

Administrative Approval Action

Case File / Name: ASR-0079-2023
DSLCL - Rock Quarry Multifamily Subdivision

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This 26.13 acre site is located between the Macadie Park and Pearl Ridge Subdivisions, specifically identified as 5504 Rock Quarry Road. It is southwest of Rock Quarry Road, southeast of Jones Sausage Road, and north of Auburn Church Road. The site is zoned R-10-CU and is outside the city limits. This site is also the subject of subdivision case SUB-0052-2023 which will create proposed public streets and lots for this development.

REQUEST: The plan proposes a multi-unit living development and site improvements on this two-lot site. Seven 3-story apartment buildings with 168 dwelling units for a total of 169,395 square feet of gross floor area are proposed. Outdoor amenity areas, stormwater, infrastructure, and other site improvements are also proposed.

DESIGN ADJUSTMENT(S)/ALTERNATES, ETC: SUB-0052-2023: DSLCL - Preliminary Subdivision/Preliminary Subdivision

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated November 13, 2024 by WithersRavenel.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

SITE PERMITTING REVIEW - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

1. Retaining wall permits shall be issued prior to site permit review (SPR) approval. Retaining walls less than 5 feet in height will be issued zoning permits and walls greater than 5 feet in height will be issued building permits.
2. On the elevations, include cardinal direction (North, South, East, West, etc.) with the elevation label (Right, Left, etc.).

Public Utilities

3. A Downstream Sewer Capacity Study in compliance with the City of Raleigh Public Utilities Department Handbook shall be submitted by the Project Engineer for review and approval.
4. The Developer shall provide a letter or e-mail from any Private Utility Company authorizing new water and sewer main encroachments across existing transmission easements prior to concurrent approval.



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Stormwater

5. The State of North Carolina shall approve any proposed disturbance within the riparian buffer prior to the issuance of any grading or site permit (UDO 9.2.3.E).
6. A 100-year floodplain analysis shall be submitted and approved by the Engineering Services Department prior to the issuance of any grading or site permit (UDO 9.3).
7. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
8. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).
9. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).

Urban Forestry

10. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit or demolition permit, whichever comes first.

RECORDED MAP(S) - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

Public Utilities

1. A Petition for Annexation into the City limits shall be submitted in accordance with City Council policy for extension of utility service to properties currently outside of the City limits. This voluntary annexation in no way obligates the City to extend utility services to the property.
2. Site Permit Review plans (SPR) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.

Stormwater

3. The riparian buffers, in accordance with the preliminary plan and the State of North Carolina regulations, shall be shown on plats for recording along with required buffer statement (Recorded Map Checklist).
4. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
5. The flood prone areas, as approved by the City Stormwater Engineer and shown on the preliminary plan, shall be shown on the recorded map (UDO 9.3.3.G).



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6. The maximum allocated impervious area for all applicable lots in the subdivision should be identified on all maps for recording.

BUILDING PERMITS - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

General

1. A plat for SUB-0052-2023 shall be submitted, approved and recorded prior to the issuance of building permits.

Engineering

2. A Traffic Control and Pedestrian (TCPED) Plan must be approved and a right-of-way occupancy permit must be obtained from Right-of-way Services for any construction activities within the right-of-way.

Public Utilities

3. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

Stormwater

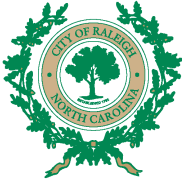
4. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
5. The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office (UDO 9.2.2.G).

Urban Forestry

6. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 46 street trees along Cowan Ln. and 28 trees along Advantis Dr. for a total of 74 street trees.
7. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1).

The following are required prior to issuance of building occupancy permit:

General



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1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
2. Final inspection of all tree conservation areas and right of way street trees by Urban Forestry Staff

Stormwater

3. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).
4. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: December 19, 2027

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: *Keegan McDonald* Date: 12/19/2024
Development Services Dir/Designee

Staff Coordinator: Jessica Gladwin

PARCEL DATA

PIN: 1722900891
 OWNER: WOOD, WESLEY MCCOY
 ADDRESS: 5504 ROCK QUARRY RD
 RALEIGH, NC 27610
 ZONING: R-10-CU
 AREA: 28.40 AC
 REAL ESTATE ID: 0031936

SITE DATA TABLE

PARCEL OWNER:	WOOD, WESLEY MCCOY
PARCEL PIN NO.:	1722900891
GROSS PARCEL AREA:	1,138,191 SF / 26.13 AC
ROW DEDICATION:	90,368 SF / 2.07 AC
NET PARCEL AREA:	1,047,823 SF / 24.06 AC
CURRENT ZONING:	R-10-CU
CURRENT LAND USE:	VACANT
PROPOSED PRIMARY LAND USE:	MULTI-UNIT LIVING
PRIMARY STREET BUILDING SETBACK:	10 FT
SIDE BUILDING SETBACK:	10 FT
REAR BUILDING SETBACK:	20 FT
PRIMARY STREET PARKING SETBACK:	10 FT
SIDE PARKING SETBACK:	5 FT
REAR PARKING SETBACK:	5 FT
PRIMARY FRONTAGE STREET NAME:	ADVANTIS DR.
WATERSHED:	WALNUT CREEK
EXISTING IMPERVIOUS AREA:	26,800 SF / 0.61 AC
PROPOSED IMPERVIOUS AREA:	865,415 SF / 19.87 AC
REQUIRED TREE CONSERVATION:	104,782.30 SF / 2.41 AC (10%)
PROPOSED TREE CONSERVATION:	106,370 SF / 2.43 AC (10.10%)
REQUIRED AMENITY SPACE:	110,903 SF / 2.54 AC (10%)
PROPOSED AMENITY SPACE:	110,918 SF / 2.55 AC (10.10%)
BEDROOM COUNT:	1 BED: 120 2 BED: 48
BICYCLE PARKING CALCULATIONS:	
SHORT-TERM PARKING:	
MULTI-UNIT LIVING:	1 SPACE PER 20 UNITS, MINIMUM 4
REQUIRED SPACES:	168 UNITS/20 = 9 SPACES
SPACES PROVIDED:	10 SPACES
LONG-TERM PARKING:	
MULTI-UNIT LIVING:	1 SPACE PER 7 BEDROOMS
REQUIRED SPACES:	168 BED / 7 = 24 SPACES
SPACES PROVIDED:	24 SPACES INTERNAL TO BUILDING

ADMINISTRATIVE SITE REVIEW (ASR-0079-2023)

ROCK QUARRY MULTI-FAMILY

5504 ROCK QUARRY ROAD | RALEIGH, NC, 27610 | WAKE

1ST SUBMITTAL: NOVEMBER 10, 2023
 2ND SUBMITTAL: FEBRUARY 13, 2024
 3RD SUBMITTAL: AUGUST 2, 2024
 4TH SUBMITTAL: SEPTEMBER 24, 2024
 5TH SUBMITTAL: NOVEMBER 13, 2024

VICINITY MAP



Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2100

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: _____ Planner (print): _____

Please review UDO Section 10.2.8. to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan Tier Three Site Plan

Building and Development Type (Check all that apply)		Site Transaction History
<input type="checkbox"/> Detached	<input type="checkbox"/> General	Subdivision case #: SUB-0052-2023
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed use	Scoping/sketch plan case #: _____
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic	Certificate of Appropriateness #: _____
<input checked="" type="checkbox"/> Apartment	<input type="checkbox"/> Cottage Court	Board of Adjustment #: _____
<input type="checkbox"/> Tiny house	<input type="checkbox"/> Frequent Transit Development Option	Zoning Case #: _____
<input type="checkbox"/> Open lot		Design Alternate #: _____

GENERAL INFORMATION

Development name: ROCK QUARRY MULTIFAMILY
 Inside City limits? Yes No
 Property address(es): 5504 ROCK QUARRY ROAD RALEIGH, NC 27610
 Site P.I.N. (s): 1722900891
 Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4):
 DEVELOPMENT OF 168 APARTMENTS AND ASSOCIATED SITE IMPROVEMENTS

Current Property Owner(s): WOOD, WESLEY MCCOY
 Company: WITHERSRAVENEL Title: _____
 Address: 2201 NC HWY 42 W CLAYTON, NC 27520
 Phone #: _____ Email: _____
 Applicant Name (if different from owner. See "who can apply" in instructions): _____
 Relationship to owner: Lessee or contract purchaser Owner's authorized agent Easement holder
 Company: WITHERSRAVENEL Address: 137 S WILMINGTON ST SUITE 200 RALEIGH NC

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Phone #: 919-469-3340 Email: RCAUDLE@WITHERSRAVENEL.COM
 NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.

Developer Contact: JAKE JONES
 Company: GRAVITY COMPANIES Title: PRESIDENT
 Address: 2629 ST. MARYS STREET RALEIGH, NC 27609
 Phone #: 919-469-3340 Email: JAKE@GRAVITY-COMPANIES.COM

Applicant Name: ROB CAUDLE
 Company: WITHERSRAVENEL Address: 137 S WILMINGTON ST SUITE 200 RALEIGH NC
 Phone #: 919-469-3340 Email: RCAUDLE@WITHERSRAVENEL.COM

DEVELOPMENT TYPE + SITE DATA TABLE
 (Applicable to all developments)

SITE DATA	BUILDING DATA
Zoning district(s) (please provide the acreage of each): R-10-CU	Existing gross floor area (not to be demolished): 0 SF
Gross site acreage: 28.13	Existing gross floor area to be demolished: 0 SF
# of parking spaces proposed: 239	New gross floor area: 169,395 SF
Max # parking permitted (7.1.2.C): 288	Total sf gross (to remain and new): 169,395 SF
Overlay District (if applicable):	Proposed # of buildings: 10
Existing use (UDO 6.1.4): VACANT	Proposed # of stories for each: 3
Proposed use (UDO 6.1.4): MULTI-UNIT LIVING	Proposed # of basement levels (UDO 1.5.7.A.6) 0

STORMWATER INFORMATION

Impervious Area on Parcel(s):	Impervious Area for Compliance (includes ROW):
Existing (sf) 28,047 Proposed total (sf) 191,229	Existing (sf) 28,047 Proposed total (sf) 257,875

RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS

Total # of dwelling units:	Total # of hotel bedrooms:
# of bedroom units: 1br, 129 2br, 48 3br, _____ 4br or more _____	_____
# of lots: 2	Is your project a cottage court? <input type="radio"/> Yes <input checked="" type="radio"/> No
	A frequent transit development? <input type="radio"/> Yes <input checked="" type="radio"/> No

Continue to Applicant Signature Block on Page Three.

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APPLICANT SIGNATURE BLOCK

Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that developments approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

Signature: _____ Date: 11/7/2023
 Printed Name: ROB CAUDLE, PE

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APPROVED ZONING CONDITIONS

Z-21-22 SET BACK APPROXIMATELY 1,000 FEET SOUTHWEST OF ROCK QUARRY ROAD, APPROXIMATELY 0.5 MILES DRIVING DISTANCE FROM BARWELL ROAD, BEING WAKE COUNTY PIN 1722900891, APPROXIMATELY 28.4 ACRES REZONED TO RESIDENTIAL-10-CONDITIONAL USE (R-10-CU). CONDITIONS DATED: SEPTEMBER 1, 2022

CONDITION	RESPONSE
1. RESIDENTIAL DENSITY SHALL NOT EXCEED SIX (6) DWELLING UNITS PER ACRE.	28.4 AC x 6 UNITS = 170 UNITS MAX 168 UNITS PROVIDED
2. PRIOR TO THE ISSUANCE OF ANY BUILDING PERMIT, A BICYCLE AND PEDESTRIAN PUBLIC ACCESS EASEMENT AT LEAST TWENTY (20) FEET IN WIDTH PROVIDING A CONNECTION FROM THE COMMON LINE WITH THE PARCEL IDENTIFIED AS 3831 CENTURION DRIVE (PIN 1722709833, WAKE COUNTY BOOK OF DEEDS 15289 PAGE 2437) AND THE NORTH BOUNDARY OF THE SUBJECT PROPERTY AS IT ABUTS RIGHT OF WAY OF QUARRYMAN ROAD (SHALL BE RECORDED.)	THE PUBLIC ACCESS EASEMENT SPECIFIED IN THIS ZONING CONDITION WILL BE RECORDED AS PART OF SUBDIVISION PLANS AND IS SHOWN ON SUB-0052-2023.
3. IF THE NUMBER OF PEAK HOUR VEHICLE TRIPS FOR DEVELOPMENT IS CALCULATED TO EXCEED ONE HUNDRED (100), AS DETERMINED WITH REFERENCE TO THE ITE TRIP GENERATION MANUAL, THE DEVELOPER SHALL CAUSE A TRAFFIC IMPACT ANALYSIS TO BE CONDUCTED PRIOR TO ADMINISTRATIVE SITE REVIEW APPROVAL.	A TRIP GENERATION LETTER WILL BE PROVIDED TO THE ENGINEERING REVIEWER

TRAFFIC CONTROL & PEDESTRIAN PLAN NOTES

- PRIOR TO ANY WORK THAT IMPACTS THE RIGHT-OF-WAY, CLOSING OR DETOURING OF ANY STREET, LANE, OR SIDEWALK, THE CONTRACTOR MUST APPLY FOR A PERMIT WITH RIGHT-OF-WAY SERVICES. PLEASE DIRECT ANY QUESTIONS TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV.
- THE STREET, LANE, SIDEWALK, CLOSURE PERMIT IS REQUIRED FOR ANY CLOSURE ON CITY STREETS AND ALL NCDOT STREETS WITHIN RALEIGH'S JURISDICTION.
- A PERMIT REQUEST WITH A TCPED PLAN SHALL BE SUBMITTED TO RIGHT-OF-WAY SERVICES THROUGH THE CITY OF RALEIGH PERMIT AND DEVELOPMENT PORTAL.
- PRIOR TO THE START OF WORK, THE CLIENT SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING INSPECTIONS COORDINATOR TO REVIEW THE SPECIFIC COMPONENTS OF THE APPROVED PLAN, AND ENSURE ALL PERMITS ARE ISSUED.
- ALL TCPED PLANS SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS AND STANDARDS, INCLUDING BUT NOT LIMITED TO:
 - MANUAL ON UNIFORM TRAFFIC CONTROL (MUTCD);
 - PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG);
 - AMERICAN DISABILITY ACT (ADA) REQUIREMENTS;
 - RALEIGH STREET DESIGN MANUAL (RSDM).
- ALL PUBLIC SIDEWALKS MUST BE ACCESSIBLE TO PEDESTRIANS WHO ARE VISUALLY IMPAIRED AND/OR PEOPLE WITH MOBILITY CONCERNS. EXISTING AND ALTERNATIVE PEDESTRIAN ROUTES DURING CONSTRUCTION SHALL BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), THE ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL PERMITS MUST BE AVAILABLE AND VISIBLE ON SITE DURING THE OPERATION.

SOLID WASTE INSPECTION STATEMENT

- SOLID WASTE SERVICES ARE TO BE PROVIDED BY A PRIVATE CONTRACTOR. REFER TO SHEET C0.01 FOR PRIVATE APPROVAL.
- THE DEVELOPER WILL COMPLY WITH ALL REQUIREMENTS SET FORTH IN THE CITY OF RALEIGH SOLID WASTE COLLECTION DESIGN MANUAL.

FIRE DEPARTMENT NOTES

- THE APPARATUS ROAD SURFACE IS REQUIRED TO BE WITHIN 250 FEET (NFPA 13); A NFPA 13 SPRINKLING SYSTEM IS PROPOSED FOR THIS SITE.
- FIRE HYDRANT SHALL BE LOCATED WITHIN 600' AS MEASURED ALONG THE PATH OF APPARATUS ACCESS ROAD (NCFC 507.5.1).
- ALL NEW FIRE HYDRANTS SHALL BE EQUIPPED WITH NST THREADS AND WITH A 1/2 INCH STORZ CONNECTION.
- FIRE FLOW ANALYSIS MUST BE PROVED AT TIME OF BUILDING PERMITS PER THE 2018 NCFC, SECTION 507.3.
- ALTERNATIVE PAVEMENT MATERIALS TO BE APPROVED BY RALEIGH FIRE MARSHAL.

ATTENTION CONTRACTORS

- NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING, BUT NOT LIMITED TO, CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.
- THE CONSTRUCTION CONTRACTOR RESPONSIBLE FOR THE EXTENSION OF WATER AND SEWER, AS APPROVED IN THESE PLANS, IS RESPONSIBLE FOR CONTACTING THE PUBLIC WORKS DEPARTMENT AT (919) 996-2409, AND THE PUBLIC UTILITIES DEPARTMENT AT (919) 957-4540 AT LEAST TWENTY FOUR HOURS PRIOR TO BEGINNING ANY OF THEIR CONSTRUCTION.
- FAILURE TO NOTIFY BOTH CITY DEPARTMENTS IN ADVANCE OF BEGINNING CONSTRUCTION, WILL RESULT IN THE ISSUANCE OF MONETARY FINES AND REQUIRE REINSTALLATION OF ANY WATER OR SEWER FACILITIES NOT INSPECTED AS A RESULT OF THIS NOTIFICATION FAILURE.
- FAILURE TO CALL FOR INSPECTION, INSTALL A DOWNSTREAM PLUG, HAVE PERMITTED PLANS ON THE JOBSITE OR ANY OTHER VIOLATION OF CITY OF RALEIGH STANDARDS WILL RESULT IN A FINE AND POSSIBLE EXCLUSION FROM FUTURE WORK IN THE CITY OF RALEIGH.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT CITY OF RALEIGH STANDARDS AND SPECIFICATIONS AND NCDOT, IF APPLICABLE.

CONTACT LIST:

WithersRavenel
 137 S Wilmington Street, Suite 200
 Raleigh, NC 27601
 919-535-5200

President
 Jake Jones
 Gravity Companies
 2629 St. Mary's Street
 Raleigh, NC 27609
 919-414-5166



PRELIMINARY
 NOT APPROVED
 FOR CONSTRUCTION



WithersRavenel
 137 S Wilmington Street | Suite 200 | Raleigh, NC 27601
 License #: F-1479 | t: 919.469.3340 | www.withersravenel.com

PREPARED BY:

DEVELOPER:

GRAVITY COMPANIES
 2629 ST. MARY'S STREET
 RALEIGH, NC 27609
 PHONE #: 919-414-5166
 ATTENTION: Jake Jones



Administrative Site Review
 (ASR-0079-2023)
 Rock Quarry
 Multi-Family
 WR PROJECT NO. 23-0232
 City of Raleigh
 MUNI PRO NO. ASR-XXXX-2023
 INITIAL PLAN DATE: 11/10/2023

SURVEY NOTES:

1. THE FOLLOWING INFORMATION WAS USED FOR THE EXISTING SURVEY:
 - a. COORDINATE SYSTEM: NORTH CAROLINA STATE PLANE FOOT
 - b. PROJECT HORIZONTAL DATUM: NAD 83/2011
 - c. VERTICAL DATUM: NAVD 88
 - d. COORDINATE UNITS: US SURVEY FEET
 - e. VERTICAL UNITS: US SURVEY FEET
2. PROPERTY BOUNDARY AND TOPOGRAPHIC SURVEY SHOWN AS PROVIDED BY WITHERSRAVENEL DATED APRIL 26, 2023.
3. PROPERTY DOES FALL WITHIN FEMA FLOODPLAIN PER FEMA FIRM 3720172200K, EFFECTIVE DATE JULY 19, 2022.
4. NO DETERMINATION HAS BEEN MADE BY THE SURVEYOR AS TO THE FOLLOWING: UNDERGROUND STORAGE FACILITIES, UNDERGROUND UTILITIES, GRAVES, CEMETERIES, BURIAL GROUNDS, HAZARDOUS WASTE DEPOSITS OR MATERIALS.
5. SURVEY CONTROL POINTS PROVIDED IN NC STATE PLANE COORDINATES. ALL PROPOSED COORDINATES ARE GROUND COORDINATES. THE CONTRACTOR'S SURVEYOR IS RESPONSIBLE FOR ANY CONVERSIONS NEEDED FOR THE STAKEOUT OF THE PROPOSED GROUND COORDINATES SHOWN.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING ADDITIONAL CONTROLS THAT MAY BE NEEDED THROUGHOUT THE PROJECT.

