON OPEN SPACE. OPEN SPACE IS PRESERVED ALONG SECONDARY WATERWAYS BY CLUSTERING THE OPEN SPACE AROUND THE EXISTING STREAM FEATURES AND WETLANDS. SECONDLY, THERE IS NO FLOODWAY OR FLOODPLAIN ON SITE AND AS SUCH, CANNOT BE PRESERVED AS SECONDARY OPEN SPACE PER UDG SECTION 2.5.2.8. THE TERTIARY OPEN SPACE ALLOWS PRESERVATION OF OPEN SPACE AROUND NATURAL FEATURES AND AREAS THAT CONNECT TO NEIGHBORING OPEN SPACE, WHICH IS CLUSTERED AROUND PRIMARY OPEN SPACE.	

COMMON OPEN SPACE ANALYSIS:	
UDG SECTION 2.5.3. CONFIGURATION OF OPEN SPACE	
A. THE COMMON OPEN SPACE SHOWN ON THE MAP SHALL BE AS SHOWN ON THIS PLAN.	
B. AT LEAST 60% OF THE OPEN SPACE IS CONTIGUOUS. THERE ARE TWO AREAS WHICH ARE USED TO SATISFY THIS REQUIREMENT. BOTH ARE PROXIMATE TO EACH OTHER AND ARE USED TO ACCESS THE OPEN SPACE. THE RIGHT-OF-WAY IS NOT INCLUDED IN THE CALCULATION.	
C. THE OPEN SPACE CAN BE CONTIGUOUS TO SURROUNDING RESIDENTIAL PROPERTIES.	
D. THE REQUIRED OPEN SPACE IS IDENTIFIED THROUGHOUT THE DEVELOPING AREA AND IS THE LARGEST PRACTICABLE NUMBER OF DWELLING UNITS.	
E. NO LOT IS FURTHER THAN A 1/4 MILE FROM THE OPEN SPACE, AS SHOWN WITH DIMENSIONING ON THIS PLAN.	
F. ACCESS TO THE OPEN SPACE IS PROVIDED VIA AN ABUTTING PUBLIC STREET.	

OPEN SPACE + TREE CONSERVATION LEGEND	
COMMON OPEN SPACE	
OUTDOOR AMENITY AREA	
PRIMARY TREE CONSERVATION AREA	
SECONDARY TREE CONSERVATION AREA	

COMMON OPEN SPACE ANALYSIS:	
UDG SECTION 2.5.2. OPEN SPACE ALLOCATION	
IN ALLOCATING LAND FOR COMMON OPEN SPACE, UDG SECTION 2.5.2. SHALL BE UTILIZED TO DETERMINE PRIORITY AREAS RESERVED FOR COMMON OPEN SPACE. OPEN SPACE IS PRESERVED ALONG SECONDARY WATERWAYS BY CLUSTERING THE OPEN SPACE AROUND THE EXISTING STREAM FEATURES AND WETLANDS. SECONDLY, THERE IS NO FLOODWAY OR FLOODPLAIN ON SITE AND AS SUCH, CANNOT BE PRESERVED AS SECONDARY OPEN SPACE PER UDG SECTION 2.5.2.8. THE TERTIARY OPEN SPACE ALLOWS PRESERVATION OF OPEN SPACE AROUND NATURAL FEATURES AND AREAS THAT CONNECT TO NEIGHBORING OPEN SPACE, WHICH IS CLUSTERED AROUND PRIMARY OPEN SPACE.	