GENERAL NOTES:

1. WORK ON THIS PROJECT SHALL CONFORM TO THE LATEST NORTH CAROLINA DEPARTMENT OF TRANSPORTATION (NCDOT) STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES, THE NORTH CAROLINA EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL, CITY OF RALEIGH STANDARDS AND SPECIFICATIONS, GEOTECHNICAL REPORTS, AND ANY OTHER APPLICABLE DESIGN STANDARDS AT THE TIME OF PLAN APPROVAL. IN THE EVENT OF CONFLICT BETWEEN ANY OF THESE STANDARDS, SPECIFICATIONS OR PLANS, THE MOST STRINGENT SHALL GOVERN, UNLESS OTHERWISE NOTED IN THESE PLANS.
2. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR HAVING VISITED THE SITE AND HAVING FAMILIARIZED THEMSELVES WITH THE EXISTING CONDITIONS PRIOR TO SUBMITTING A BID AND/OR COMMENCING WORK.
3. ANY DISCREPANCIES, INCONSISTENCIES OR AMBIGUITIES FOUND BETWEEN THE DRAWINGS, SPECIFICATIONS, AND SITE CONDITIONS SHALL BE IMMEDIATELY REPORTED TO THE ENGINEER IN WRITING AND PRIOR TO BIDDING IF APPLICABLE. WORK DONE BY THE CONTRACTOR AFTER THE DISCOVERY OF SUCH DISCREPANCIES, INCONSISTENCIES, OR AMBIGUITIES WITHOUT WRITTEN CLARIFICATION FROM THE ENGINEER AND APPROVAL BY OWNER SHALL BE DONE AT THE CONTRACTOR'S RISK AND EXPENSE.
4. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL JOBSITE SAFETY DURING ALL PHASES OF CONSTRUCTION. ALL WORK SHALL COMPLY WITH MUNICIPAL, COUNTY AND STATE REGULATIONS, AND OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS. CONTRACTOR SHALL COMPLY WITH THE LATEST REVISED AND INTERPRETATIONS OF THE DEPARTMENT OF LABOR SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION PROMULGATED UNDER THE OSHA ACT.
5. THE CONTRACTOR SHALL CALL "811" FOR PROPER IDENTIFICATION OF EXISTING UTILITIES AT LEAST 72 HOURS PRIOR TO ANY DEMOLITION, GRADING, OR CONSTRUCTION ACTIVITY.
6. THE CONTRACTOR IS RESPONSIBLE FOR HORIZONTALLY AND VERTICALLY LOCATING, AND SUBSEQUENTLY PROTECTING, ALL PUBLIC AND PRIVATE UTILITIES (SHOWN OR NOT SHOWN) THAT LIE IN OR ADJACENT TO THE PROJECT SITE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE UNDERGROUND UTILITIES. ALL UTILITIES AND FACILITIES ARE NOT NECESSARILY SHOWN. HAND DIGGING TO PROTECT UTILITIES FROM DAMAGE MAY BE REQUIRED.
7. ANY UTILITIES AND EXISTING SITE ELEMENTS (I.E. SIGNS, ROADWAYS, PATHS, STRUCTURES, NATURAL VEGETATION, OTHER EXISTING PROPERTY ITEMS, ETC.) DAMAGED DURING THE PROJECT BY THE CONTRACTOR'S WORKERS OR EQUIPMENT SHALL BE PROMPTLY REPAIRED AT THE CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER, UTILITY OWNER, REGULATORY AGENCY, AND ENGINEER.
8. CONTRACTOR SHALL MAKE EVERY EFFORT TO PRESERVE PROPERTY IRONS, MONUMENTS, OTHER PERMANENT POINTS AND LINES OF REFERENCE AND CONSTRUCTION STAKES. A NORTH CAROLINA LICENSED LAND SURVEYOR SHALL REPLACE AT THE CONTRACTOR'S EXPENSE PROPERTY IRONS, MONUMENTS, OTHER PERMANENT POINTS AND LINES OF REFERENCE AND CONSTRUCTION STAKES DESTROYED BY THE CONTRACTOR.
9. CONTRACTOR SHALL PLAN AND CONSTRUCT WORK IN ORDER TO CAUSE MINIMUM DISTURBANCE TO THE OWNER, ADJACENT PROPERTIES AND THE PUBLIC. CONTRACTOR SHALL COORDINATE WITH AND OBTAIN APPROVAL FROM STATE AND LOCAL REGULATORY AGENCIES ON TRAFFIC CONTROL PLANS.
10. ADJACENT STREETS AND SIDEWALKS SHALL BE MAINTAINED IN AN UNOBSTRUCTED, CLEAN CONDITION, MUD AND DUST-FREE.
11. THE CONTRACTOR SHALL HAVE A COMPLETE SET OF CONTRACT DOCUMENTS AS WELL AS ALL PERMIT APPROVALS AND EXECUTED EASEMENTS ON THE JOB SITE AT ALL TIMES.
12. CONSTRUCTION TAKEOUT FOR THIS PROJECT MAY BE PERFORMED BY THE CONTRACTOR, USING A DIGITAL (CADD) FILE PROVIDED BY THE ENGINEER. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES FOUND BETWEEN THE DIGITAL FILE AND THE CRITICAL STAKING DIMENSIONS SHOWN ON THIS PLAN (I.E. PAVEMENT WIDTHS, CURB RADII, BUILDING SETBACKS, BUILDING FOOTPRINTS, ETC.). ANY MODIFICATIONS MADE BY OTHERS TO THE DIGITAL FILE PROVIDED BY THE ENGINEER SHALL RENDER IT VOID.
13. WETLANDS SHOWN WILL HAVE DEED RESTRICTION AND SHALL NOT BE CLEARED, DRAINED, OR OTHERWISE DISTURBED UNLESS SPECIFICALLY PERMITTED BY THE UNITED STATES ARMY CORPS OF ENGINEERS (USACE) OR NC DIVISION OF COASTAL MANAGEMENT (DCM) OR NC DIVISION OF WATER RESOURCES (DW), AS APPLICABLE.
14. ANY WETLANDS THAT ARE TEMPORARILY IMPACTED DUE TO CONSTRUCTION ACTIVITIES SHALL BE RETURNED TO PRE-CONSTRUCTION GRADE AND SEEDED WITH A WETLAND SEED MIX IN ACCORDANCE WITH THE SEDIMENT & EROSION CONTROL PLAN.
15. CONTRACTOR SHALL FURNISH AND INSTALL ALL PAVEMENT MARKINGS FOR FIRE LANES, PARKING STALLS, ACCESSIBLE PARKING SYMBOLS, AND MISCELLANEOUS STRIPING WITHIN PARKING LOT AND AROUND BUILDINGS AS SHOWN ON THE PLANS. ALL PAVEMENT MARKING MATERIALS SHALL ADHERE TO NCDOT STANDARDS, UNLESS NOTED OTHERWISE.
16. ACCESSIBLE ROUTES AND PARKING AREAS MUST BE PROVIDED IN ACCORDANCE WITH THE CURRENT NORTH CAROLINA BUILDING CODE AND ADA STANDARDS FOR ACCESSIBLE DESIGN.
17. WHERE PROPOSED CURB AND GUTTER TIES TO EXISTING CURB OR CURB AND GUTTER, A TRANSITION OF 10" SHALL BE MADE TO CONFORM TO THE EXISTING HEIGHTS AND SHAPES, UNLESS OTHERWISE SHOWN ON THE PLANS.
18. ALL EXPANSION CURB JOINTS SHALL EXTEND THROUGH THE CURB. MINIMUM LENGTH OF OFFSET JOINTS AT RADIUS POINTS IS 15'. UNLESS OTHERWISE SHOWN ON PLANS, ALL JOINTS SHALL BE SEALED WITH JOINT SEALANT.

DEMOLITION NOTES:

1. CONTRACTOR SHALL COORDINATE WITH THE OWNER AND UTILITY OWNER TO PROPERLY MAINTAIN, REMOVE OR RELOCATE EXISTING SERVICE CONNECTIONS WHEN NECESSARY.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING SURROUNDING NEIGHBORS ABOUT ANY POTENTIAL INTERRUPTION TO SERVICE OF ANY KIND.
3. EXISTING UTILITIES NOT INTENDED FOR DEMOLITION SHALL BE MAINTAINED, PROTECTED AND UNDISTURBED DURING CONSTRUCTION ACTIVITIES.
4. THE CONTRACTOR SHALL PROTECT ALL ADJACENT PROPERTY, STRUCTURES AND UTILITIES. DAMAGE TO PROPERTIES OF OTHERS DUE TO THE CONTRACTOR'S ACTIVITIES SHALL BE AT THE CONTRACTOR'S EXPENSE AND SHALL BE REPLACED BY THE CONTRACTOR TO THE SATISFACTION OF THE OWNER.
5. ALL MATERIAL CLEARED OR DEMOLISHED BY THE CONTRACTOR IN ORDER TO CONSTRUCT THE WORK SHALL BECOME THE PROPERTY OF THE CONTRACTOR, UNLESS OTHERWISE NOTED AND SHALL BE PROPERLY DISPOSED OF OFF-SITE.
6. SAW CUTS OF EXISTING PAVEMENTS, CURBS, GUTTERS AND SIDEWALKS SHALL PRODUCE A NEAT VERTICAL EDGE.
7. ALL DEMOLITION WORK SHALL BE DONE IN STRICT ACCORDANCE WITH AUTHORITIES HAVING JURISDICTION.
8. ALL PERMITS REQUIRED FOR THE DEMOLITION WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN PRIOR TO THE START OF DEMOLITION ACTIVITIES.

STORM DRAINAGE NOTES:

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT CITY OF RALEIGH STANDARDS AND NCDOT STANDARD SPECIFICATIONS AND DETAILS.
2. ALL PUBLIC STORM DRAINAGE FRAMES, GRATES, AND HOODS SHALL BE STAMPED WITH "DRAINS TO RIVER" IN ACCORDANCE WITH CITY OF RALEIGH AND NCDOT STANDARDS.
3. RIM ELEVATION GIVEN FOR CATCH BASIN (CB) IS TOP OF CURB, YARD INLET (YI) IS OPENING INVERT FOR SLAB TOP, DROP INLET (DI) IS TOP OF GRATE AND JUNCTION BOX (JB) IS TOP OF RIM.
4. CONTRACTOR SHALL VERIFY AND COORDINATE ALL DIMENSIONS SHOWN, INCLUDING, BUT NOT LIMITED TO THE HORIZONTAL AND VERTICAL LOCATION OF STRUCTURES AND UTILITIES CROSSING THE STORM SEWER PIPE.
5. CONTRACTOR SHALL PROVIDE ALL MATERIALS AND APPURTENANCES NECESSARY FOR COMPLETE INSTALLATION OF THE STORM SEWER DRAINAGE SYSTEM.
6. ALL STORM SEWER PIPE SHALL BE MINIMUM CLASS III REINFORCED CONCRETE PIPE (RCP), UNLESS OTHERWISE NOTED.
7. IF THERE ARE DISCREPANCIES BETWEEN THE PLAN AND FIELD CONDITIONS RELATED TO WHERE THE PROPOSED STORM SEWER PIPING TIES TO EXISTING STRUCTURES, PIPES, SWALES, ETC., THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER AND

OWNER. AFTER NOTIFICATION TO ENGINEER AND OWNER, THE CONTRACTOR SHALL PERFORM THE AGREED UPON FIELD ADJUSTMENTS TO MATCH THE LOCATIONS OF THESE EXISTING FEATURES.

8. ALL STORM SEWER PIPE SHALL HAVE A MINIMUM COVER OF 2 FEET FROM FINISHED SUBGRADE TO THE PIPE CROWN IN TRAFFIC BEARING AREAS, UNLESS APPROVED BY AUTHORITIES HAVING JURISDICTION.
9. ALL STORM SEWER PIPE SHALL HAVE A MINIMUM COVER OF 1 FOOT TO THE PIPE CROWN IN NON-TRAFFIC BEARING AREAS.
10. THE STORM PIPE LENGTHS AS SHOWN ON THE DRAWINGS REPRESENTS THE DISTANCE FROM CENTER TO CENTER OF THE RESPECTIVE STRUCTURES.
11. STORM SEWER UTILITY STRUCTURE TABLES ARE AVAILABLE UPON REQUEST.

GRADING NOTES:

1. ALL AREAS SHALL BE GRADED FOR POSITIVE DRAINAGE, AND AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL MAINTAIN ADEQUATE SITE DRAINAGE DURING ALL PHASES OF CONSTRUCTION. IN ADDITION TO THE MEASURES SHOWN IN THESE PLANS, THE CONTRACTOR SHALL USE INTERIM DIVERSION DITCHES, BERMS, OR OTHER METHODS AS REQUIRED TO DIRECT DRAINAGE AS SHOWN ON THESE PLANS AND TO PREVENT SILT AND CONSTRUCTION DEBRIS FROM FLOWING ONTO ADJACENT PROPERTIES, ROADWAYS, AND ENVIRONMENTALLY SENSITIVE AREAS SUCH AS BUFFERS AND WETLANDS. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER AND OWNER IN WRITING OF ANY DISCREPANCIES OR CONCERNS.
2. ALL SOILS USED FOR BACKFILL SHALL BE FREE OF UNSATISFACTORY MATERIALS INCLUDING ROCK OR GRAVEL LARGER THAN 3 INCHES IN ANY DIMENSION, DEBRIS, WASTE, FROZEN MATERIALS, VEGETATION AND OTHER DEleterious MATTER. ROCK OR GRAVEL LARGER THAN 2 INCHES IN ANY DIMENSION SHALL NOT BE PLACED IN THE IN THE FINAL LIFT (MINIMUM OF 6 INCHES). UNSATISFACTORY MATERIALS ALSO INCLUDE MAN-MADE FILLS AND REFUSE DEBRIS DERIVED FROM ANY SOURCE. REFER TO FINAL GEOTECHNICAL REPORT FOR ANY SPECIAL FILL MATERIAL REQUIRED FOR THIS PROJECT. IF ANY, THE CONTRACTOR SHALL CONSULT WITH THE SITE GEOTECHNICAL ENGINEER PRIOR TO BACKFILL PLACEMENT TO VERIFY BACKFILL MEETS PROJECT REQUIREMENTS.
3. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL SOIL TESTING IS PERFORMED AND THE RESULTS FORWARDED TO THE ENGINEER AND OWNER.
4. MATERIALS USED TO CONSTRUCT EMBANKMENTS FOR ANY PURPOSE, BACKFILL AROUND DRAINAGE STRUCTURES, OR IN UTILITY TRENCHES FOR ANY OTHER DEPRESSION REQUIRING FILL OR BACKFILL SHALL MEET THE REQUIREMENTS OF THE PROJECT GEOTECHNICAL ENGINEER RECOMMENDATIONS.
5. THE CONTRACTOR SHALL, PRIOR TO ANY OPERATIONS INVOLVING FILLING OR BACKFILLING, SUBMIT TO THE OWNER AND PROJECT GEOTECHNICAL ENGINEER THE RESULTS OF THE PROCTOR TEST TOGETHER WITH A CERTIFICATION THAT THE SOIL TESTED IS REPRESENTATIVE OF THE MATERIALS TO BE USED ON THE PROJECT. TESTS SHALL BE CONDUCTED BY A NORTH CAROLINA CERTIFIED MATERIALS TESTING LABORATORY AND CERTIFICATIONS MADE BY A LICENSED PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF NORTH CAROLINA REPRESENTING THE LABORATORY.
6. ALL PAVEMENT SUBGRADES SHALL BE SCARIFIED TO A DEPTH OF 8 INCHES AND COMPACTED TO A MINIMUM DENSITY OF 100 PERCENT OF ASTM D1557 DENSITY AT OPTIMUM MOISTURE CONTENT UNLESS OTHERWISE SHOWN ON THE CONSTRUCTION PLANS OR AS DIRECTED BY THE GEOTECHNICAL ENGINEER.
7. RETAINING WALLS OR MECHANICALLY STABILIZED EARTH WALLS SHALL BE DESIGNED AND CONSTRUCTED UNDER THE RESPONSIBLE CHARGE OF A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF NORTH CAROLINA AND COMPLY IN ALL ASPECTS WITH THE NC BUILDING CODE AND LOCAL JURISDICTION.
8. CONTOURS AND GUTTER GRADIENTS ARE APPROXIMATE. SPOT ELEVATIONS ARE TO BE USED IN CASE OF DISCREPANCY.
9. CONTRACTOR SHALL OBTAIN ALL PERMITS AS REQUIRED FOR BLASTING ROCK IF BLASTING ROCK IS REQUIRED. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COMPLYING WITH ALL REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION RELATED TO BLASTING AND SAFETY.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DEWATERING NECESSARY TO CONSTRUCT THE PROJECT AS SHOWN ON THE PLANS. DEWATERING SHALL BE INCIDENTAL TO GRADING OPERATIONS.
11. MASS GRADING OPERATIONS SHALL BE PHASED TO LIMIT EXPOSED AREAS. PRIOR TO PROCEEDING TO ANOTHER PHASE, THE PRESENT PHASE SHALL BE STABILIZED WITH ADEQUATE GROUND COVER SUBJECT TO EROSION AND HAVE ALL INFRASTRUCTURE INSTALLED. SEE GROUND COVER REQUIREMENTS WITHIN THESE PLANS OR CONSULT THE MUNICIPAL EROSION CONTROL SPECIALIST.
12. THE FRAMES AND COVERS OF ALL EXISTING AND PROPOSED DRAINAGE, SANITARY SEWER, WATER MAIN, GAS AND ELECTRIC UTILITY STRUCTURES SHALL BE ADJUSTED TO MATCH PROPOSED FINISHED ELEVATIONS AND SLOPES UNLESS OTHERWISE SHOWN ON THE PLANS.
13. BEFORE ANY EARTHWORK COMMENCES, THE CONTRACTOR SHALL STAKE OUT AND MARK THE LIMITS OF CONSTRUCTION AND OTHER ITEMS ESTABLISHED IN THE PLANS. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY SURVEYING FOR LINE AND GRADE CONTROL POINTS RELATED TO EARTHWORK.
14. REFERENCE STRUCTURAL DRAWINGS, SPECIFICATIONS, GEOTECHNICAL REPORT, AND/OR DIRECTIVES PROVIDED BY THE PROJECT GEOTECHNICAL ENGINEER FOR BUILDING PAD AND PAVING SUBGRADE INFORMATION.

GENERAL LANDSCAPE NOTES:

1. THE CONTRACTOR SHALL TAKE PROPER PRECAUTIONS NOT TO DAMAGE EXISTING PLANTS, FACILITIES AND STRUCTURES THAT ARE TO REMAIN. THE CONTRACTOR SHALL RESTORE DISTURBED AREAS TO THEIR ORIGINAL CONDITION TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT AND OWNER.
2. UTILITIES SHOWN ON THE LANDSCAPE DRAWINGS ARE FOR REFERENCE ONLY. SEE UTILITY DRAWINGS FOR EXISTING AND PROPOSED UTILITY LOCATIONS. SEE UTILITY NOTES FOR ADDITIONAL INFORMATION.
3. NO CHANGES TO ANY ASPECT OF APPROVED PLAN, INCLUDING BUT NOT LIMITED TO LANDSCAPING, GRADING, BUILDING ELEVATIONS, LIGHTING, OR UTILITIES SHALL BE MADE WITHOUT THE APPROVAL OF THE GOVERNING MUNICIPALITY, ENGINEER, LANDSCAPE ARCHITECT AND OWNER.
4. ALL PLANTS PROVIDED BY THE CONTRACTOR SHALL MEET OR SURPASS THE SPECIFICATIONS GIVEN IN THE PLANT TABLE AND CONFORM TO THE AMERICAN STANDARD OF NURSERY STOCK, ANSI Z601-1973 IN REGARD TO ZEVING, GROWING AND BAILED AND BURLAPPED (B&B) SPECIFICATIONS. PLANTS SHALL BE FULL AND HEAVY, AND IN HEALTHY CONDITION AT THE TIME OF PLANTING. LANDSCAPE ARCHITECT SHALL REJECT ANY PLANT NOT MEETING THESE GUIDELINES AND REQUIRE REPLACEMENT.
5. ALL PLANTS ARE TO BE FULLY WARRANTED (INCLUDING LABOR AND MATERIALS) FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR FROM FINAL ACCEPTANCE.
6. PLANTING SHALL BE INSTALLED DURING THE IDEAL SEASON BASED ON THE TYPE OF PLANT.
7. ALL PLANTS THAT ARE UNABLE TO BE IMMEDIATELY PLANTED SHALL BE STORED IN A PROTECTED AREA OUT OF DIRECT SUN AND WIND. PLANTS SHALL BE EVENLY AND CONSISTENTLY WATERED, AS NEEDED, TO PREVENT DRYING OF ROOTS. ROOT BALLS OF B&B STOCK SHALL BE COVERED WITH AT LEAST 4 INCHES OF HARDWOOD MULCH TO MAINTAIN MOISTURE IN ROOTS.
8. THE CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES SHOWN ON PLANS AND CLARIFY ANY DISCREPANCIES WITH LANDSCAPE ARCHITECT PRIOR TO PURCHASING PLANTS. CONTRACTOR SHALL TAG ALL TREES (AS DESIGNATED IN THE MASTER PLANT LIST) AT THE NURSERY FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO PURCHASING PLANTS.
9. LANDSCAPE ARCHITECT SHALL BE NOTIFIED IN WRITING OF ANY PROPOSED PLANT SUBSTITUTIONS BY THE CONTRACTOR. NO SUBSTITUTIONS SHALL BE MADE UNDER ANY CIRCUMSTANCES WITHOUT PRIOR APPROVAL BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
10. ALL PLANTS AND PLANTING BEDS ARE TO BE LOCATED BY SCALED DIMENSIONS FROM BUILDINGS, CURBS, PAVEMENTS, ETC. SPECIFIC ATTENTION SHALL BE GIVEN TO ENSURE THAT PLANTS INDIVIDUALLY SHOWN ON THE PLAN ARE ACCURATELY LOCATED. LOCATION OF ALL PLANTS SHALL BE REVIEWED IN THE FIELD BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. CONTRACTOR SHALL PROVIDE 48 HOURS NOTICE FOR REVIEW.
11. NO PLANTINGS SHALL BE REQUIRED WHEN A PRESERVED WETLAND OR REQUIRED RIPARIAN BUFFER EXISTS WITHIN A REQUIRED BUFFER YARD.
12. EXISTING SIGNIFICANT VEGETATION THAT IS PRESERVED WITHIN ANY REQUIRED BUFFER YARD SHALL BE CREDITED TOWARD STANDARDS FOR THE TYPE OF BUFFER REQUIRED AT THE TIME OF MUNICIPAL APPROVALS. IF EXISTING VEGETATION DOES NOT FULLY MEET THE STANDARDS FOR THE TYPE OF BUFFER REQUIRED, SUPPLEMENTAL VEGETATION AND/OR SITE FEATURES (INCLUDING FENCES) SHALL BE PLANTED OR INSTALLED WITHIN THE REQUIRED BUFFER AREA TO MEET MINIMUM STANDARDS.
13. A PRE-EMERGENT HERBICIDE SHALL BE APPLIED TO ALL NEW PLANTING BEDS IN ACCORDANCE WITH MANUFACTURERS' RECOMMENDATIONS AND ALLOWED TO DISSIPATE PRIOR TO INSTALLATION OF ANY PLANT MATERIAL.
14. ALL LANDSCAPE AREAS ARE TO BE GRADED FOR POSITIVE DRAINAGE AND TO ENSURE NO STANDING WATER. SEE GRADING PLAN FOR SPECIFIC GRADING INFORMATION. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT AND/OR ENGINEER OF ANY GRADING DISCREPANCIES OR CONCERNS.
15. ESTABLISH AND MAINTAIN TOP OF GRADE BELOW ADJACENT CURBS, WALKWAYS AND OTHER HARDSCAPE AREAS TO ALLOW FOR INSTALLATION OF MULCH.
16. ALL PLANTING BEDS ARE TO BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 2-3 INCHES, UNLESS INDICATED OTHERWISE. MULCH SHALL BE AS SELECTED BY THE LANDSCAPE ARCHITECT. CONTRACTOR SHALL SUBMIT A SAMPLE FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO PURCHASE AND DELIVERY TO PROJECT SITE.
17. FINISH OFF 2-4 FOOT CLEAR ZONE AROUND TREES WITH A 2-3-INCH LAYER OF MULCH, BUT DO NOT PLACE UP AGAINST OR MOUND AROUND THE ROOT FLARE.
18. MIXED GROUND COVER AND PLANTS SPECIFIED FOR MASS PLANTINGS SHALL BE PLANTED IN ODD GROUPINGS AND LOCATED AS REQUIRED TO PROVIDE A GENERAL MIXING OF SPECIES. DO NOT PLANT IN ROWS OR REPETITIVE PATTERNS UNLESS OTHERWISE

DIRECTED.

19. ALL TREES ADJACENT TO PEDESTRIAN WALKWAYS AND IN SIGHT TRIANGLES SHALL BE UNDER-TRIMMED SUFFICIENTLY TO ALLOW CLEAR SIGHT AND PEDESTRIAN ACCESS UP TO 6 FEET ABOVE SIDEWALK ELEVATION. ALL PRUNING SHALL BE PERFORMED BY A CERTIFIED ARBORIST AND ADHERE TO THE ANSI A300 PRUNING STANDARD. PRUNING CUTS ARE TO BE DELIBERATE AND TARGETED ONLY TO THE NECESSARY BRANCHES IN ORDER TO SATISFY SIGHT AND CLEARANCE REQUIREMENTS WHILE MAINTAINING THE INTEGRITY OF THE TREES.

20. THE SITE SHALL BE STABILIZED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY (CO).

21. CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANTING INCLUDING, BUT NOT LIMITED TO WATERING, MULCHING, SPRAYING, FERTILIZING, ETC.) OF THE PLANTING AREAS UNTIL FINAL ACCEPTANCE.

22. ANY PLANT WHICH DIES, TURNS BROWN OR DEFOLIATES PRIOR TO FINAL ACCEPTANCE OF THE WORK SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES. IN ACCORDANCE WITH THE APPROPRIATE PLANTING SEASON; QUANTITY AND SIZE TO MEET PLAN SPECIFICATIONS.

TREE PROTECTION NOTES:

1. ALL TREES THAT ARE TO REMAIN, WITHIN OR DIRECTLY ADJACENT TO THE LIMITS OF WORK, MUST BE PROTECTED WITH TREE PROTECTION FENCE AS INDICATED ON THE PLANS TO THE EXTENT OF THE TREE BOX OR THE DRIP LINE IN A PLANTING STRIP. THE DRIP LINE IS DEFINED AS THE GROUND AREA UNDER THE CANOPY OF THE TREE. FENCING IS TO BE INSTALLED PRIOR TO CONSTRUCTION, MAINTAINED THROUGHOUT, AND REMOVED ONLY AT THE END OF THE PROJECT.
2. NONE OF THE FOLLOWING SHALL OCCUR WITHIN THE ROOT ZONE OF A TREE WITHOUT PERMISSION OF LANDSCAPE ARCHITECT OR PROJECT ARBORIST: ALTERATION OR DISTURBANCE TO EXISTING GRADE; STAGING OR STORAGE OF CONSTRUCTION MATERIALS, EQUIPMENT USE, SOIL OR DEBRIS REMOVAL OR STOCKPILING, TRENCHING, OR DISPOSAL OF ANY LIQUIDS.
3. APPROVED EXCAVATIONS WITHIN THE DRIP LINE SHALL PROCEED WITH CARE BY USE OF HAND TOOLS OR EQUIPMENT THAT WILL NOT CAUSE INJURY TO TREE TRUNKS, BRANCHES AND ROOTS.
4. NO ROOTS GREATER THAN 2 INCHES IN DIAMETER SHALL BE CUT WITHOUT PERMISSION OF LANDSCAPE ARCHITECT OR PROJECT ARBORIST. EXPOSED ROOTS 2 INCHES AND LARGER IN DIAMETER SHALL BE WRAPPED IN BURLAP OR OTHER APPROVED MATERIAL AND KEPT MOIST AT ALL TIMES.
5. IF THERE ARE ANY TREE CONFLICTS ON THIS JOB SITE, PERMIT HOLDER MUST SUSPEND ALL WORK THAT CONTRIBUTES TO THE CONFLICT AND IMMEDIATELY CONTACT LANDSCAPE ARCHITECT OR PROJECT ARBORIST FOR DIRECTION AND CLEARANCE TO CONTINUE THE CONFLICTING WORK.
6. TREES THAT ARE PROTECTED SHALL BE THOROUGHLY WATERED AS REQUIRED TO KEEP ROOT BALLS FROM DRYING OUT, ESPECIALLY BETWEEN APRIL THROUGH SEPTEMBER.

UTILITIES NOTES:

1. GENERALLY, FILL MATERIAL SHALL BE IN PLACE AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
2. ALL NECESSARY INSPECTIONS, CERTIFICATIONS, AND TESTING REQUIRED BY CODES AND UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO MUNICIPAL APPROVAL FOR THE FINAL CONNECTION OF SERVICE. CONTRACTOR SHALL BE RESPONSIBLE FOR PAYMENT OF TESTING SERVICES AND COORDINATION WITH UTILITY OWNER.
3. CONTRACTOR SHALL PROVIDE ALL MATERIALS AND APPURTENANCES NECESSARY FOR COMPLETE INSTALLATION OF THE IMPROVEMENTS SHOWN.
4. THE CONTRACTOR SHALL REPORT, IN WRITING ANY UTILITY CONFLICTS TO THE ENGINEER IMMEDIATELY UPON DISCOVERING CONFLICTS.
5. THE SANITARY SEWER PIPE LENGTHS AS SHOWN ON THE DRAWINGS REPRESENTS THE DISTANCE FROM CENTER TO CENTER OF THE RESPECTIVE STRUCTURES.
6. PRIOR TO UTILITY RELOCATION, REMOVAL OR ABANDONMENT, THE CONTRACTOR SHALL COORDINATE WITH THE LOCAL UTILITY PROVIDERS, LOCAL MUNICIPALITY, AND NCDOT. KNOWN UTILITY PROVIDER INFORMATION IS CONTAINED ON THIS PLAN SHEET.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING SURROUNDING NEIGHBORS ABOUT ANY POTENTIAL INTERRUPTION TO SERVICE OF ANY KIND.
8. THE CONTRACTOR SHALL MAINTAIN A MINIMUM COVER OF 3 FEET ON ALL PROPOSED WATER LINES. THREE FEET SHALL BE MEASURED TO THE BOTTOM OF THE PROPOSED SUBGRADE WITHIN PAVED AREAS.
9. THE CONTRACTOR SHALL MAINTAIN A MINIMUM COVER OF 3 FEET ON ALL PROPOSED SANITARY LINES. THREE FEET SHALL BE MEASURED TO THE BOTTOM OF THE PROPOSED SUBGRADE WITHIN PAVED AREAS.
10. THE CONTRACTOR SHALL MAINTAIN SEPARATION OF WATER MAIN FROM SANITARY SEWER PIPING IN ACCORDANCE WITH THOSE DISTANCES SPECIFIED BY STATE AND/OR LOCAL CODE OR A MINIMUM OF 10 FEET HORIZONTAL OR 18 INCHES VERTICAL DISTANCE.
11. THE CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES FOR INSTALLATION OF ALL PROPOSED POWER AND COMMUNICATION LINES AND ASSOCIATED APPURTENANCES.

EROSION & SEDIMENT CONTROL NOTES:

1. CONTRACTOR SHALL INSTALL EROSION CONTROLS IN ORDER WITH THE SEQUENCE PROVIDED.
2. CONTRACTOR SHALL ENSURE GRADING OPERATIONS ARE CONDUCTED IN A MANNER THAT DOES NOT ALLOW ANY SEDIMENT TO DRAIN OFFSITE OR INTO WATERCOURSES.
3. A GRAVEL CONSTRUCTION ENTRANCE SHALL BE CONSTRUCTED AT THE LOCATIONS SHOWN ON THE DRAWINGS AND AT EACH POINT OF CONSTRUCTION ACCESS.
4. CONTRACTOR SHALL CONSTRUCT DIVERSION DITCHES AS NECESSARY TO ENSURE ALL SEDIMENT IS DIRECTED INTO EROSION CONTROL MEASURES.
5. IF STORM CROSS DRAINAGE CANNOT BE INSTALLED PRIOR TO GRADING, TEMPORARY HDPE STORM DRAINAGE PIPE SHALL BE USED TO CROSS WET WEATHER CHANNELS, EXCLUDING ANY PROTECTED WETLANDS OR STREAMS.
6. ALL STORM DRAINAGE PIPE SHALL BE PROTECTED AS SHOWN ON THE PLANS DURING CONSTRUCTION.
7. CONTRACTOR SHALL PROVIDE BIRPAP LINED DISSIPATOR PADS AT THE STORM DRAINAGE PIPE DISCHARGE POINTS AS REQUIRED TO ENSURE POSITIVE DRAINAGE. SEE PLANS FOR DIMENSIONS AND DETAILS.
8. TO AVOID SLOPE EROSION, CONTRACTOR SHALL INSTALL TEMPORARY SLOPE DRAINS PER DETAIL AT LOCATIONS INDICATED AND WHERE TEMPORARY DIVERSION DITCHES DISCHARGE INTO A SKIMMER BASIN.
9. PERMANENT GROUND COVER SHALL BE ESTABLISHED PER APPROVED NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT.
10. TREE PROTECTION FENCING SHALL BE INSTALLED AND INSPECTED PRIOR TO ISSUANCE OF A GRADING PERMIT. FENCING SHALL NOT BE REQUIRED ADJACENT TO AREAS WITHOUT WOODED VEGETATION. FENCING SHALL BE MAINTAINED ON THE SITE UNTIL ALL SITE WORK IS COMPLETED AND THE FINAL SITE INSPECTION PRIOR TO THE CERTIFICATE OF OCCUPANCY (CO) IS SCHEDULED. THE FENCING SHALL BE REMOVED PRIOR TO FINAL SITE INSPECTION FOR THE CO.
11. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT AN EROSION CONTROL PERMIT AND ANY OTHER RELATED PERMITS ARE SECURED FOR ANY OFF-SITE WASTE OR BORROW AREAS, UNLESS OTHERWISE STATED IN THE PROJECT DOCUMENTS. THE CONTRACTOR IS RESPONSIBLE FOR SECURING ALL AGREEMENTS WITH LANDOWNERS FOR PLACEMENT OF WASTE SOIL OR REMOVAL OF BORROW. OFF-SITE PERMITS AND AGREEMENTS SHALL EXIST PRIOR TO CONSTRUCTION ACTIVITIES ON WASTE OR BORROW AREAS. COPIES OF PERMITS AND AGREEMENTS SHALL BE PROVIDED TO THE OWNER AND ENGINEER.
12. SOILS CONTAMINATED WITH ANY CHEMICAL, METAL OR PETROLEUM CONTAMINATION SHALL NOT BE TRANSPORTED ONTO THE PROPERTY AS BORROW / FILL SOILS. CONTAMINATED SOILS, IF DISCOVERED ON THE PROPERTY SHALL NOT BE TRANSPORTED OFFSITE WITHOUT TESTING, PERMITTING AND/OR OTHER REGULATORY APPROVALS COMMENSURATE WITH THE TYPE OF CONTAMINATION AND LOCATION.

SEPTIC SYSTEM ABANDONMENT:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS AND PAYING APPLICABLE FEES FOR THE ABANDONMENT OF SEPTIC TANKS AND SEPTAGE. ALL WORK SHALL BE DONE IN ACCORDANCE WITH AUTHORITIES HAVING JURISDICTION.
2. THE CONTRACTOR SHALL PROVIDE TEMPORARY CONTAINMENT AND PROPER DISPOSAL OF THE WASTEWATER COMING FROM THE RESIDENCE PRIOR TO DISCONNECTING THE SEPTIC SYSTEM TO BE ABANDONED.
3. FOR SEPTIC SYSTEMS CONTAINING A SEPTIC PUMP, THE CONTRACTOR SHALL DISCONNECT THE SEPTIC PUMP PRIOR TO ABANDONING THE SEPTIC SYSTEM. ALL ELECTRICAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT NC ELECTRICAL CODE BY A LICENSED ELECTRICAL CONTRACTOR IN THE STATE OF NORTH CAROLINA.
4. ALL DEBRIS AND MATERIALS FROM THE ABANDONED SEPTIC SYSTEM ARE TO BE DISPOSED OF PROPERLY IN AN APPROVED OFF-SITE FACILITY AND THE CONSTRUCTION AREA RESTORED TO PRE-CONSTRUCTION CONDITIONS OR BETTER.
5. NO SEPTAGE SHALL BE DISCHARGED TO THE EXISTING SEWER SYSTEM.

RETAINING WALL NOTES:

1. TFW REFERS TO TOP FACE OF WALL ELEVATION. BFW REFERS TO THE BOTTOM FACE OF WALL ELEVATION AT FINISHED GRADE, NOT FOOTING GRADE.
2. IF STAKED BY WITHERSRAVENEL, INC., BOTTOM OF WALL GRADE AT FINISHED GRADE WILL BE STAKED. ANY DIFFERENCES BETWEEN FOUNDATION OF WALL AS COMPARED TO FINISHED GRADE BOTTOM IS TO BE STATED SO ON RETAINING WALL PLANS BY OTHERS.
3. IF WALL CONTRACTOR REQUIRES ADDITIONAL STAKING BEYOND WALL AT FINISHED GRADE, THE ENGINEER MAY PROVIDE A CAD FILE NOTING LOCATION OF THE ITEMS TO BE STAKED. LOCATIONS WHERE WALL BREAKS OR CHANGES IN WALL ANGLES ARE TO BE NOTED ON THE CAD FILE.
4. WALL BATTER ASSUMPTIONS
 - a. N' PER R' VERTICAL RISE.
 - b. THE WALL CONTRACTOR OR ENGINEER OF RECORD FOR THE PROPOSED WALL SHALL NOTIFY THE WITHERSRAVENEL, INC. IF THE RETAINING WALL BATTER MUST DEVIATE FROM THE ABOVE WALL ASSUMPTIONS AT THE TIME OF DESIGN FOR VERIFICATION TO THE MEET SITE DESIGN CRITERIA.
5. PRIOR TO WALL STAKING, A MEETING SHALL BE HELD BY THE SURVEYOR AND WALL CONTRACTOR TO DETERMINE STAKING CRITERIA.
6. CONTRACTOR TO INSTALL TEMPORARY FENCING/BARRICADES DURING CONSTRUCTION UNTIL PERMANENT FENCING IS INSTALLED.
7. CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGES TO PERMANENT FENCING DURING CONSTRUCTION. REPAIR OF DAMAGES SHALL BE DONE AT NO ADDITIONAL COST TO THE OWNER AND SHALL BE DONE TO THE SATISFACTION OF THE ENGINEER AND OWNER.



February 9, 2024

To Whom it May Concern,

This letter represents that Waste Management is working with Withers Ravenel and will service 5504 Rock Quarry Road, Raleigh, NC 27610, upon completion of the build-out. We intend to service containers at this site for their waste and recycling needs. Please let me know if you have any questions.

Amber Abercrombie

Senior Account Executive

South Atlantic Region

aaberrcro@wvm.com

919-452-1057

ADMINISTRATIVE SITE REVIEW (ASR-0079-2023)

ROCK QUARRY
MULTI-FAMILY

5504 ROCK QUARRY ROAD | RALEIGH, NC, 27610 | WAKE

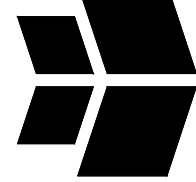
PRELIMINARY
NOT APPROVED
FOR CONSTRUCTION

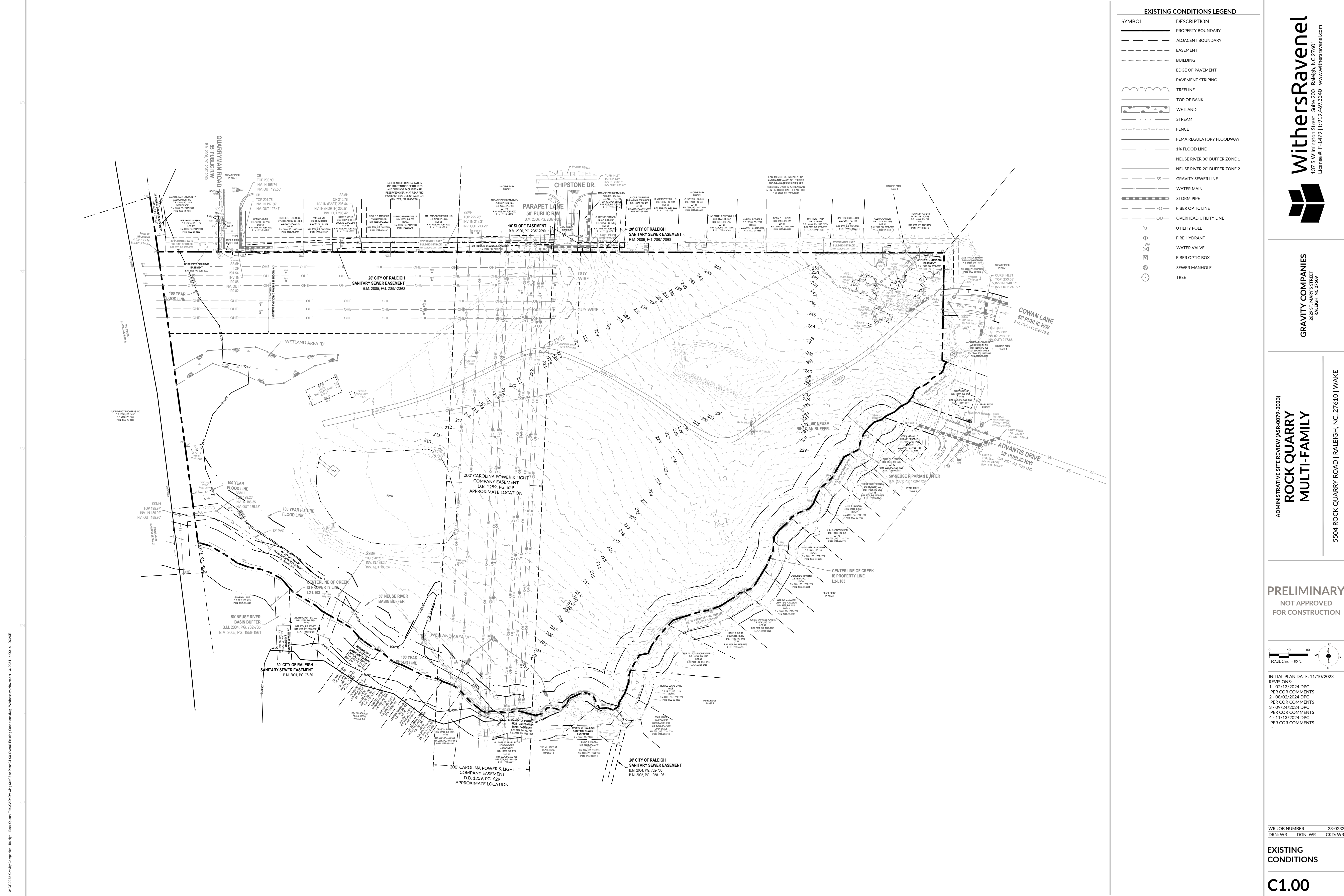
INITIAL PLAN DATE: 11/10/2023

REVISIONS:
1 - 02/13/2024 DPC
PER COR COMMENTS
2 - 08/02/2024 DPC
PER COR COMMENTS
3 - 09/24/2024 DPC
PER COR COMMENTS
4 - 11/13/2024 DPC
PER COR COMMENTSWR JOB NUMBER 23-0232
DRN:WR DGN:WR CKD:WR

GENERAL NOTES

C0.01

GRAVITY COMPANIES
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RALEIGH, NC 27609WithersRavenel
137 S. Wilmington Street, Suite 200 | Raleigh, NC 27601
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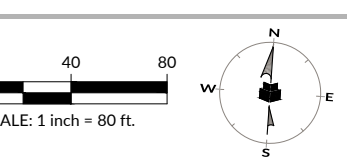
EXISTING CONDITIONS LEGEND	
SYMBOL	DESCRIPTION
—	PROPERTY BOUNDARY
- - -	ADJACENT BOUNDARY
- - -	EASEMENT
—	BUILDING
—	EDGE OF PAVEMENT
—	PAVEMENT STRIPING
—	TREELINE
—	TOP OF BANK
—	WETLAND
—	STREAM
—	FENCE
—	FEMA REGULATORY FLOODWAY
—	1% FLOOD LINE
—	NEUSE RIVER 30' BUFFER ZONE 1
—	NEUSE RIVER 20' BUFFER ZONE 2
—	SS GRAVITY SEWER LINE
—	WATER MAIN
—	STORM PIPE
—	FO FIBER OPTIC LINE
—	OU OVERHEAD UTILITY LINE
⊕	UTILITY POLE
⊕	FIRE HYDRANT
⊕	WATER VALVE
⊕	FIBER OPTIC BOX
⊕	SEWER MANHOLE
⊕	TREE

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ADMINISTRATIVE SITE REVIEW (ASR-0079-2023)
ROCK QUARRY MULTI-FAMILY
 5504 ROCK QUARRY ROAD | RALEIGH, NC. 27610 | WAKE

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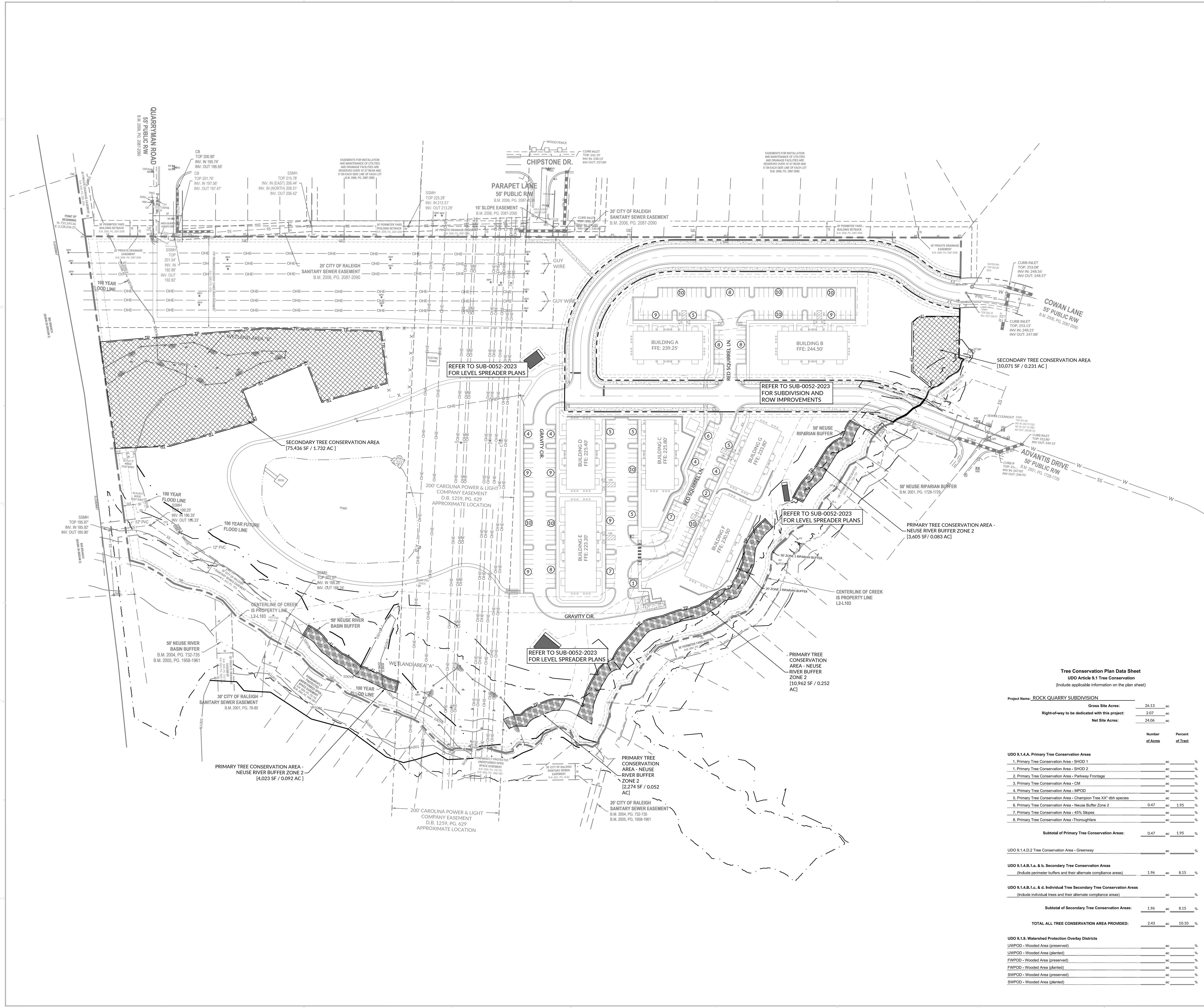
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 3 - 09/24/2024 DPC PER COR COMMENTS
 4 - 11/13/2024 DPC PER COR COMMENTS