COMMON OPEN SPACE ANALYSIS:	
UDG SECTION 2.5.3. CONFIGURATION OF OPEN SPACE	
A. THE COMMON OPEN SPACE SHOWN ON THE MAP SHALL BE AS SHOWN ON THIS PLAN.	
B. AT LEAST 60% OF THE OPEN SPACE IS CONTIGUOUS. THERE ARE TWO AREAS WHICH ARE USED TO SATISFY THIS REQUIREMENT. BOTH ARE PROXIMATE TO EACH OTHER AND ARE USED TO ACCESS THE OPEN SPACE. THE RIGHT-OF-WAY IS NOT INCLUDED IN THE CALCULATION.	
C. THE OPEN SPACE CAN BE CONTIGUOUS TO SURROUNDING RESIDENTIAL PROPERTIES.	
D. THE REQUIRED OPEN SPACE IS IDENTIFIED THROUGHOUT THE DEVELOPING AREA AND IS THE LARGEST PRACTICABLE NUMBER OF DWELLING UNITS.	
E. NO LOT IS FURTHER THAN A 1/4 MILE FROM THE OPEN SPACE, AS SHOWN WITH DIMENSIONING ON THIS PLAN.	
F. ACCESS TO THE OPEN SPACE IS PROVIDED VIA AN ABUTTING PUBLIC STREET.	

COMMON OPEN SPACE ANALYSIS:	
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E. NO LOT IS FURTHER THAN A 1/4 MILE FROM THE OPEN SPACE, AS SHOWN WITH DIMENSIONING ON THIS PLAN.	
F. ACCESS TO THE OPEN SPACE IS PROVIDED VIA AN ABUTTING PUBLIC STREET.	

# COMMON OPEN SPACE ANALYSIS:

UDG SECTION 2.5.2. OPEN SPACE ALLOCATION  
IN ALLOCATING LAND FOR COMMON OPEN SPACE, UDG SECTION 2.5.2. SHALL BE UTILIZED TO DETERMINE PRIORITY AREAS RESERVED FOR COMMON OPEN SPACE. OPEN SPACE IS PRESERVED ALONG SECONDARY WATERWAYS BY CLUSTERING THE OPEN SPACE AROUND THE EXISTING STREAM FEATURES AND WETLANDS. SECONDLY, THERE IS NO FLOODWAY OR FLOODPLAIN ON SITE AND AS SUCH, CANNOT BE PRESERVED AS SECONDARY OPEN SPACE PER UDG SECTION 2.5.2.8. THE TERTIARY OPEN SPACE ALLOWS PRESERVATION OF OPEN SPACE AROUND NATURAL FEATURES AND AREAS THAT CONNECT TO NEIGHBORING OPEN SPACE, WHICH IS CLUSTERED AROUND PRIMARY OPEN SPACE.

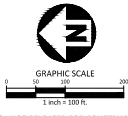
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C. THE OPEN SPACE CAN BE CONTIGUOUS TO SURROUNDING RESIDENTIAL PROPERTIES.  
D. THE REQUIRED OPEN SPACE IS IDENTIFIED THROUGHOUT THE DEVELOPING AREA AND IS THE LARGEST PRACTICABLE NUMBER OF DWELLING UNITS.  
E. NO LOT IS FURTHER THAN A 1/4 MILE FROM THE OPEN SPACE, AS SHOWN WITH DIMENSIONING ON THIS PLAN.  
F. ACCESS TO THE OPEN SPACE IS PROVIDED VIA AN ABUTTING PUBLIC STREET.

PRIMARY OPEN SPACE INCLUDES NATURAL RESOURCE BUFFERS ALONG SECONDARY WATERCOURSES. TERTIARY OPEN SPACE INCLUDES TREE CONSERVATION AREAS.  
THESE OPEN SPACES PROVIDE PRIMARY AND TERTIARY OPEN SPACES ALONG AND WITHIN NATURAL RESOURCE BUFFERS, WITHIN TREE CONSERVATION AREAS AND IS A SCENIC VIEWED TO PRIMARY OPEN SPACE, IS VISIBLE FROM THE ROADWAY AND BLOCKS THE VIEW OF THE PROJECT IN WHOLE OR IN PART.