WR JOB NUMBER 23-0232
 DRN: WR DGN: WR CKD: WR

EXISTING CONDITIONS

C1.00

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TCA LEGEND

SYMBOL	DESCRIPTION
[Hatched Box]	PRIMARY TCA - NEUSE RIVER BUFFER ZONE 2 (TO REMAIN)
[Cross-hatched Box]	SECONDARY TCA
[Dashed Line]	TREE PROTECTION FENCE

Tree Conservation Plan Data Sheet
UDO Article 9.1 Tree Conservation
(Include applicable information on the plan sheet)

Project Name: ROCK QUARRY SUBDIVISION

Gross Site Acres:	26.13	ac
Right-of-way to be dedicated with this project:	2.07	ac
Net Site Acres:	24.06	ac

	Number of Acres	Percent of Tract
UDO 9.1.4.A. Primary Tree Conservation Areas		
1. Primary Tree Conservation Area - SHOD 1	0.00	0.00 %
1. Primary Tree Conservation Area - SHOD 2	0.00	0.00 %
2. Primary Tree Conservation Area - Parkway Frontage	0.00	0.00 %
3. Primary Tree Conservation Area - CM	0.00	0.00 %
4. Primary Tree Conservation Area - MPOD	0.00	0.00 %
5. Primary Tree Conservation Area - Champion Tree "X" dbh species	0.00	0.00 %
6. Primary Tree Conservation Area - Neuse Buffer Zone 2	0.47	1.95 %
7. Primary Tree Conservation Area - 45% Skopsis	0.00	0.00 %
8. Primary Tree Conservation Area - Thoroughfare	0.00	0.00 %
Subtotal of Primary Tree Conservation Areas:	0.47	1.95 %
UDO 9.1.4.D.2 Tree Conservation Area - Greenway	0.00	0.00 %
UDO 9.1.4.B.1.a. & b. Secondary Tree Conservation Areas (Include perimeter buffers and their alternate compliance areas)	1.96	8.15 %
UDO 9.1.4.B.1.c. & 4. Individual Tree Secondary Tree Conservation Areas (Include individual trees and their alternate compliance areas)	0.00	0.00 %
Subtotal of Secondary Tree Conservation Areas:	1.96	8.15 %
TOTAL ALL TREE CONSERVATION AREA PROVIDED:	2.43	10.10 %

UDO 9.1.B. Watershed Protection Overlay Districts

LWPOD - Wooded Area (preserved)	0.00	0.00 %
LWPOD - Wooded Area (planted)	0.00	0.00 %
FWPOD - Wooded Area (preserved)	0.00	0.00 %
FWPOD - Wooded Area (planted)	0.00	0.00 %
SWPOD - Wooded Area (preserved)	0.00	0.00 %
SWPOD - Wooded Area (planted)	0.00	0.00 %

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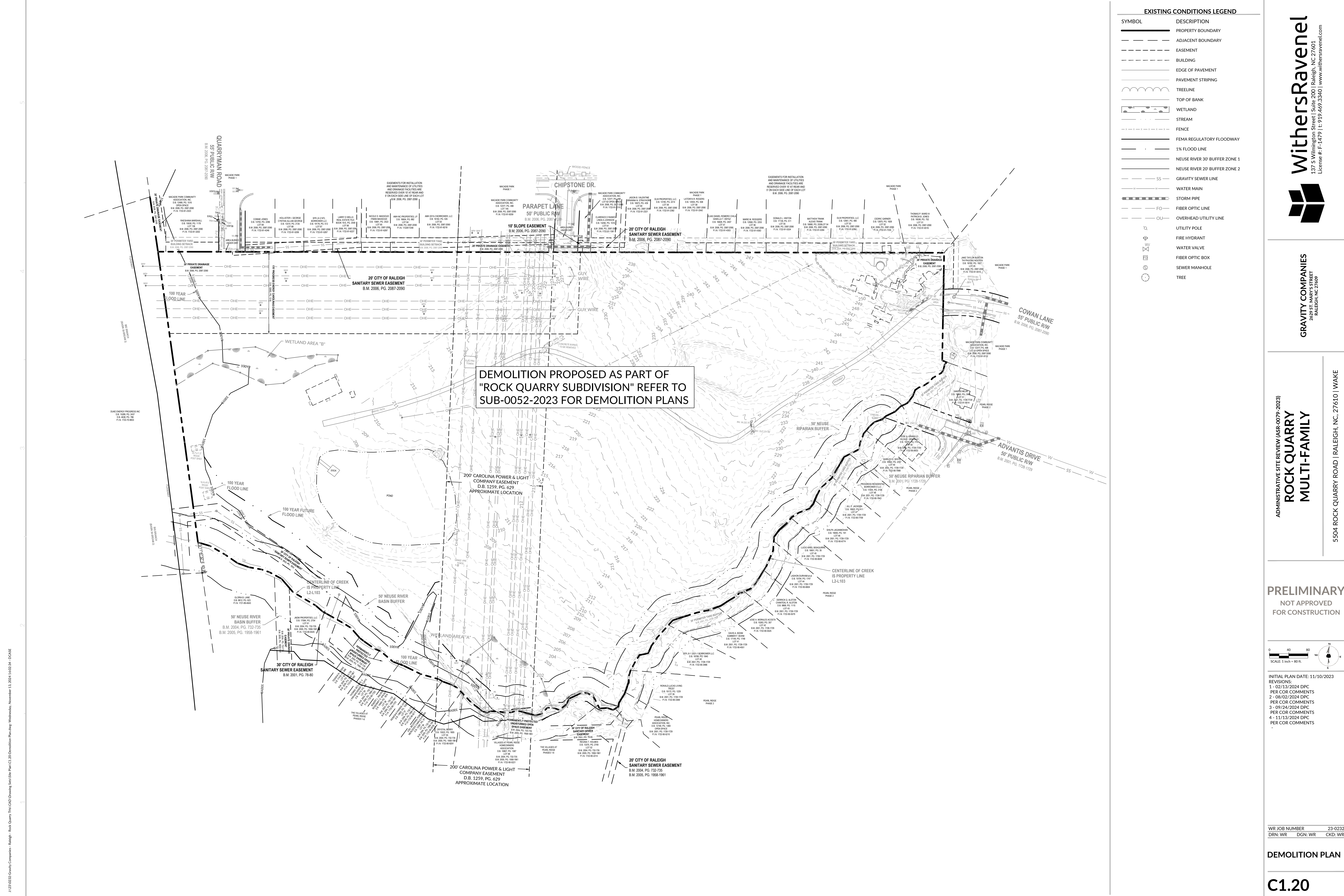
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4 - 11/13/2024 DPC PER COR COMMENTS

WR JOB NUMBER: 23-0232
DRN: WR DGN: WR CKD: WR

TREE CONSERVATION PLAN

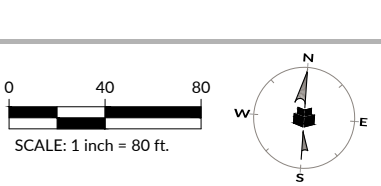
C1.10

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EXISTING CONDITIONS LEGEND	
SYMBOL	DESCRIPTION
—	PROPERTY BOUNDARY
- - -	ADJACENT BOUNDARY
- - -	EASEMENT
—	BUILDING
—	EDGE OF PAVEMENT
—	PAVEMENT STRIPING
—	TREELINE
—	TOP OF BANK
—	WETLAND
—	STREAM
—	FENCE
—	FEMA REGULATORY FLOODWAY
—	1% FLOOD LINE
—	NEUSE RIVER 30' BUFFER ZONE 1
—	NEUSE RIVER 20' BUFFER ZONE 2
—	SS - GRAVITY SEWER LINE
—	WATER MAIN
—	STORM PIPE
—	FO - FIBER OPTIC LINE
—	OU - OVERHEAD UTILITY LINE
—	UTILITY POLE
—	FIRE HYDRANT
—	WATER VALVE
—	FIBER OPTIC BOX
—	SEWER MANHOLE
—	TREE

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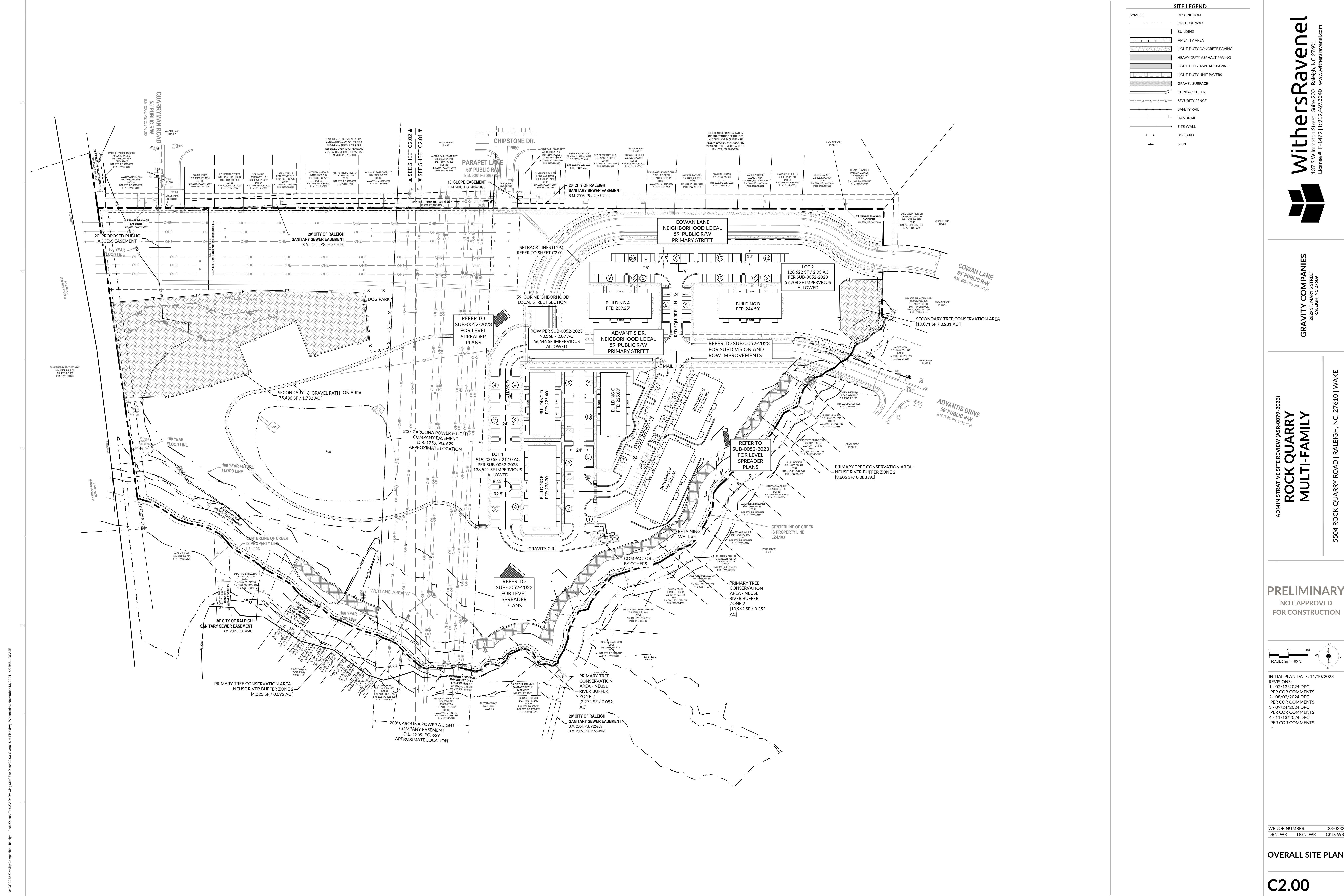
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 4 - 11/13/2024 DPC PER COR COMMENTS

WR JOB NUMBER 23-0232
 DRN: WR DGN: WR CKD: WR

DEMOLITION PLAN

C1.20

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SITE LEGEND

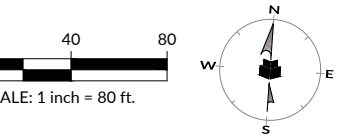
SYMBOL	DESCRIPTION
---	RIGHT OF WAY
[Hatched Box]	BUILDING
[Hatched Box]	AMENITY AREA
[Hatched Box]	HEAVY DUTY ASPHALT PAVING
[Hatched Box]	LIGHT DUTY ASPHALT PAVING
[Hatched Box]	LIGHT DUTY UNIT PAVERS
[Hatched Box]	GRAVEL SURFACE
[Hatched Box]	CURB & GUTTER
[Hatched Box]	SECURITY FENCE
[Hatched Box]	SAFETY RAIL
[Hatched Box]	HANDRAIL
[Hatched Box]	SITE WALL
[Hatched Box]	BOLLARD
[Hatched Box]	SIGN

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**ROCK QUARRY
 MULTI-FAMILY**
 5504 ROCK QUARRY ROAD | RALEIGH, NC, 27610 | WAKE

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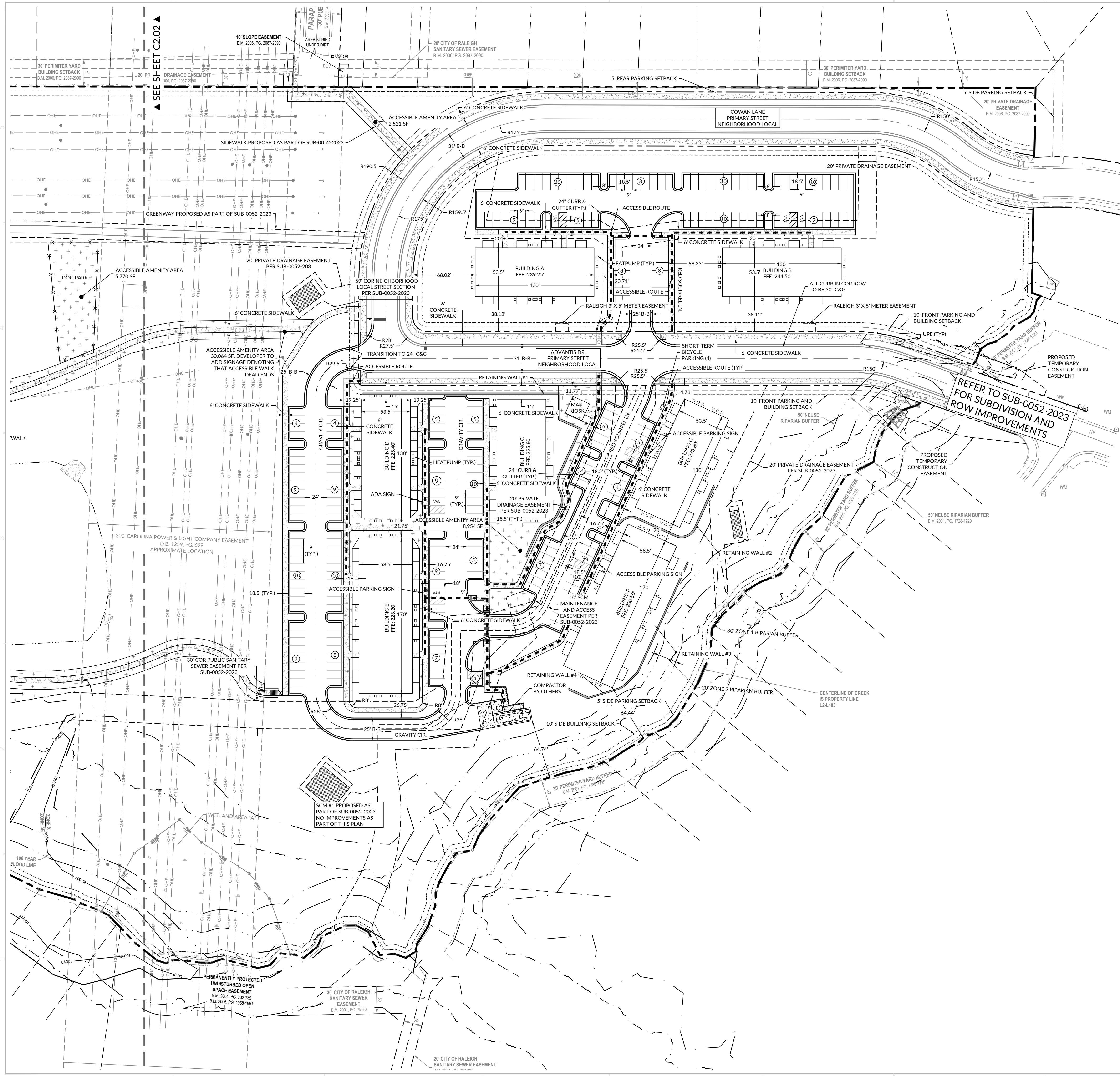
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 PER COR COMMENTS
 4 - 11/13/2024 DPC
 PER COR COMMENTS

WR JOB NUMBER 23-0232
 DRN: WR DGN: WR CKD: WR

OVERALL SITE PLAN

C2.00

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SITE LEGEND	
SYMBOL	DESCRIPTION
[Dashed line]	RIGHT OF WAY
[Solid line]	BUILDING
[Hatched area]	AMENITY AREA
[Dotted area]	LIGHT DUTY CONCRETE PAVING
[Cross-hatched area]	HEAVY DUTY ASPHALT PAVING
[Horizontal lines]	LIGHT DUTY ASPHALT PAVING
[Vertical lines]	LIGHT DUTY UNIT PAVERS
[Diagonal lines]	GRAVEL SURFACE
[Double line]	CURB & GUTTER
[Dashed line with dots]	SECURITY FENCE
[Line with triangles]	SAFETY RAIL
[Line with circles]	HANDRAIL
[Line with squares]	SITE WALL
[Circle]	BOLLARD
[Square]	SIGN

AMENITY AREA CALCULATION	
SITE AREA:	25.46 AC
REQUIRED AMENITY AREA:	25.46 AC * 10% = 110,903 SF / 2.54 AC
REQUIRED ACCESSIBLE AMENITY AREA:	110,903 / 2 = 55,451 SF
AMENITY AREA PROVIDED:	55,535 SF ACCESSIBLE + 55,383 SF = 110,918 SF / 2.55 AC

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0 25 50
 SCALE: 1 inch = 50 ft.

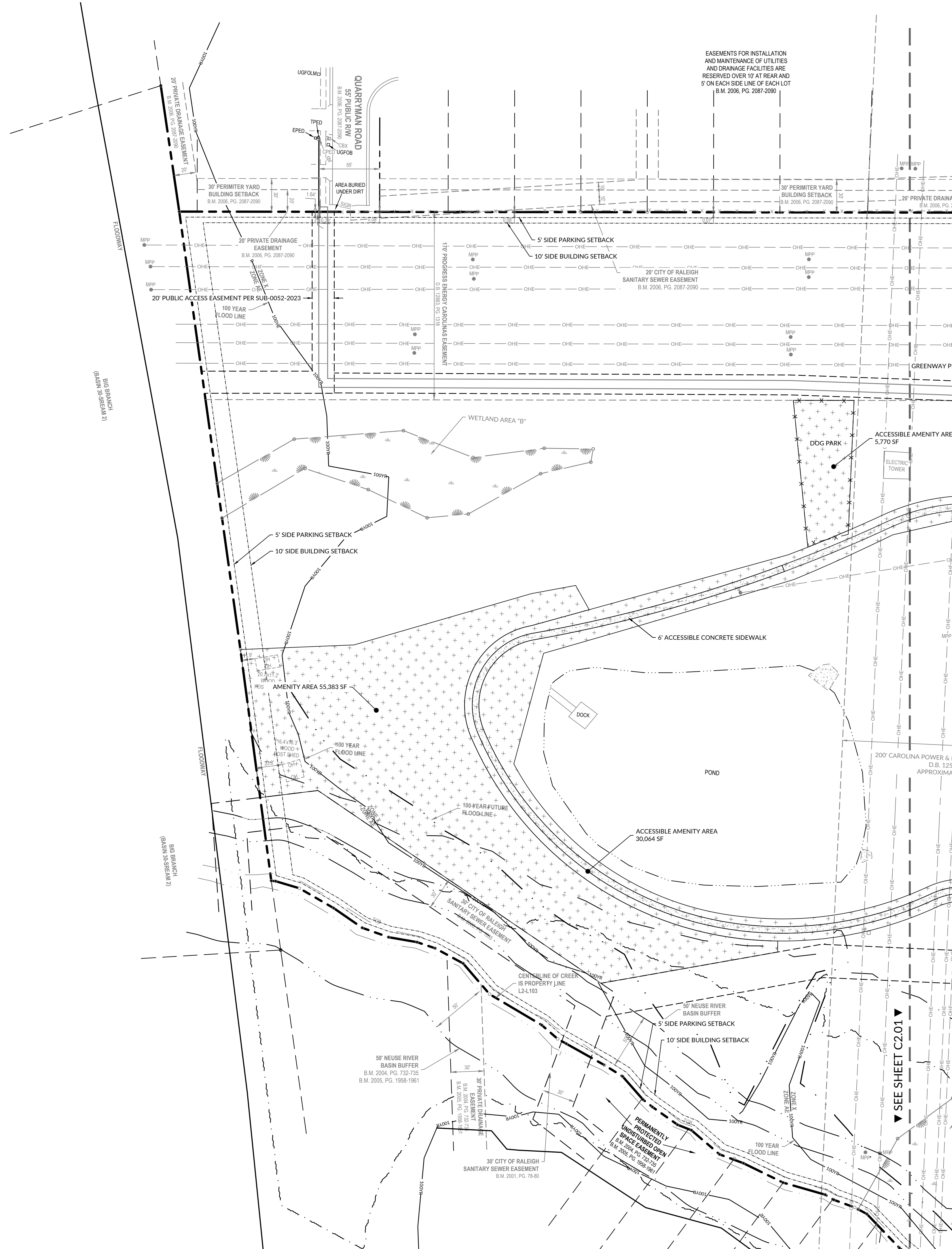
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WR JOB NUMBER 23-0232
 DRN: WR DGN: WR CKD: WR

SITE PLAN AREA I

C2.01

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EASEMENTS FOR INSTALLATION AND MAINTENANCE OF UTILITIES AND DRAINAGE FACILITIES ARE RESERVED OVER 10' AT REAR AND 5' ON EACH SIDE LINE OF EACH LOT B.M. 2006, PG. 2087-2090

SITE LEGEND	
SYMBOL	DESCRIPTION
[Dashed line]	RIGHT OF WAY
[Solid rectangle]	BUILDING
[Dotted pattern]	AMENITY AREA
[Cross-hatch pattern]	LIGHT DUTY CONCRETE PAVING
[Diagonal lines]	HEAVY DUTY ASPHALT PAVING
[Horizontal lines]	LIGHT DUTY ASPHALT PAVING
[Vertical lines]	LIGHT DUTY UNIT PAVERS
[Stippled pattern]	GRAVEL SURFACE
[Wavy line]	CURB & GUTTER
[Dashed line with dots]	SECURITY FENCE
[Dashed line]	SAFETY RAIL
[T-shaped symbol]	HANDRAIL
[Double line]	SITE WALL
[Circle with dot]	BOLLARD
[Square with dot]	SIGN

AMENITY AREA CALCULATION

SITE AREA: 25.46 AC
 REQUIRED AMENITY AREA: 25.46 AC * 10% = 110,903 SF / 2.54 AC
 REQUIRED ACCESSIBLE AMENITY AREA = 110,903 / 2 = 55,451 SF

AMENITY AREA PROVIDED:

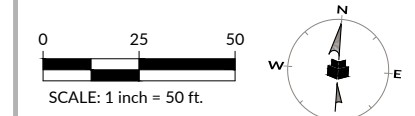
55,535 SF ACCESSIBLE + 55,383 SF = 110,918 SF / 2.55 AC

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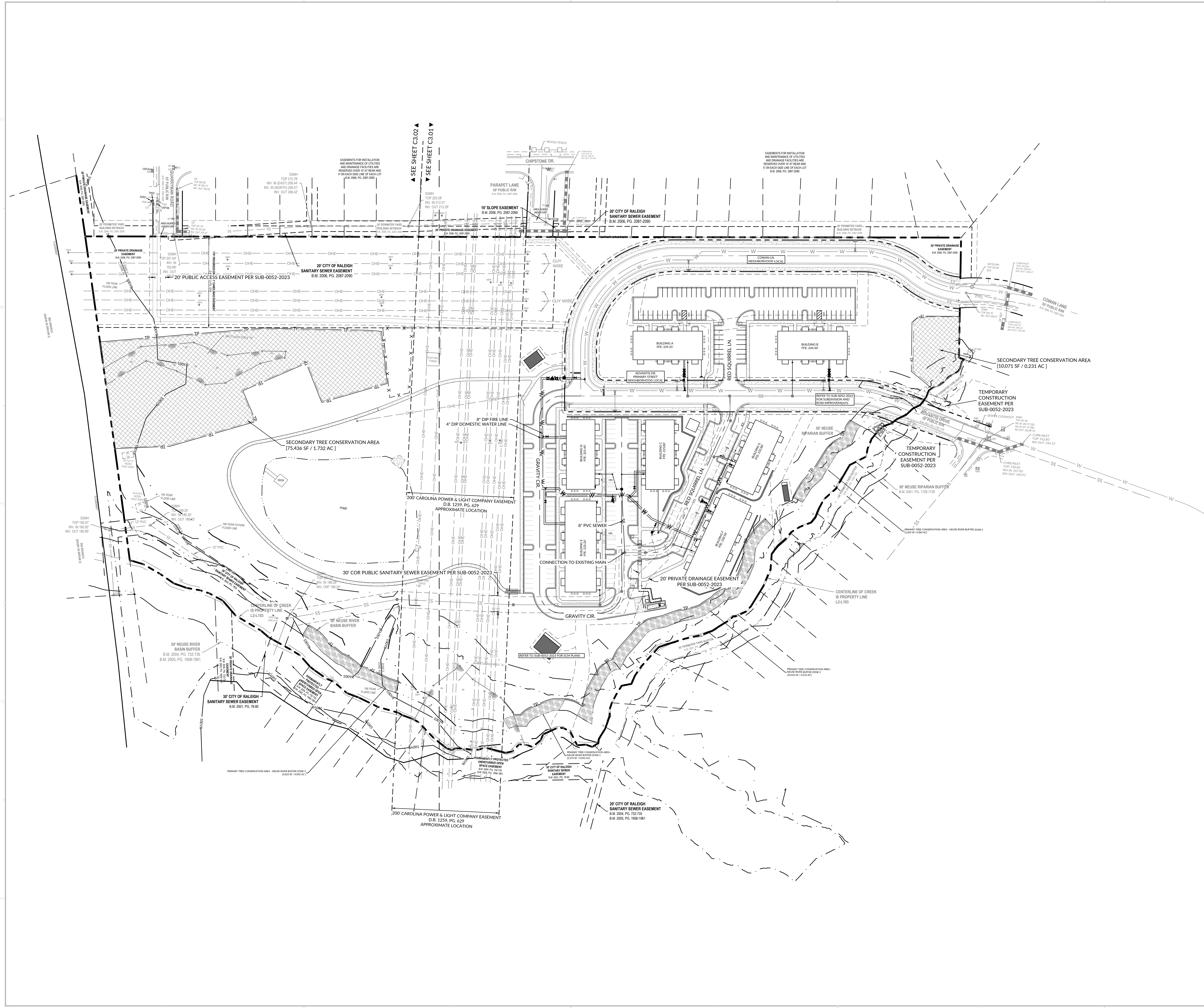


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WR JOB NUMBER 23-0232
 DRN: WR DGN: WR CKD: WR

SITE PLAN AREA II

C2.02



PROPOSED UTILITIES LEGEND

SYMBOL	DESCRIPTION
—	WATER MAIN
—	GRAVITY SEWER
—	WATER SERVICE
—	SEWER SERVICE
—	SEWER CLEANOUT
—	SEWER MANHOLE
—	WATER VALVE
—	FIRE HYDRANT ASSEMBLY
—	BACKFLOW PREVENTER
—	WATER METER
—	FIRE DEPARTMENT CONNECTION (FDC)
—	WALL

**COR APPENDIX D
STANDARD UTILITY NOTES**

- ALL STANDARD MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARD, DETAILS, & SPECIFICATIONS (REFERENCE CORPUD HANDBOOK, CURRENT EDITION)
- UTILITY SEPARATION REQUIREMENTS:
 - A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASUREMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED. SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49).
- ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- DEVELOPER SHALL PROVIDE 30 DAYS ADVANCE WRITTEN NOTICE TO OWNER FOR ANY WORK REQUIRED WITHIN AN EXISTING CITY OF RALEIGH UTILITY EASEMENT TRAVERSING PRIVATE PROPERTY.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
- INSTALL 2" COPPER WATER SERVICE WITH METERS LOCATED AT ROW OR WITHIN A 2'x2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. *NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.*
- INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT STEPHEN CALVERLEY AT (919) 996-2334 OR STEPHEN.CALVERLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX D OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. A CERTIFICATE OF COMPLIANCE SHALL ALSO BE OBTAINED FOR EACH DEVICE PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT JOANIE HARTLEY AT (919) 996-5223 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION.

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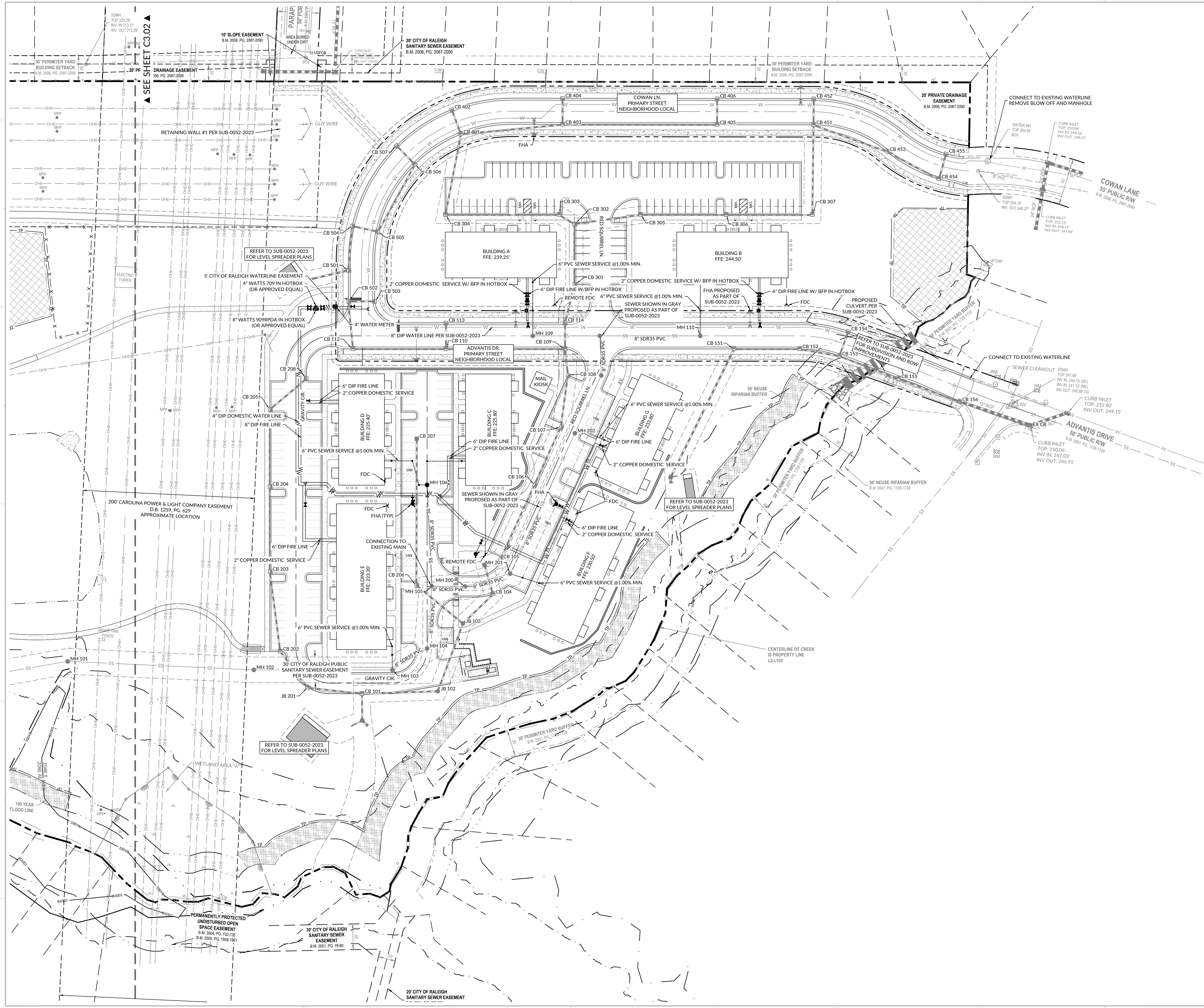
SCALE: 1 inch = 80 ft.

INITIAL PLAN DATE: 11/10/2023
REVISIONS:
1 - 02/13/2024 DPC PER COR COMMENTS
2 - 08/02/2024 DPC PER COR COMMENTS
3 - 09/24/2024 DPC PER COR COMMENTS
4 - 11/13/2024 DPC PER COR COMMENTS

WR JOB NUMBER: 23-0232
DRN: WR DGN: WR CKD: WR

UTILITY PLAN
C3.00

J:\2023\2023 Gravity Companies - Raleigh - Rock Quarry Multi-Family\CD\Drawings\Site\SitePlan\CD\Overlaid\Utility Plan\Utility Plan.dwg, November 13, 2023, 10:58:10 - D:\CAE



PROPOSED UTILITIES LEGEND

SYMBOL	DESCRIPTION
—	WATER MAIN
—	GRAVITY SEWER
—	WATER SERVICE
—	SEWER SERVICE
—	SEWER CLEANOUT
—	SEWER MANHOLE
—	WATER VALVE
—	FIRE HYDRANT ASSEMBLY
—	BACKFLOW PREVENTER
—	WATER METER
—	FIRE DEPARTMENT CONNECTION (FDC)
—	WALL

**COR APPENDIX D
STANDARD UTILITY NOTES**

- ALL STANDARD MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARD, DETAILS, & SPECIFICATIONS (REFERENCE CORPUD HANDBOOK, CURRENT EDITION)
- UTILITY SEPARATION REQUIREMENTS:
 - A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPROUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENGAGEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED. SPECIFY DIP MATERIALS & A CONCRETE GRADE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41.6-49)
 - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION
- DEVELOPER SHALL PROVIDE 30 DAYS ADVANCE WRITTEN NOTICE TO OWNER FOR ANY WORK REQUIRED WITHIN AN EXISTING CITY OF RALEIGH UTILITY EASEMENT TRAVERSING PRIVATE PROPERTY
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE
- INSTALL 2" COPPER WATER SERVICE WITH METERS LOCATED AT ROW OR WITHIN A 2'x2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. *NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.*
- INSTALL 6" PVC SEWER SERVICES @ 1.00% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION
- GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT STEPHEN CALVERLEY AT (919) 996-2334 OR STEPHEN.CALVERLEY@RALEIGHNC.GOV FOR MORE INFORMATION
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GRAVITY COMPANIES
2629 ST. MARY'S STREET
RALEIGH, NC 27609

ADMINISTRATIVE SITE REVIEW (ASR-0079-2023)
ROCK QUARRY MULTI-FAMILY
5504 ROCK QUARRY ROAD | RALEIGH, NC. 27610 | WAKE

PRELIMINARY
NOT APPROVED
FOR CONSTRUCTION

0 25 50
SCALE: 1 inch = 50 ft.

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WR JOB NUMBER 23-0232
DRN: WR DGN: WR CKD: WR

**NO UTILITIES
PROPOSED ON THIS
PORTION OF THE SITE**

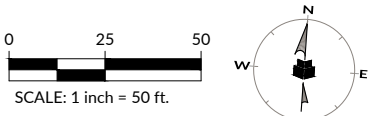
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	SEWER SERVICE
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WR JOB NUMBER: 23-0232
 DRN: WR DGN: WR CKD: WR

UTILITY PLAN AREA II

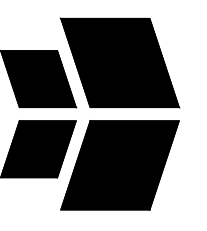
C3.02

ADMINISTRATIVE SITE REVIEW (ASR-0079-2023)

**ROCK QUARRY
MULTI-FAMILY**

5504 ROCK QUARRY ROAD | RALEIGH, NC, 27610 | WAKE

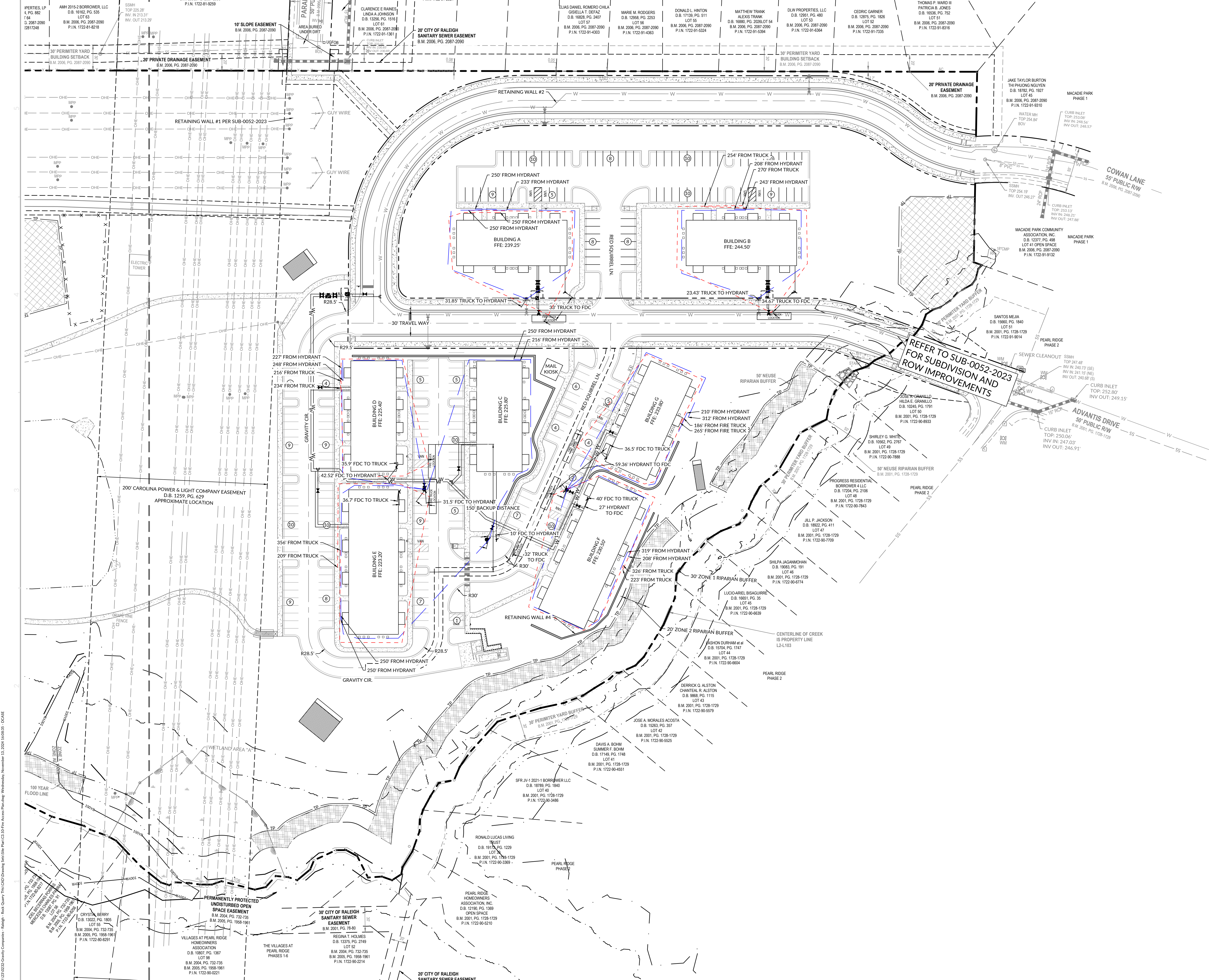
GRAVITY COMPANIES
 2629 ST. MARY'S STREET
 RALEIGH, NC 27609



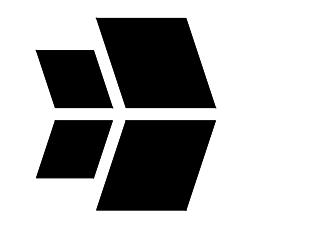
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J:\2023\2326 - Gravity Companies - Raleigh - Rock Quarry - Title\CD Drawing - C3.02 - Utility Plan Area II.dwg, November 13, 2024, 10:07:27 - DCS/E



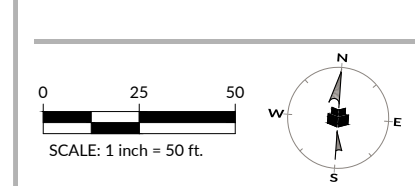
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ADMINISTRATIVE SITE REVIEW (ASR-0079-2023)
**ROCK QUARRY
 MULTI-FAMILY**

5504 ROCK QUARRY ROAD | RALEIGH, NC. 27610 | WAKE

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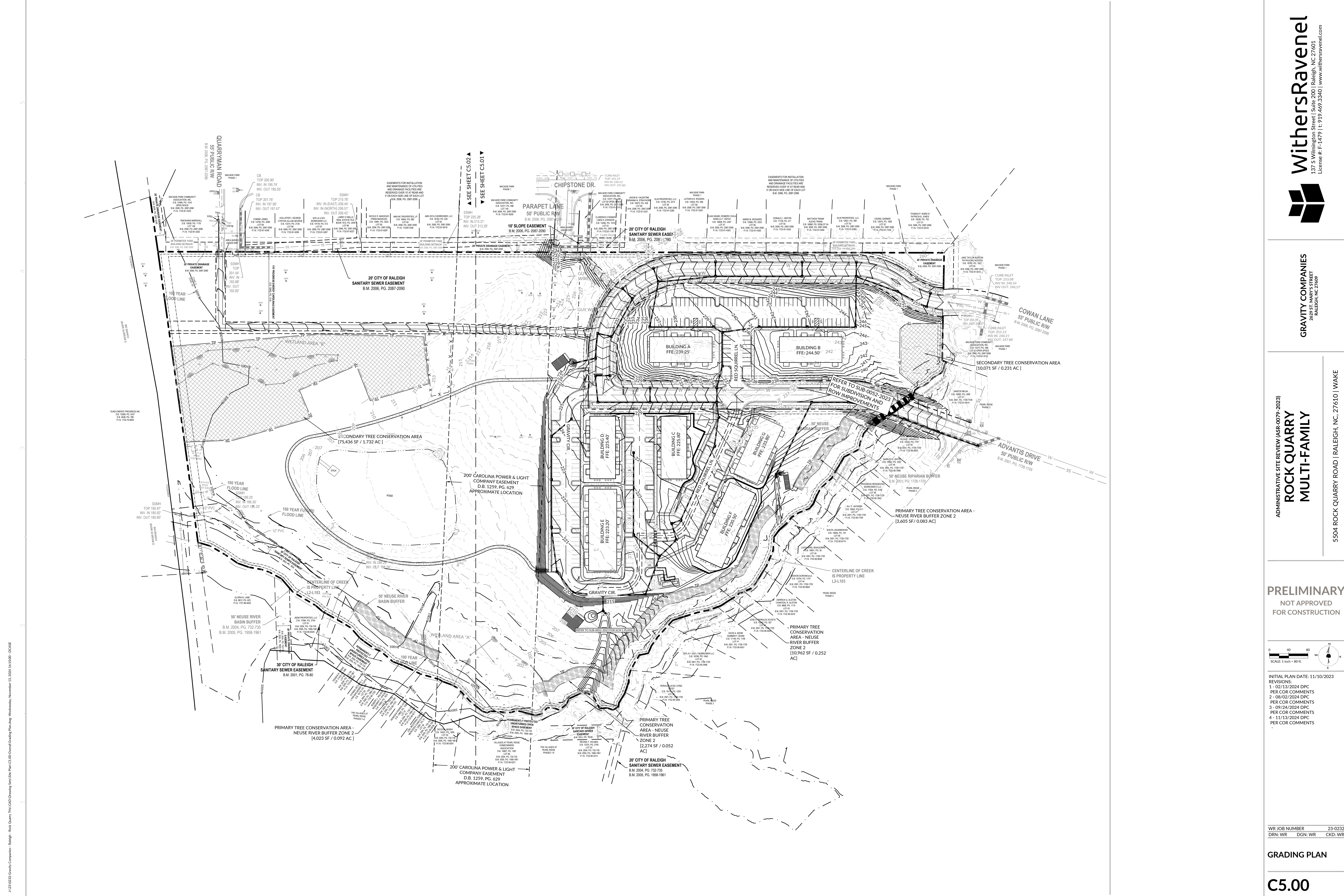


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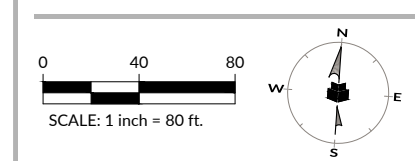
WR JOB NUMBER: 23-0232
 DRN: WR DGN: WR CKD: WR