PER UDG SECTION 2.5.2. TERTIARY OPEN SPACE INCLUDES AREAS FOR SIGNIFICANT NATURAL RESOURCES SCENIC VIEWERSHIPS SUCH AS RIDGE LINES, FELD SPACES, MEADOWS, NATURAL WOODLANDS THAT CAN BE SEEN FROM ROADWAYS AND, SERVE TO BLOCK THE VIEW OF THE PROJECT IN WHOLE OR IN PART.  
THIS PROPOSED TERTIARY OPEN SPACE PROVIDES OPEN SPACE WHICH IS A SCENIC VIEWED TO PRIMARY OPEN SPACE, IS VISIBLE FROM THE ROADWAY AND BLOCKS THE VIEW OF THE PROJECT IN WHOLE OR IN PART.

PRIMARY OPEN SPACE INCLUDES NATURAL RESOURCE BUFFERS ALONG SECONDARY WATERCOURSES. TERTIARY OPEN SPACE INCLUDES TREE CONSERVATION AREAS.  
THESE OPEN SPACES PROVIDE PRIMARY AND TERTIARY OPEN SPACES ALONG AND WITHIN NATURAL RESOURCE BUFFERS, WITHIN TREE CONSERVATION AREAS.

SITE LEGEND	
SIGNAGE	
LIGHT POLE	
ACCESSIBLE PARKING STALL	
VAN ACCESSIBLE PARKING STALL	
ACCESSIBLE RAMPS	
PROPERTY LINE	
RIGHT-OF-WAY LINE	
LOT LINE	
EASEMENT LINE	
CENTERLINE	
PHASE LINE	
SINGLE FAMILY DETACHED LOT	
OPEN SPACE / COMMON AREA LOT	



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license number: C-02993, C-187  
www.mcadamsco.com

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7001 WESTON PARKWAY, SUITE 150  
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CONTACT: MARK ROWLES  
PHONE: 919.275.2223