FIRE ACCESS PLAN

C3.10



PRELIMINARY
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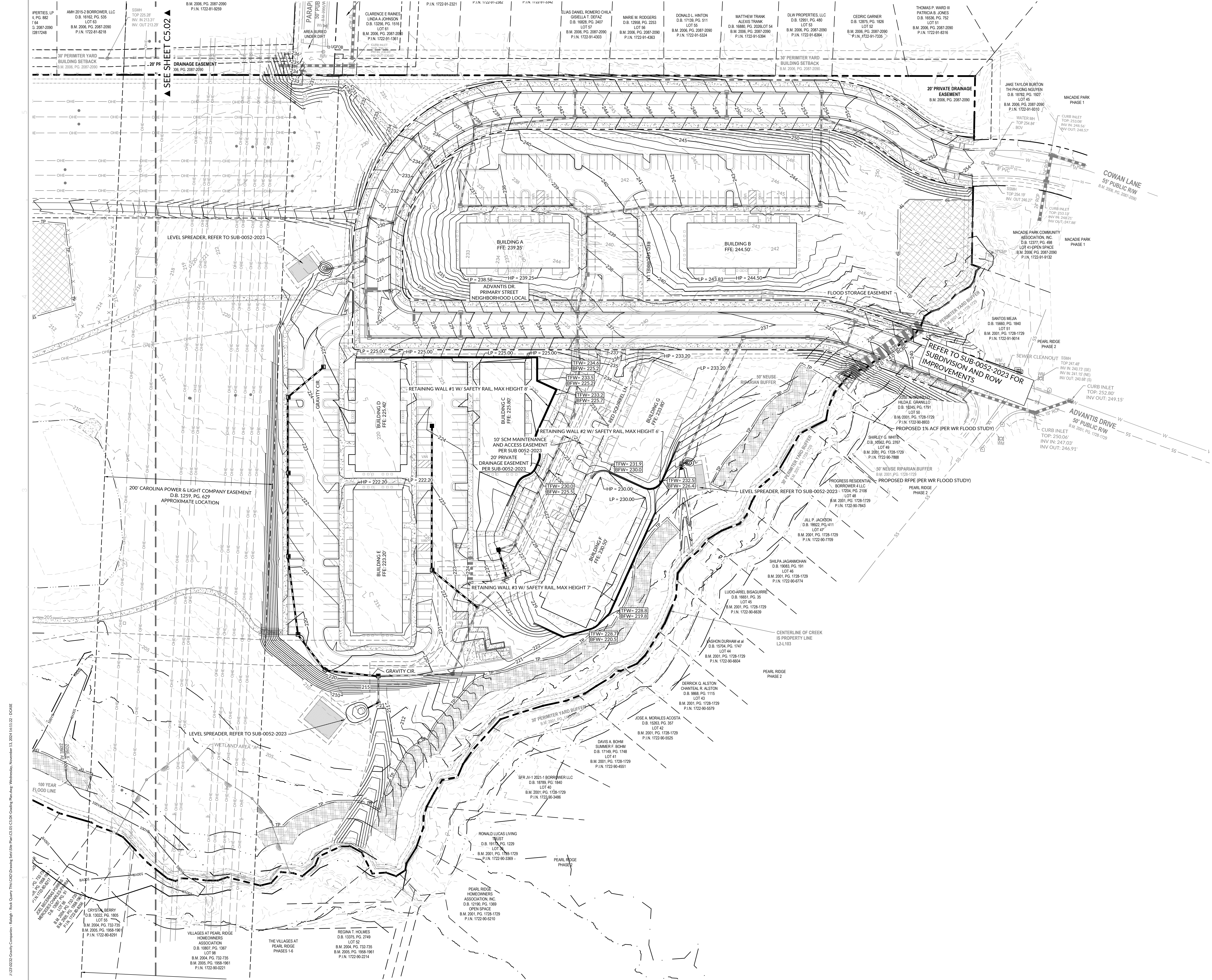
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GRADING PLAN

C5.00

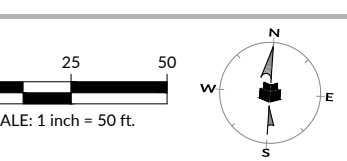
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AVERAGE GRADE CALCULATIONS:

BUILDING A:	(239.25' + 238.58') / 2 = 238.92'
BUILDING B:	(244.50' + 243.83') / 2 = 244.17'
BUILDING C:	(225.00' + 225.00') / 2 = 225.00'
BUILDING D:	(225.00' + 225.00') / 2 = 225.00'
BUILDING E:	(222.20' + 222.20') / 2 = 222.20'
BUILDING F:	(230.00' + 230.00') / 2 = 230.00'
BUILDING G:	(233.20' + 233.20') / 2 = 233.20'

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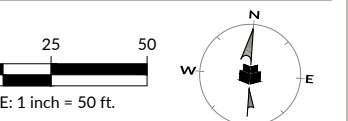
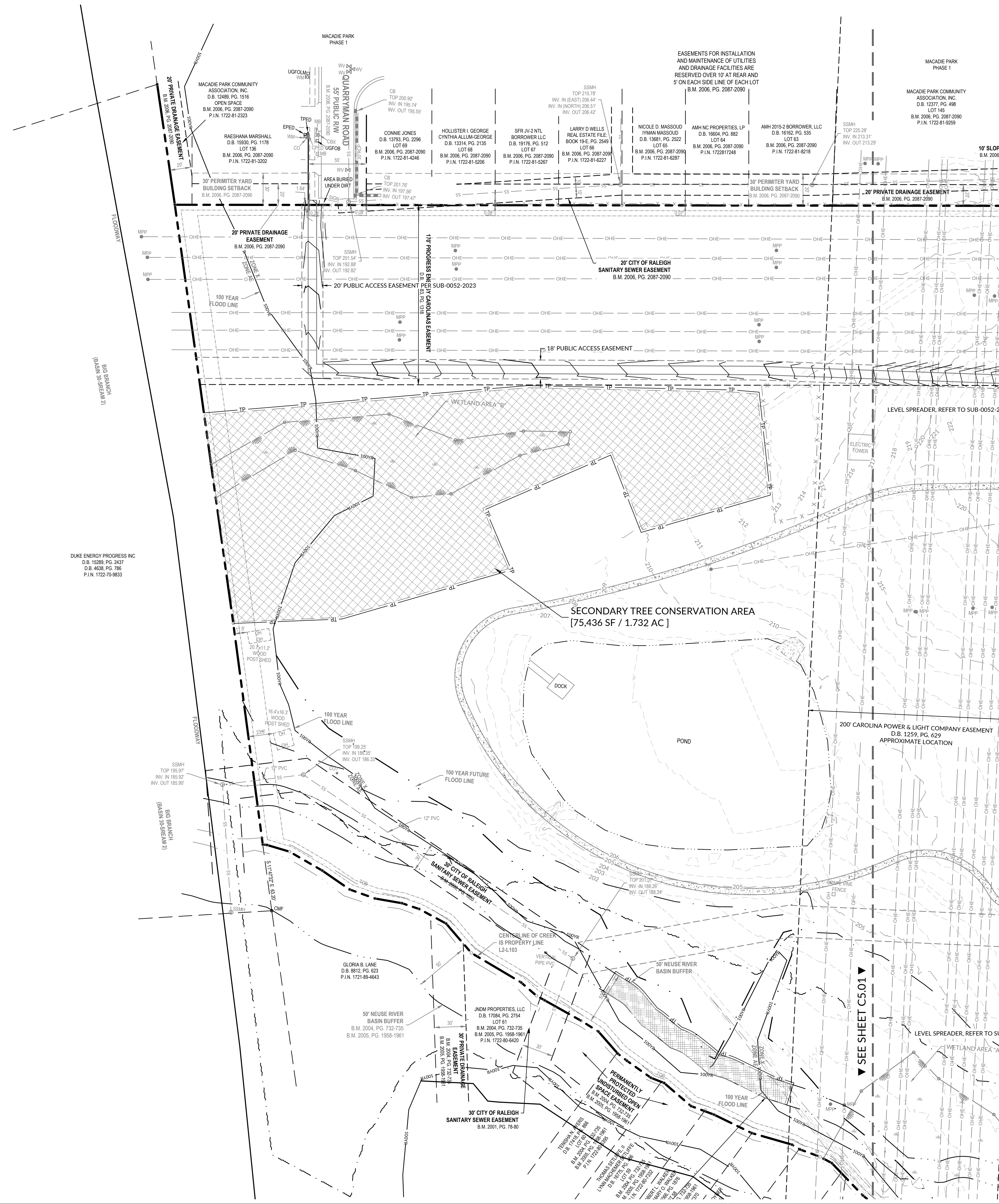
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GRADING PLAN AREA 1

C5.01

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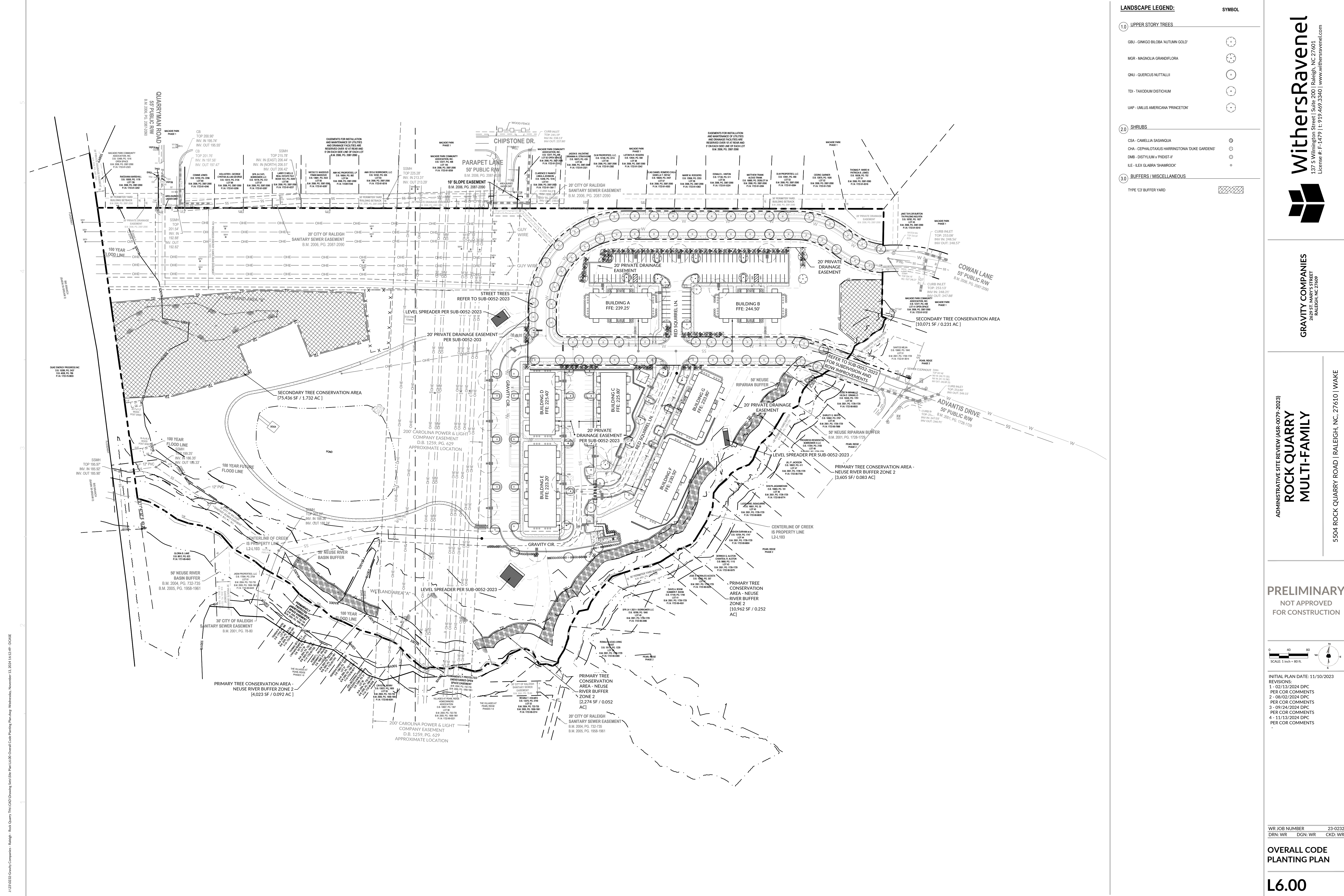


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**GRADING PLAN
 AREA II**

C5.02



LANDSCAPE LEGEND:

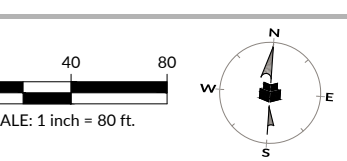
SYMBOL	DESCRIPTION
1.0	UPPER STORY TREES
GBU - GINKGO BILOBA 'AUTUMN GOLD'	
MGR - MAGNOLIA GRANDIFLORA	
QNU - QUERCUS NUTTALLII	
TDI - TAXODIUM DISTICHUM	
LAP - LIMNUS AMERICANA 'PRINCETON'	
2.0	SHRUBS
CSA - CAMELLIA SASANKUA	
CHA - CEPHALOTHAXUS HARRINGTONIA DUKE GARDENS'	
DNB - DISTYLIA X 'PIDIST-II'	
ILE - ILEX GLABRA 'SHAMROCK'	
3.0	BUFFERS / MISCELLANEOUS
TYPE 'C3' BUFFER YARD	

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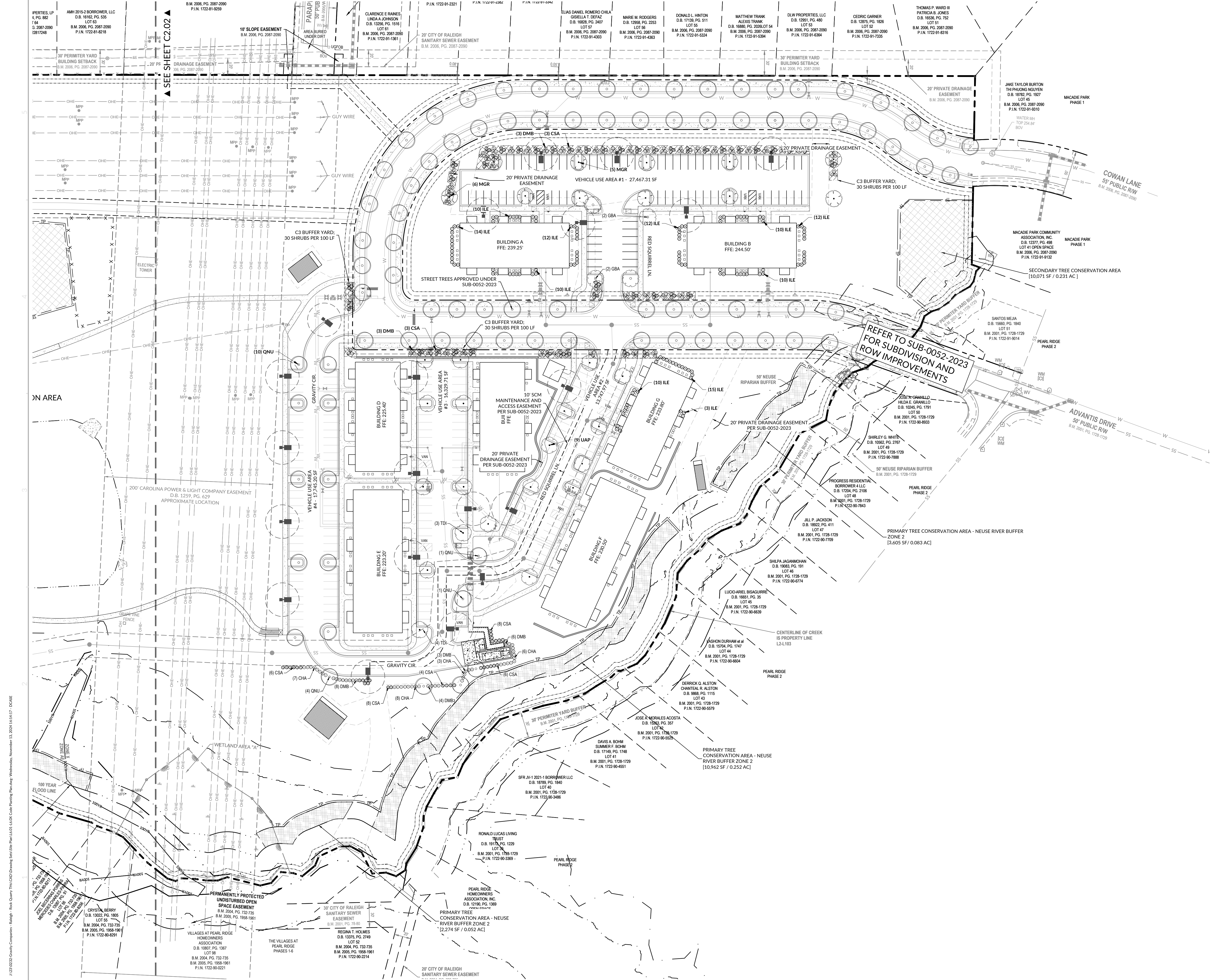
OVERALL CODE PLANTING PLAN

L6.00

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EST. 1983

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LANDSCAPE LEGEND:

SYMBOL	DESCRIPTION
(10) UPPER STORY TREES	<ul style="list-style-type: none"> GRU - GINKGO BILOBA 'AUTUMN GOLD' MGR - MAGNOLIA GRANDIFLORA QNU - QUERCUS NUTTALLII TDI - TAXODIUM DISTICHUM UAP - UNILUS AMERICANA PRINCETON
(20) SHRUBS	<ul style="list-style-type: none"> CSA - CAMELIA SASANQUA CHA - CEPHALOTAXUS HARRINGTONIA DUKE GARDENS' DMB - DISTYLUM x 'PIDIST' II ILE - ILEX GLABRA 'SHAMROCK'
(30) BUFFERS / MISCELLANEOUS	<ul style="list-style-type: none"> TYPE 'C3' BUFFER YARD

LANDSCAPE CALCULATIONS

VEHICLE USE AREA TREE REQUIREMENTS

VEHICLE USE AREA #1

REQUIRED TREE COVERAGE = 1/100 SF OF LOT
 PARKING LOT AREA = 27487.31 SF / 2000 = 13.7
 PARKING LOT TREES REQUIRED = 14 TREES
 PARKING LOT TREES PROVIDED = 15 TREES

VEHICLE USE AREA #2

REQUIRED TREE COVERAGE = 1/100 SF OF LOT
 PARKING LOT AREA = 13747.57 SF / 2000 = 6.9
 PARKING LOT TREES REQUIRED = 7 TREES
 PARKING LOT TREES PROVIDED = 9 TREES

VEHICLE USE AREA #3

REQUIRED TREE COVERAGE = 1/100 SF OF LOT
 PARKING LOT AREA = 15287.11 SF / 2000 = 8.2
 PARKING LOT TREES REQUIRED = 9 TREES
 PARKING LOT TREES PROVIDED = 10 TREES

VEHICLE USE AREA #4

REQUIRED TREE COVERAGE = 1/100 SF OF LOT
 PARKING LOT AREA = 17742.57 SF / 2000 = 8.9
 PARKING LOT TREES REQUIRED = 9 TREES
 PARKING LOT TREES PROVIDED = 10 TREES

STREET TREE REQUIREMENTS

COWAN LANE

REQUIRED TREE COVERAGE = 1/100 FT OF ROADWAY
 STREET TREES REQUIRED = 852 LF / 40' = 21 TREES PER SIDE
 STREET TREES PROVIDED = 46 TREES

ADVANTIS DRIVE

REQUIRED TREE COVERAGE = 1/100 FT OF ROADWAY
 STREET TREES REQUIRED = 560 LF / 40' = 14 TREES PER SIDE
 STREET TREES PROVIDED = 28 TREES

WithersRavenel
 137 S. Wilmington Street, Suite 200 | Raleigh, NC 27601
 License #: F-1479 | T-919-469-3340 | www.withersravenel.com

GRAVITY COMPANIES
 2629 ST. MARY'S STREET
 RALEIGH, NC 27609

ADMINISTRATIVE SITE REVIEW (ASR-0079-2023)
ROCK QUARRY MULTI-FAMILY

5504 ROCK QUARRY ROAD | RALEIGH, NC 27610 | WAKE

PRELIMINARY
 NOT APPROVED FOR CONSTRUCTION

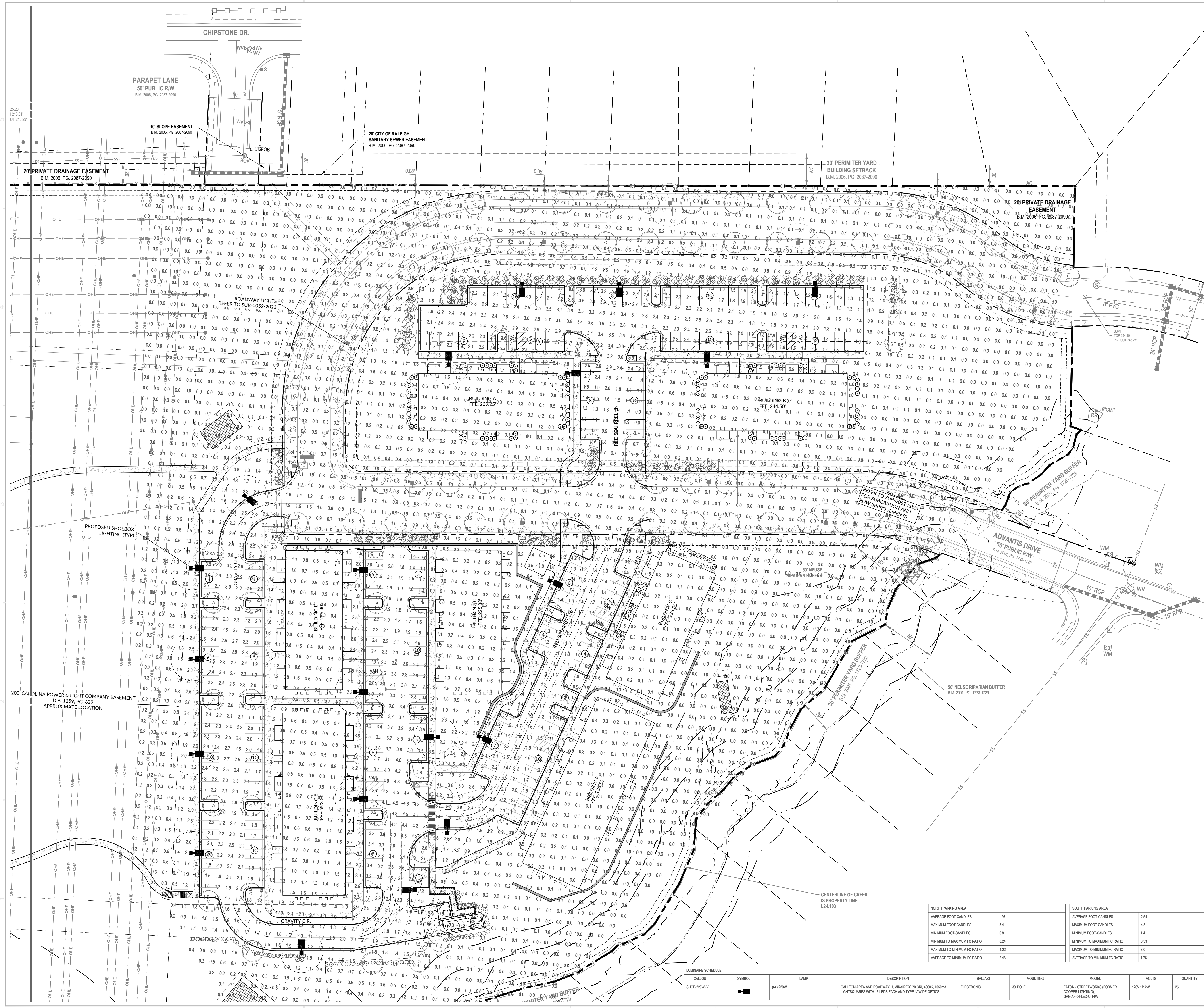
0 25 50
 SCALE: 1 inch = 50 ft.