**BR BAKER RESIDENTIAL**

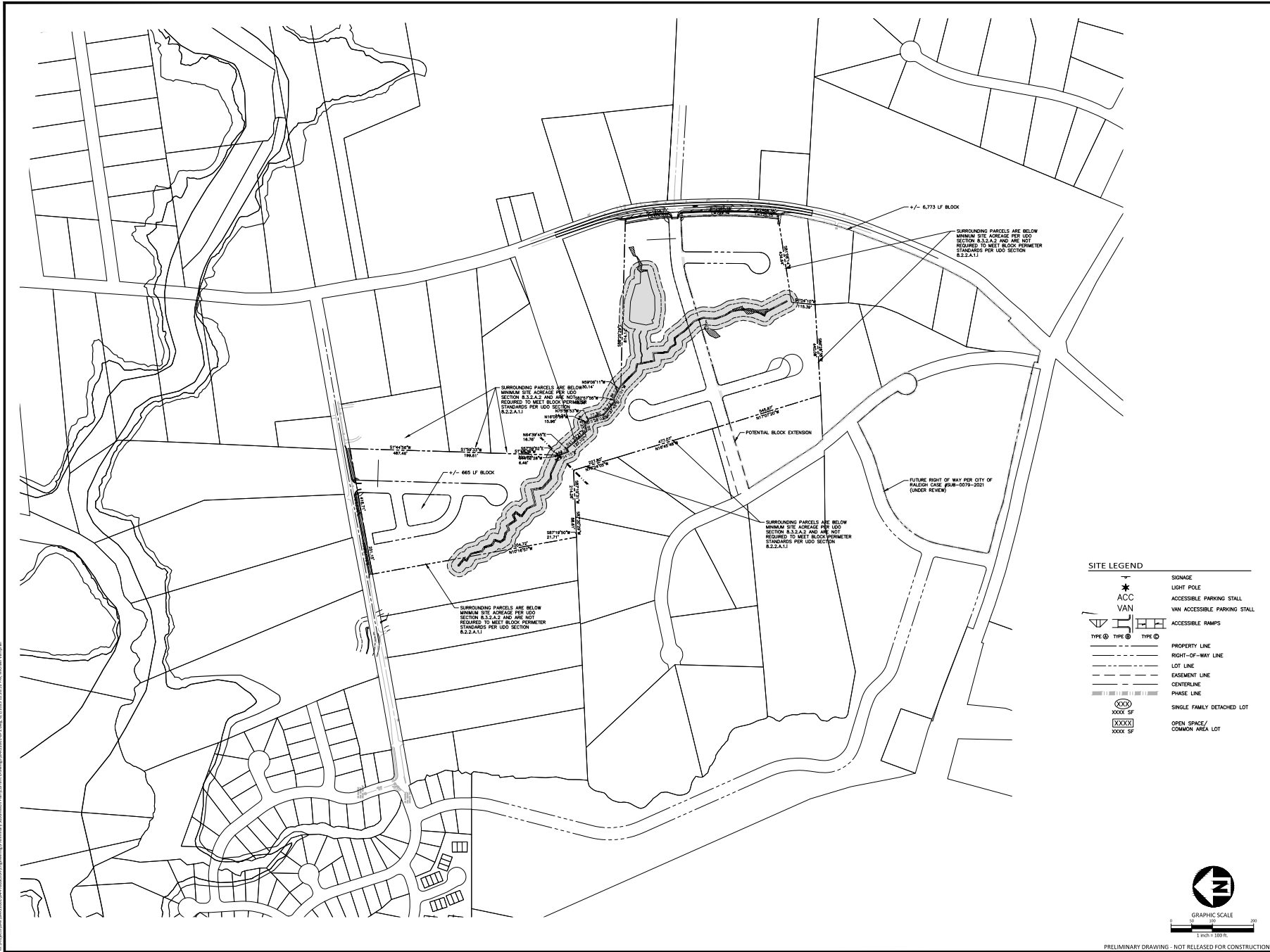
the **pgrc** @540  
COMPACT PRELIMINARY SUBDIVISION PLAN  
FORESTVILLE ROAD  
RALEIGH, NORTH CAROLINA

REVISIONS	
1	03.10.2023 REVISED PER CITY OF RALEIGH COMMENTS
2	04.25.2023 REVISED PER CITY OF RALEIGH COMMENTS
3	06.02.2023 REVISED PER CITY OF RALEIGH COMMENTS

PLAN INFORMATION	
PROJECT NO.	BAK-22001
FILENAME	BAK22001-051
CHECKED BY	
DRAWN BY	
SCALE	1"=100'
DATE	11.23.2022
SHEET	

OPEN SPACE PLAN  
**L5.07**

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



SITE LEGEND	
	SIGNAGE
	LIGHT POLE
	ACCESSIBLE PARKING STALL
	VAN ACCESSIBLE PARKING STALL
	ACCESSIBLE RAMP
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	LOT LINE
	EASEMENT LINE
	CENTERLINE
	PHASE LINE
	SINGLE FAMILY DETACHED LOT
	OPEN SPACE/COMMON AREA LOT

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**BR BAKER**  
RESIDENTIAL

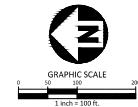
the **pgarc** **@540**  
COMPACT PRELIMINARY SUBDIVISION PLAN  
FORESTVILLE ROAD  
RALEIGH, NORTH CAROLINA

REVISIONS	
1	03.10.2023 REVISED PER CITY OF RALEIGH COMMENTS
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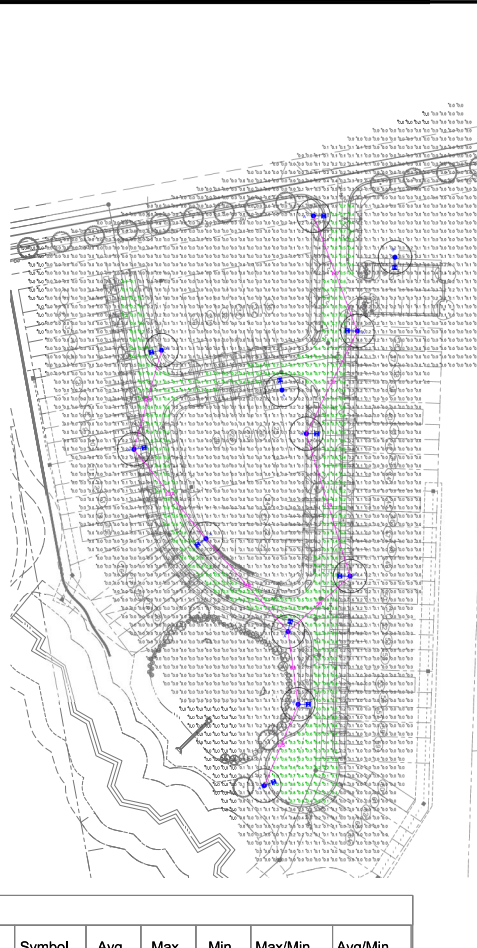
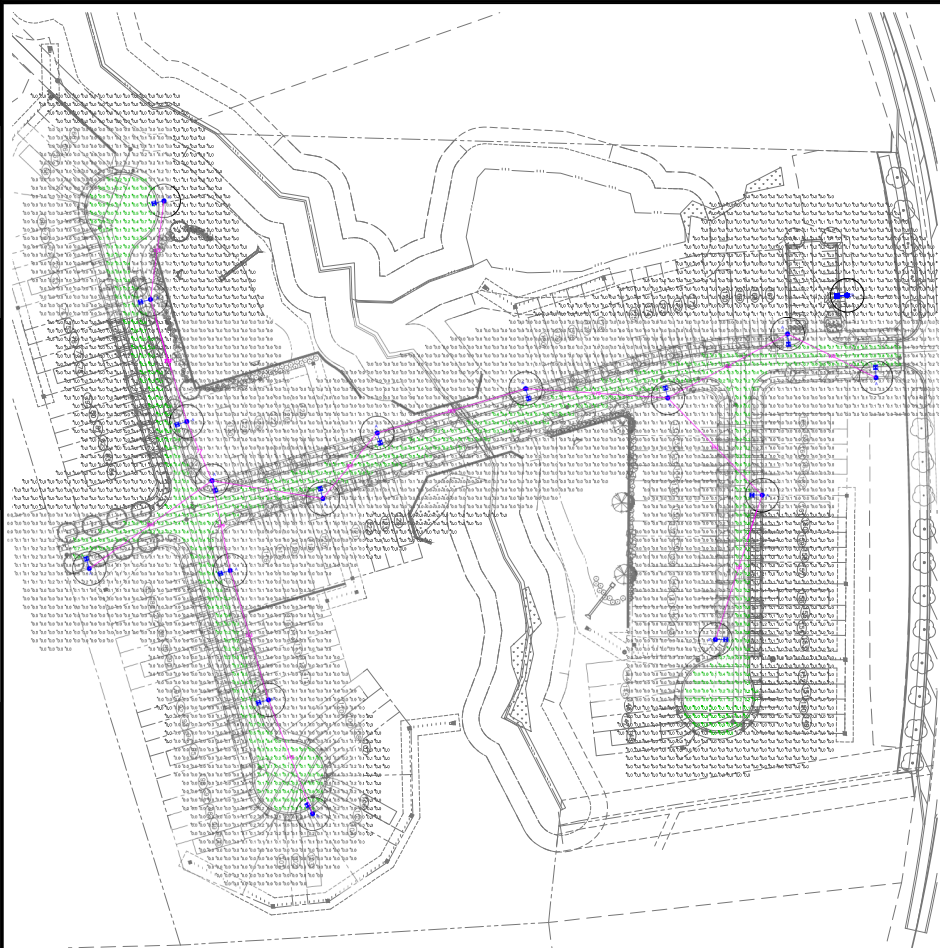
PLAN INFORMATION	
PROJECT NO.	BAK-22001
FILENAME	BAK22001-BP1
CHECKED BY	-
DRAWN BY	-
SCALE	1"=100'
DATE	11.23.2022
<b>SHEET</b>	