INITIAL PLAN DATE: 11/10/2023
 REVISIONS:
 1 - 02/13/2024 DPC PER COR COMMENTS
 2 - 08/02/2024 DPC PER COR COMMENTS
 3 - 09/24/2024 DPC PER COR COMMENTS
 4 - 11/13/2024 DPC PER COR COMMENTS

WR JOB NUMBER: 23-0232
 DRN: WR DGN: WR CKD: WR

CODE PLANTING PLAN AREA I

L6.01



Outdoor Lighting
Shoobox LED

The energy efficient Shoobox LED provides excellent, contemporary style with excellent beam lighting effect that is perfect for streets, parking lots, commercial buildings and residential applications. The Shoobox LED provides excellent beam lighting effect with a controllable light pattern that allows you to adjust the beam width and height as you see fit. Available in black, white, and bronze. Price per foot-candle per year.

LED Light Fixture (Shoobox) 120V 100watts
Mounting height: 10ft
Beam: 120°
Color: White
Finish: Powder Coat
Material: Aluminum
Price: \$120.00 (100watts only) 100watts per foot-candle per year

Photo available: Mounting height: Color:
Mounting height: Beam: Finish:
Material: Price:
Material: Price:
Material: Price:

Photo available: Mounting height: Color:
Mounting height: Beam: Finish:
Material: Price:
Material: Price:
Material: Price:

Features: Benefits:
Energy efficient LED technology: Reduces energy consumption and lowers operating costs.
Adjustable beam width: Allows for precise lighting control and reduces light spillage.
Durable construction: Resists weather and vandalism for long-term performance.
Easy installation: Simple design allows for quick and easy installation.
Wide range of options: Available in multiple colors and finishes to match your aesthetic.
Backed by 5-year warranty: Ensures long-term reliability and peace of mind.

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0 20 40
SCALE: 1 inch = 40 ft.

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LIGHTING PLAN

SL1.00

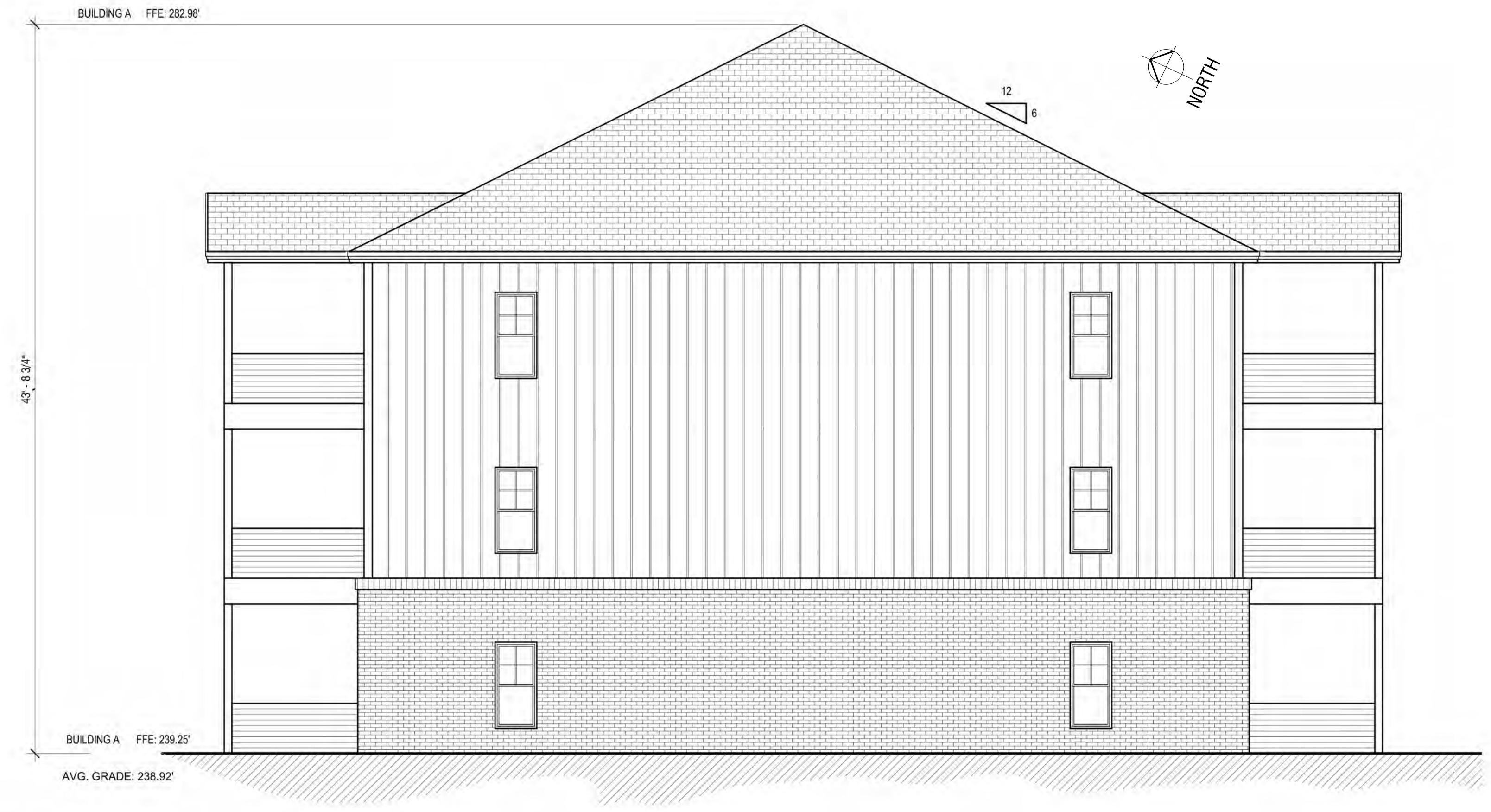
NORTH PARKING AREA		SOUTH PARKING AREA	
AVERAGE FOOT-CANDELS	1.97	AVERAGE FOOT-CANDELS	2.84
MAXIMUM FOOT-CANDELS	3.4	MAXIMUM FOOT-CANDELS	4.3
MINIMUM FOOT-CANDELS	0.8	MINIMUM FOOT-CANDELS	1.4
MINIMUM TO MAXIMUM FC RATIO	0.24	MINIMUM TO MAXIMUM FC RATIO	0.33
MAXIMUM TO MINIMUM FC RATIO	4.22	MAXIMUM TO MINIMUM FC RATIO	3.01
AVERAGE TO MINIMUM FC RATIO	2.43	AVERAGE TO MINIMUM FC RATIO	1.76

CALLOUT	SYMBOL	LAMP	DESCRIPTION	BALLAST	MOUNTING	MODEL	VOLTS	QUANTITY
SHOE-220W-N	■	(84) 220W	GALLEN AREA AND ROADWAY LUMINAIR® P/CR 4000K 100WVA LIGHTSQUARES WITH 16 LEDS EACH AND TYPE N/WIDE OPTICS	ELECTRONIC	30' POLE	EATON - STREETWORKS (FORMER COOPER LIGHTING), GAN-F4-LED-TW	120V 1P 2W	25

J:\2023\2024 Gravity Companies - Raleigh - Rock Quarry Multi-Family\Drawings\Site\Site Plans\03_LDC_Overall Lighting Plan.dwg - Wednesday, November 13, 2025 10:15:02 - DGCME



1 FRONT ELEVATION
 SCALE: 3/16" = 1'-0"
 BUILDING A: (239.25' + 238.58') / 2 = 238.92'



2 RIGHT ELEVATION
 SCALE: 3/16" = 1'-0"
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GRAVITY ROCK 1-BEDROOM UNITS
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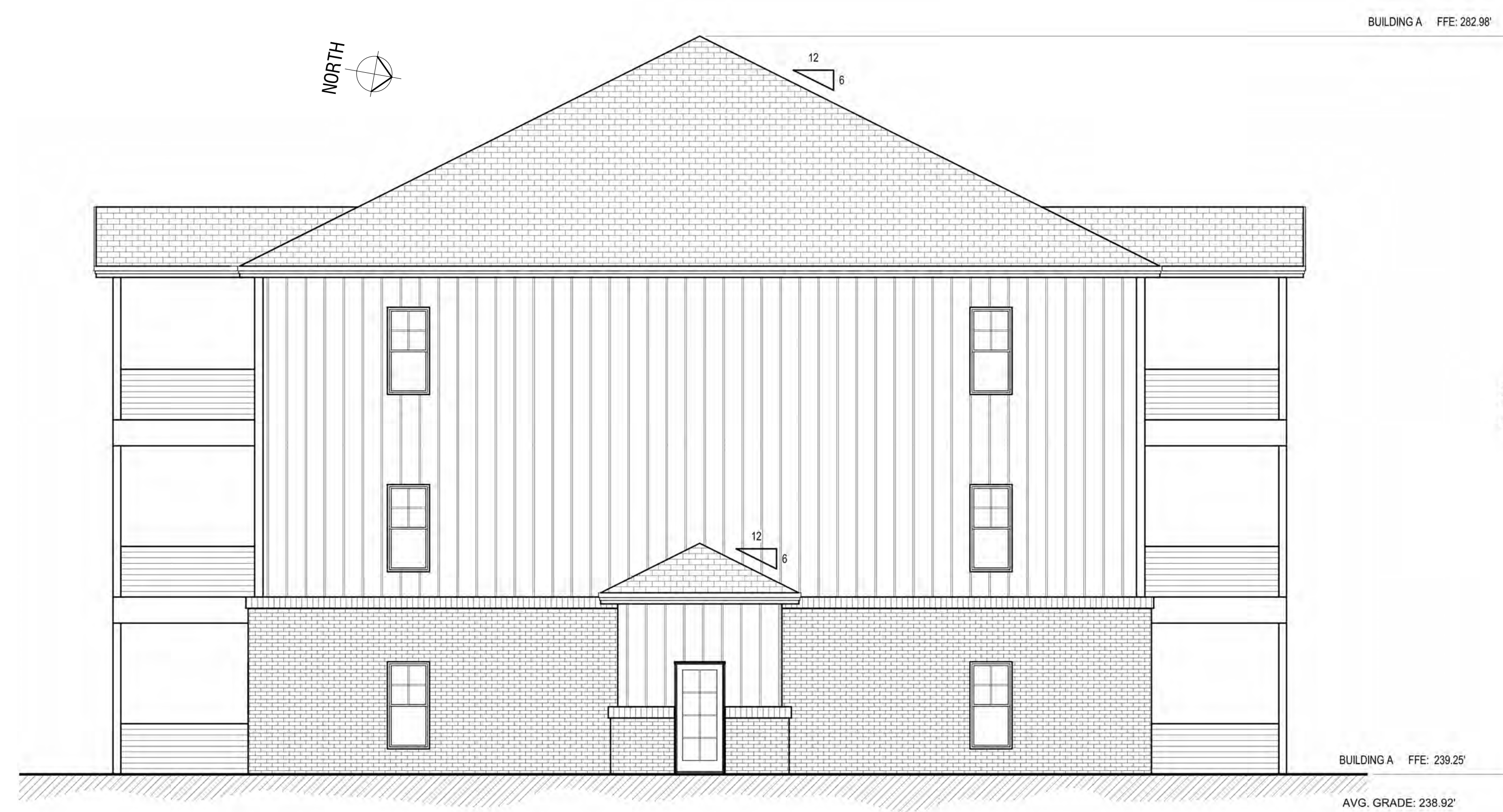
FRONT / RIGHT ELEVATIONS

SHEET NUMBER

B4



1 REAR ELEVATION
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 BUILDING A: (239.25' + 238.58') / 2 = 238.92'



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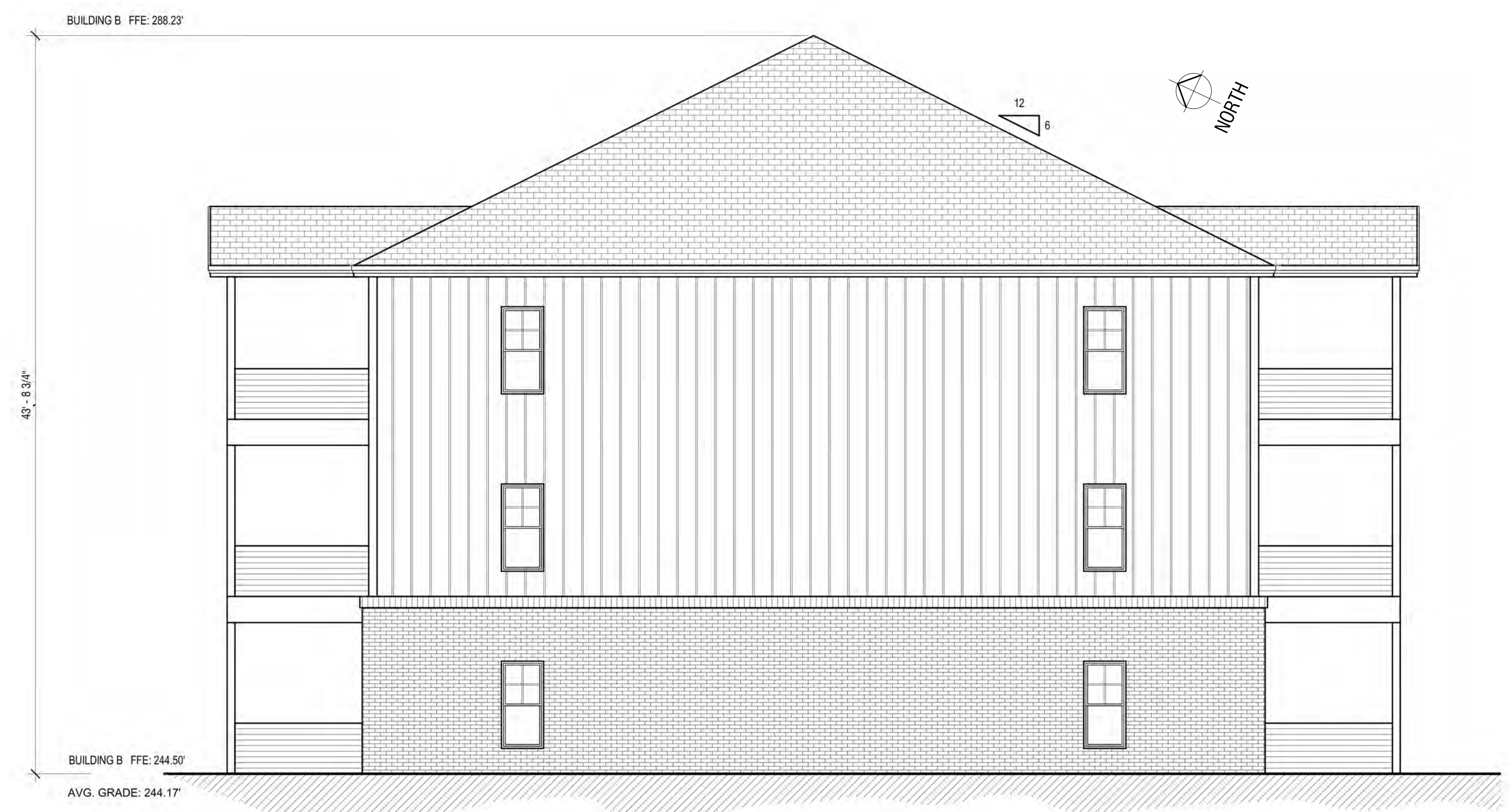
REAR / LEFT ELEVATIONS

SHEET NUMBER

B5



1 FRONT ELEVATION
 SCALE: 3/16" = 1'-0"
 BUILDING B: (244.50' + 243.83') / 2 = 244.17'



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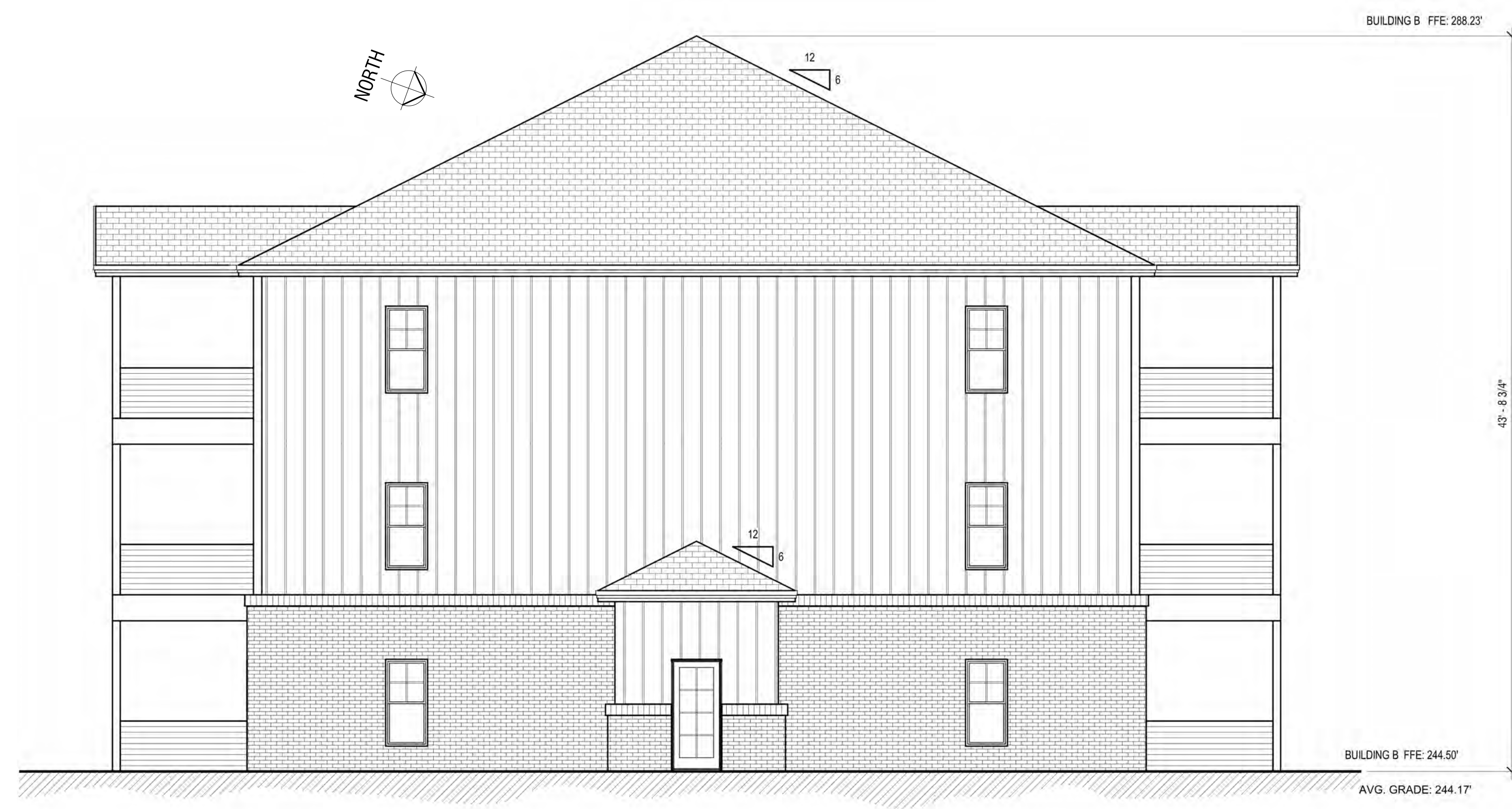
REV.	DATE	ISSUE TITLE

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 SHEET NUMBER

B4



1 REAR ELEVATION
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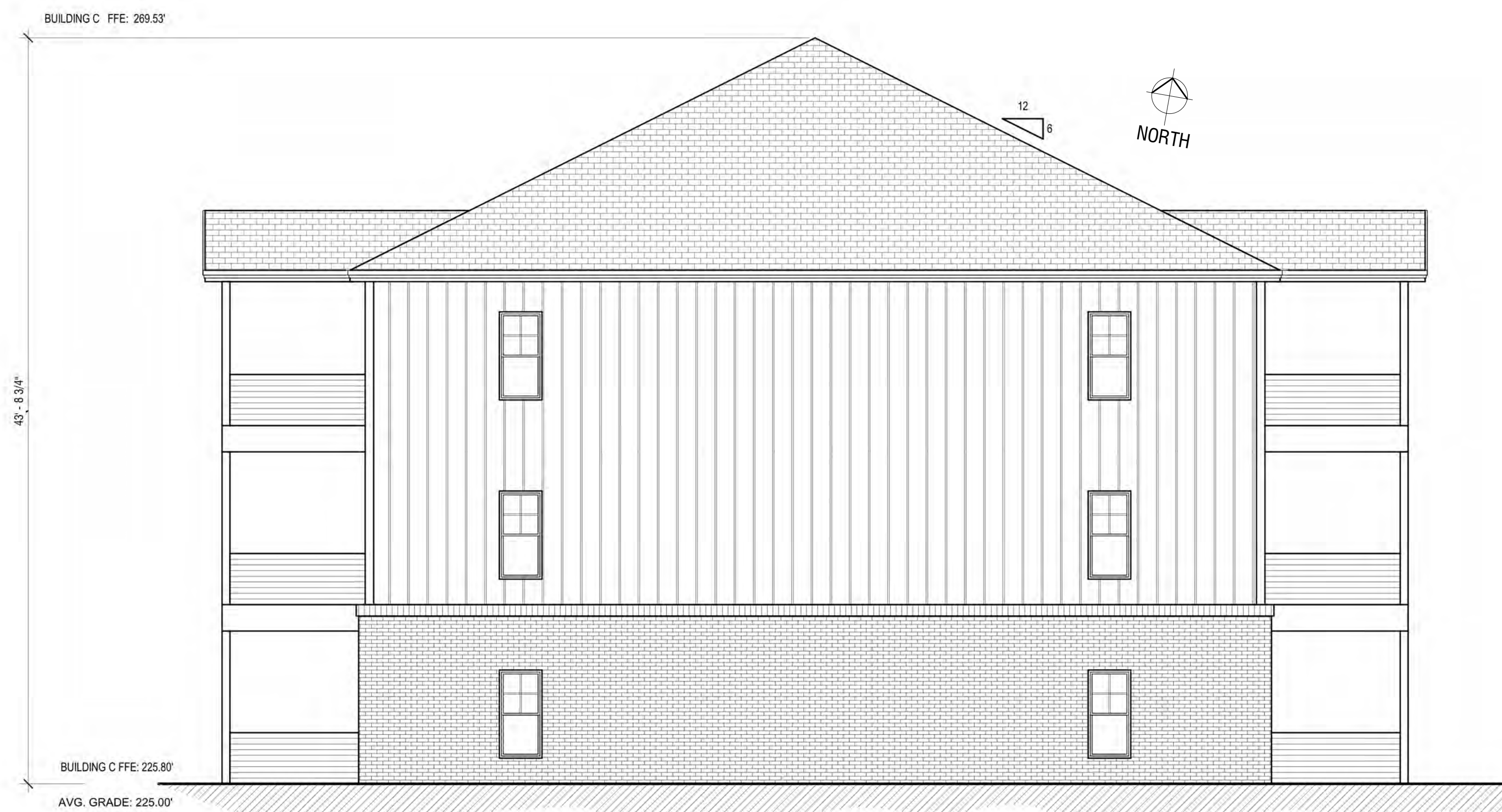
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B5