**BLOCK PERIMETER PLAN**

**L5.08**



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



Custom Lighting  
Roadway LED

The Roadway LED is a great solution for great fit streets, roads, long, narrow areas and parking lots. The Roadway LED fixture allows the light fixture to be mounted with existing lighting and wiring of light or existing conditions. Please see the fixture for more information. The Roadway LED is a great solution for great fit streets, roads, long, narrow areas and parking lots. The Roadway LED fixture allows the light fixture to be mounted with existing lighting and wiring of light or existing conditions. Please see the fixture for more information.

LED Light Fixture (ft)	10' / 15' / 20' / 25' / 30' / 35' / 40' / 45' / 50' / 55' / 60' / 65' / 70' / 75' / 80' / 85' / 90' / 95' / 100'
Mounting Height	20' - 30'
Color	Only Blue
Notes	Blue color is not available for the Roadway LED fixture.

For additional information, visit our website at [www.dukeenergy.com](http://www.dukeenergy.com) or call 1-800-444-4444.

Custom Lighting  
Roadway LED

Light Fixture (ft)	Mounting Height (ft)	LED Light Fixture (ft)
10'	20'	10'
15'	25'	15'
20'	30'	20'
25'	35'	25'
30'	40'	30'
35'	45'	35'
40'	50'	40'
45'	55'	45'
50'	60'	50'
55'	65'	55'
60'	70'	60'
65'	75'	65'
70'	80'	70'
75'	85'	75'
80'	90'	80'
85'	95'	85'
90'	100'	90'
95'	105'	95'
100'	110'	100'

Notes: Mounting height is the height of the fixture to the top of the light fixture.

Fixture Location	Mounting Height	Color
10'	20'	Blue
15'	25'	Blue
20'	30'	Blue
25'	35'	Blue
30'	40'	Blue
35'	45'	Blue
40'	50'	Blue
45'	55'	Blue
50'	60'	Blue
55'	65'	Blue
60'	70'	Blue
65'	75'	Blue
70'	80'	Blue
75'	85'	Blue
80'	90'	Blue
85'	95'	Blue
90'	100'	Blue
95'	105'	Blue
100'	110'	Blue

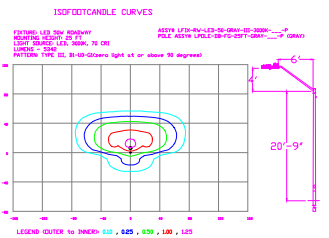
Notes: Mounting height is the height of the fixture to the top of the light fixture.

### Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
1-64 Streets	✕	0.5 fc	1.0 fc	0.1 fc	10.0:1	5.0:1
65-180 Street	✕	0.5 fc	1.1 fc	0.0 fc	N/A	N/A

### Schedule

Symbol	Label	Quantity	Description	Lumens Per Lamp	Light Loss Factor
✕	A	27	LED 50w Roadway - Type II - 3000K - Public	5312	0.85
✕	B	2	LED 50w Roadway - Type II - 3000K - Private	5312	0.85



**LIGHTING DESIGN TOLERANCE**

The calculated footcandle light levels in this lighting design are predicted values and are based on specific information that has been supplied to Duke Energy. Any inaccuracies in the supplied information, differences in luminaire installation, lighter site geometry including elevation differences, reflective properties of surrounding surfaces, obstructions (tall or otherwise) in the lighted area, or lighting from sources other than listed in this design may produce different results from the predicted values. Normal tolerances of voltage, lamp output, and ballast and luminaire manufacture will also affect results.



**PROPRIETARY & CONFIDENTIAL**

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PARC @ 540  
Raleigh, NC

SITE LIGHTING ARRANGEMENT  
Designed by: DUK ENERGY PROGRESS LIGHTING SOLUTIONS  
Reviewed by: N. Johnson  
Date: 02/07/2023  
Drawing No. 23-0043A  
Scale: 1" = 70'  
Size: Drawing size "D"  
Sheet: L6.00

NO.	DATE	REVISION	BY

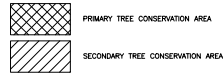


# TREE CONSERVATION AREA CALCULATIONS

GROSS SITE AREA: 34.08 ACRES  
 RIGHT OF WAY DEDICATION: 5.36 ACRES  
 NET SITE AREA: 28.72 ACRES  
 TREE CONSERVATION REQUIRED: 2.85 ACRES  
 TREE CONSERVATION PROVIDED: 3.197 AC. OR 129,262 SF.  
 PRIMARY TREE CONSERVATION AREA PROVIDED: 1.9403 AC. OR 84,511 SF.  
 SECONDARY TREE CONSERVATION AREA PROVIDED: 1.2569 AC. OR 54,751 SF.

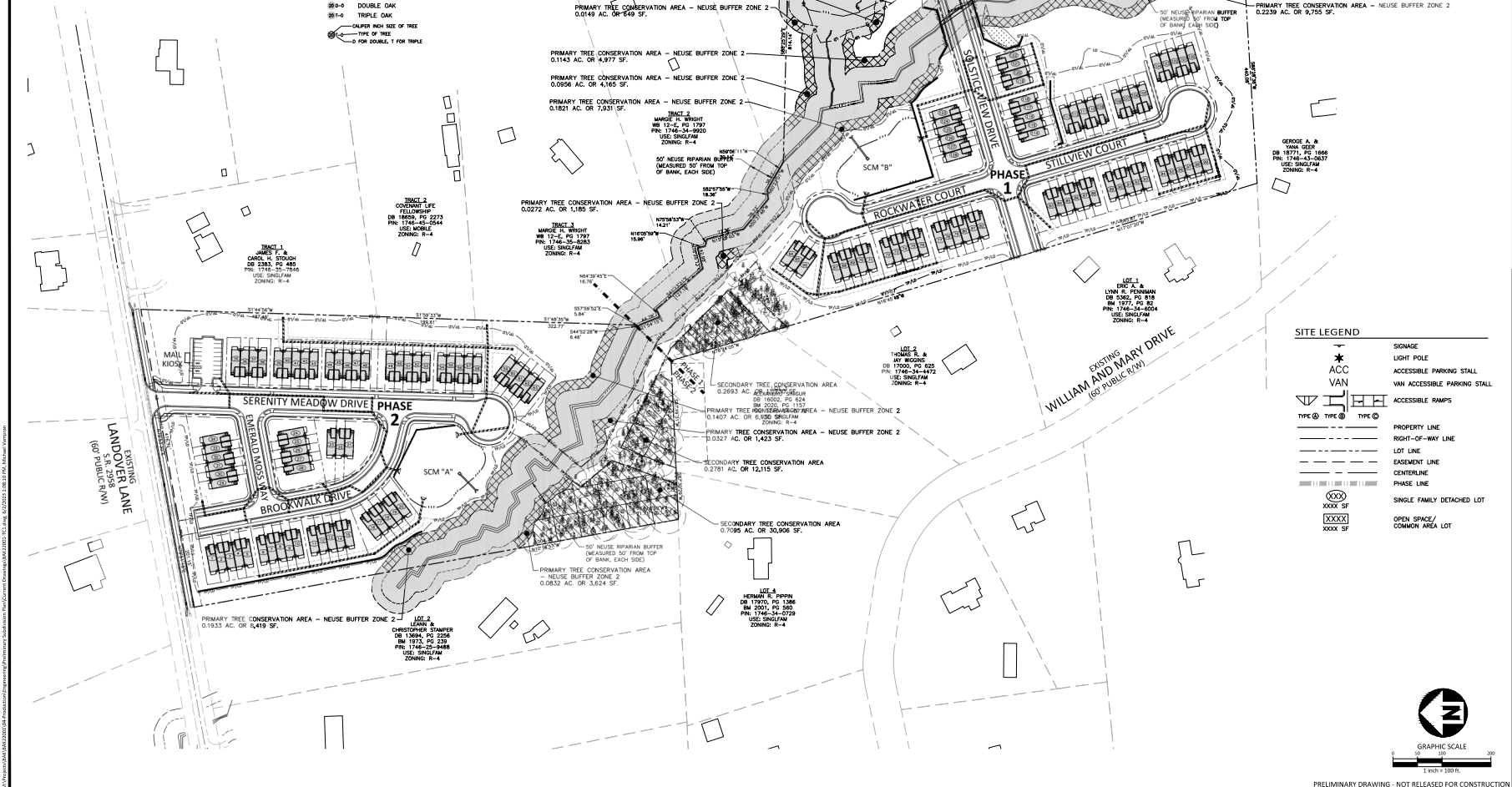
THOROUGHFARE TREE CONSERVATION CALCULATIONS  
 CROSS ROAD FRONTAGE: 566 LF  
 LESS EASEMENTS AND NON-QUALIFYING AREAS: 339 LF (SEE TREE REPORT)  
 NET ROAD FRONTAGE: 227 LF  
 THOROUGHFARE TREE CONSERVATION REQUIRED: 16,500 SF (AVERAGE 50' WIDTH)  
 THOROUGHFARE TREE CONSERVATION PROVIDED: 17,632 SF

## TREE CONSERVATION LEGEND



## TREE LEGEND

- 8/A ASH
- 8/B BEECH
- 8/C BIRCH
- 8/D CEDAR
- 8/E CHERRY
- 8/F CORM MYRTLE
- 8/G CYPRESS
- 8/H DOGWOOD
- 8/I ELM
- 8/J SWEET GUM
- 8/K MSC. HARDWOOD
- 8/L HICKORY
- 8/M HOLLY
- 8/N MAGNOLIA
- 8/O MAPLE
- 8/P JAPANESE MAPLE
- 8/Q NIMBIA
- 8/R RED OAK
- 8/S OAK
- 8/T PEACH
- 8/U PEAR
- 8/V PECAN
- 8/W PERSIMMON
- 8/X PINE
- 8/Y POPLAR
- 8/Z REDBUD
- 8/AA SYCAMORE
- 8/AB WALNUT
- 8/AC DOUBLE & TRIPLE TRUNKS
- 8/AD DOUBLE OAK
- 8/AE TRIPLE OAK
- 8/AF CALIPER INCH SIZE OF TREE
- 8/AG TYPE OF TREE
- 8/AH 3 FOR DOUBLE, 1 FOR TRIPLE



## SITE LEGEND

- ★ ACC VAN
- TYPE ① TYPE ② TYPE ③
- ACCESSIBLE PARKING STALL
- ACCESSIBLE RAMP
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- LOT LINE
- EASEMENT LINE
- CENTERLINE
- PHASE LINE
- SINGLE FAMILY DETACHED LOT
- OPEN SPACE/COMMON AREA LOT



GRAPHIC SCALE  
 0 50 100 150  
 1"=50'-0"

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



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- 3 06.02.2023 REVISED PER CITY OF RALEIGH COMMENTS

## PLAN INFORMATION

PROJECT NO. BAK-22001  
 FILENAME BAK22001-TC1  
 CHECKED BY  
 DRAWN BY  
 SCALE 1"=100'  
 DATE 11.23.2022  
 SHEET

## TREE CONSERVATION PLAN

**L8.00**