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BUILDING C: (225.00' + 225.00') / 2 = 225.00'



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GRAVITY ROCK 1-BEDROOM UNITS
 5504 Rock Quarry Road Raleigh, NC 27610

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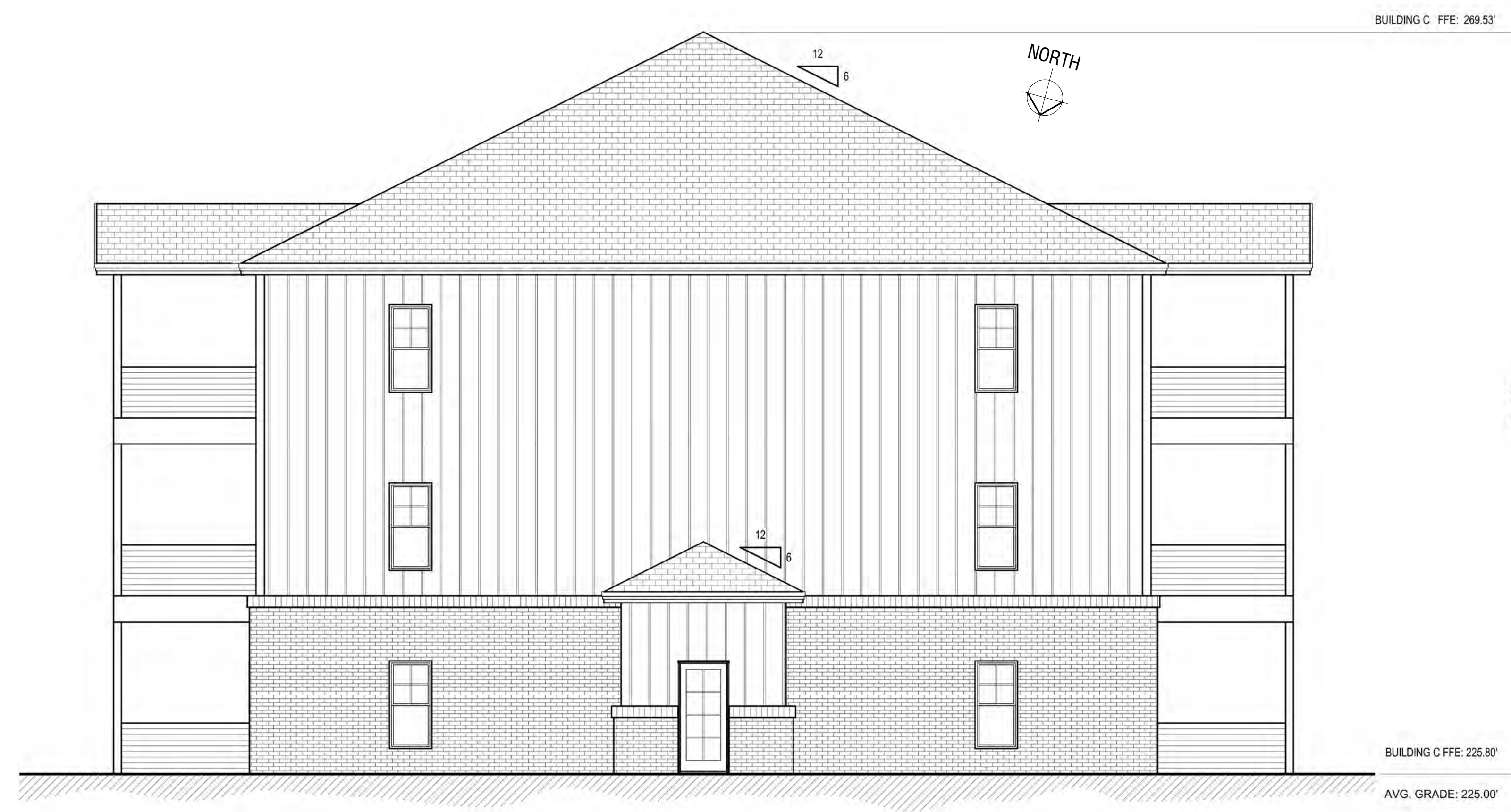
FRONT / RIGHT ELEVATIONS

B4



1 REAR ELEVATION
 SCALE: 3/16" = 1'-0"

BUILDING C: (225.00' + 225.00') / 2 = 225.00'



2 LEFT ELEVATION
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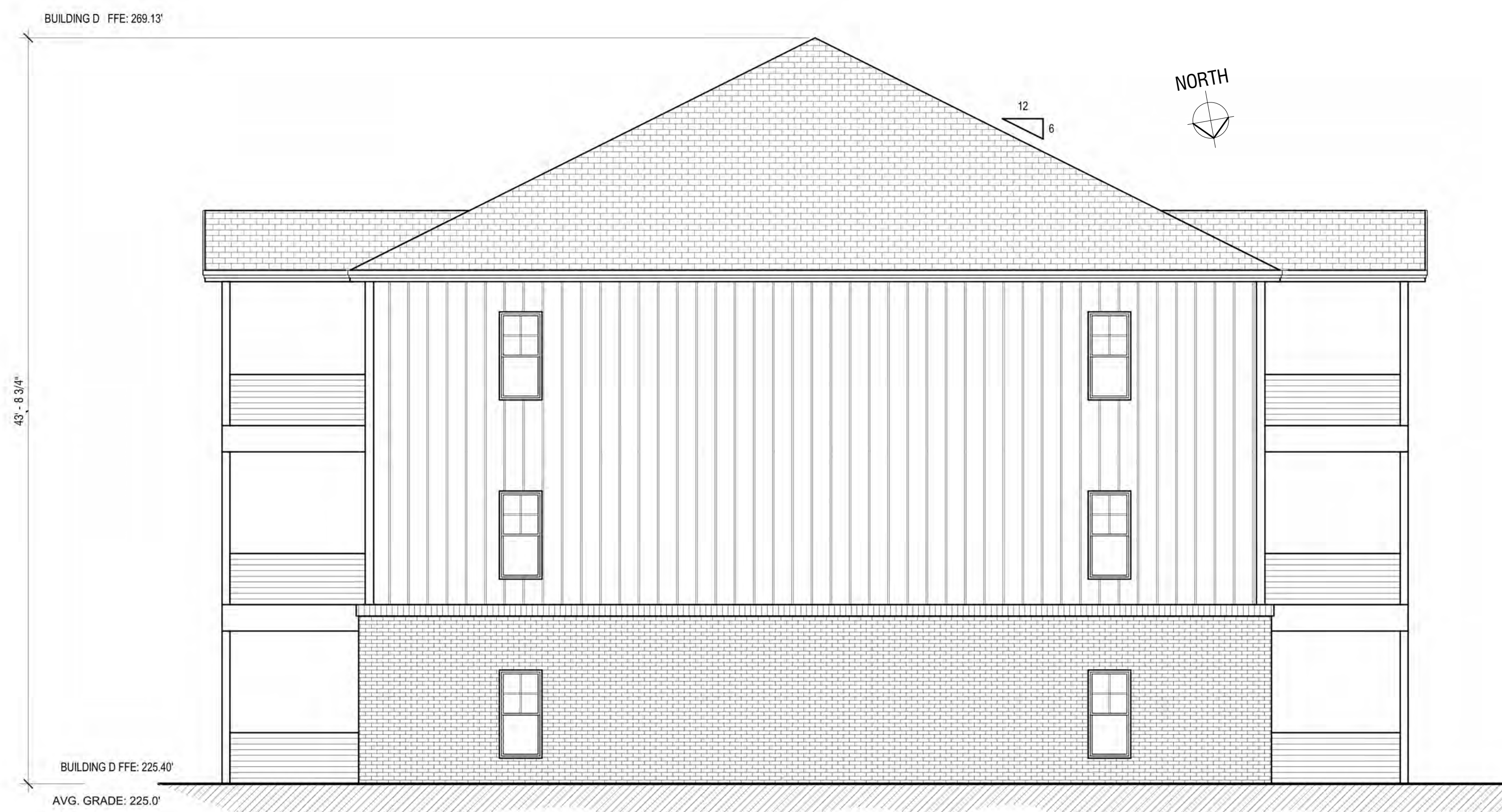
REAR / LEFT ELEVATIONS

SHEET NUMBER

B5



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 BUILDING D: (225.00' + 225.00') / 2 = 225.00'



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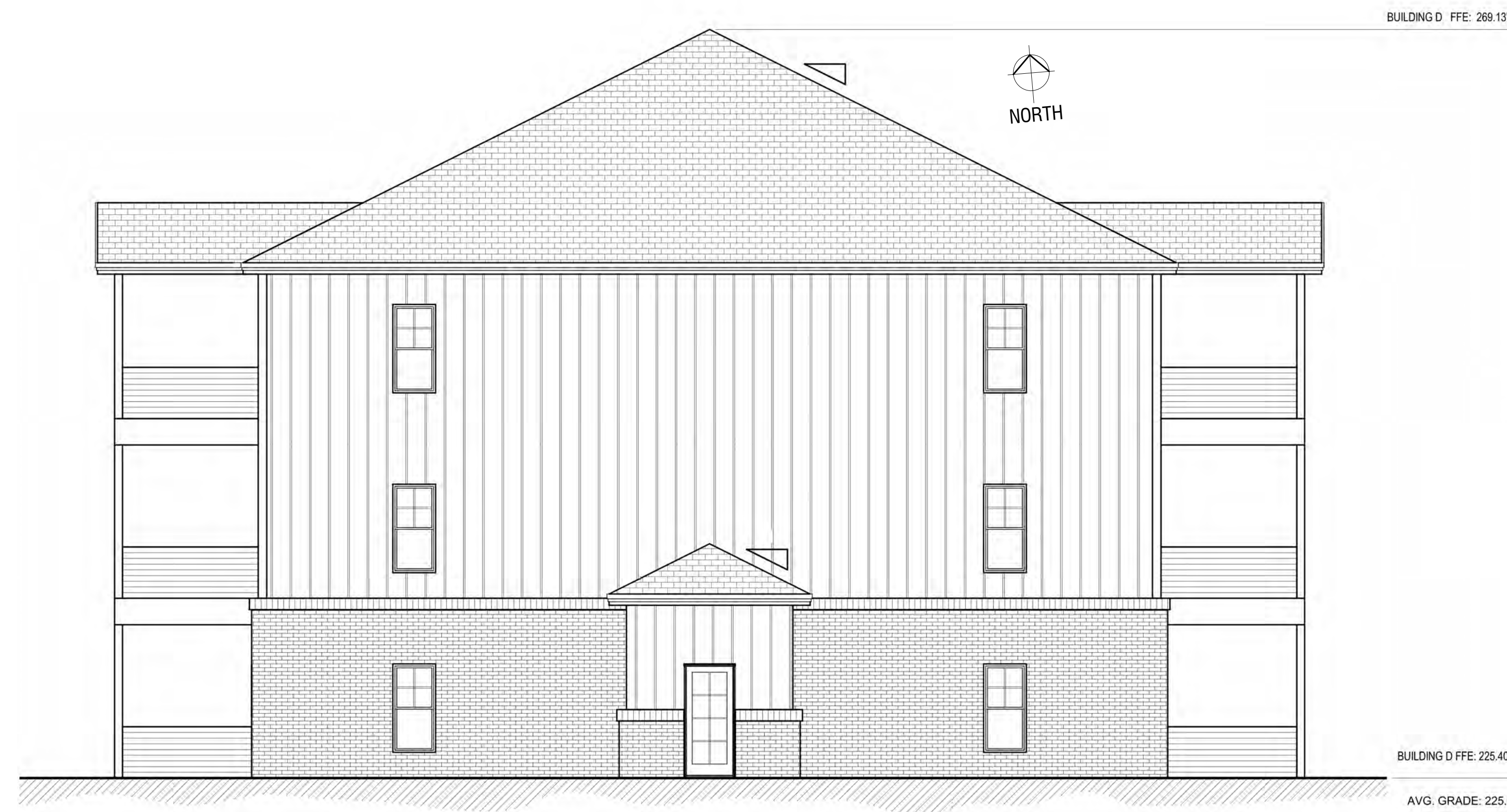
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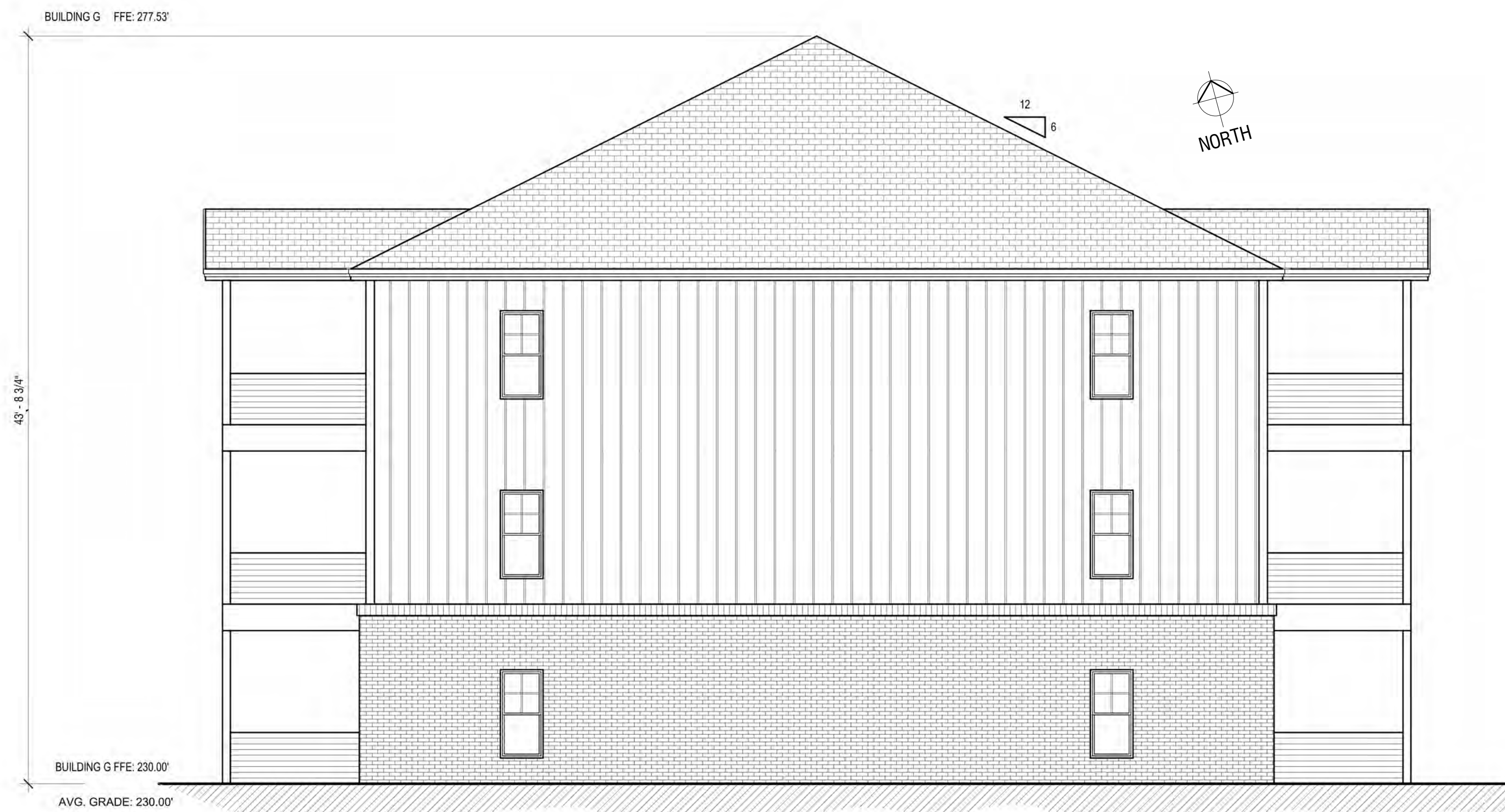
REAR / LEFT ELEVATIONS

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B5



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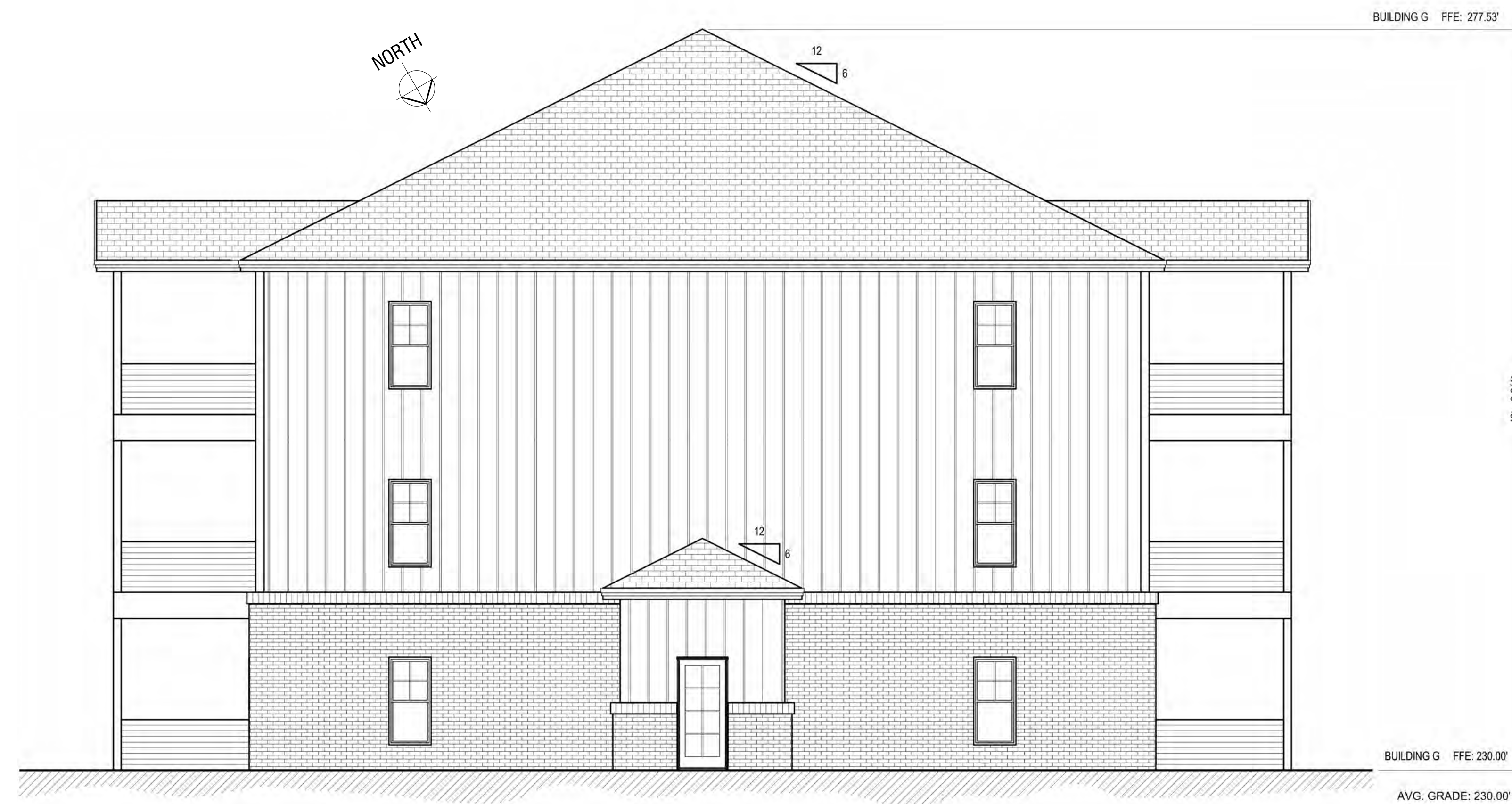
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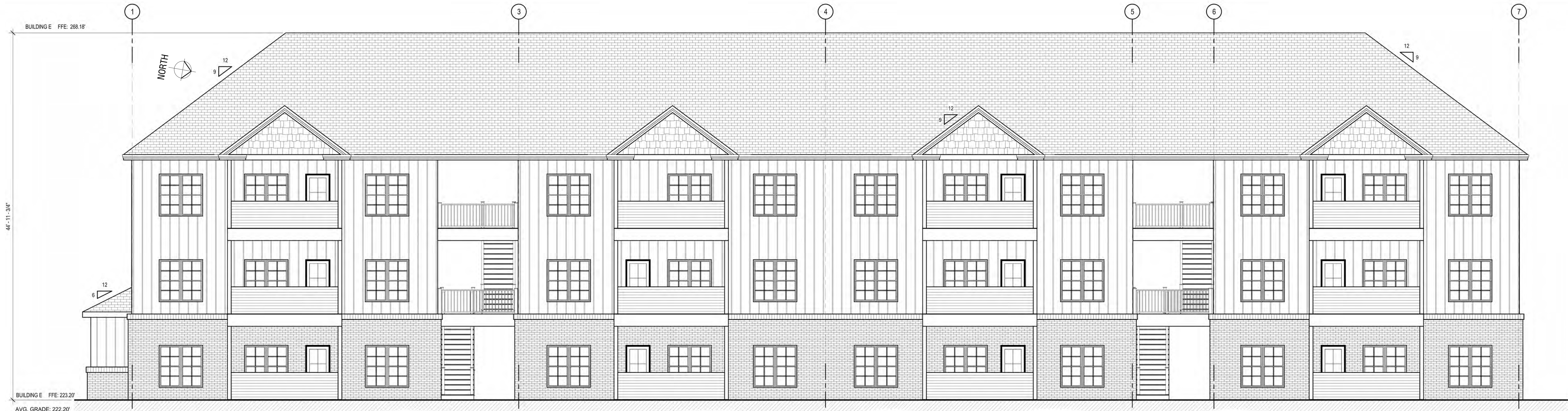
REV.	DATE	ISSUE TITLE

SHEET NAME

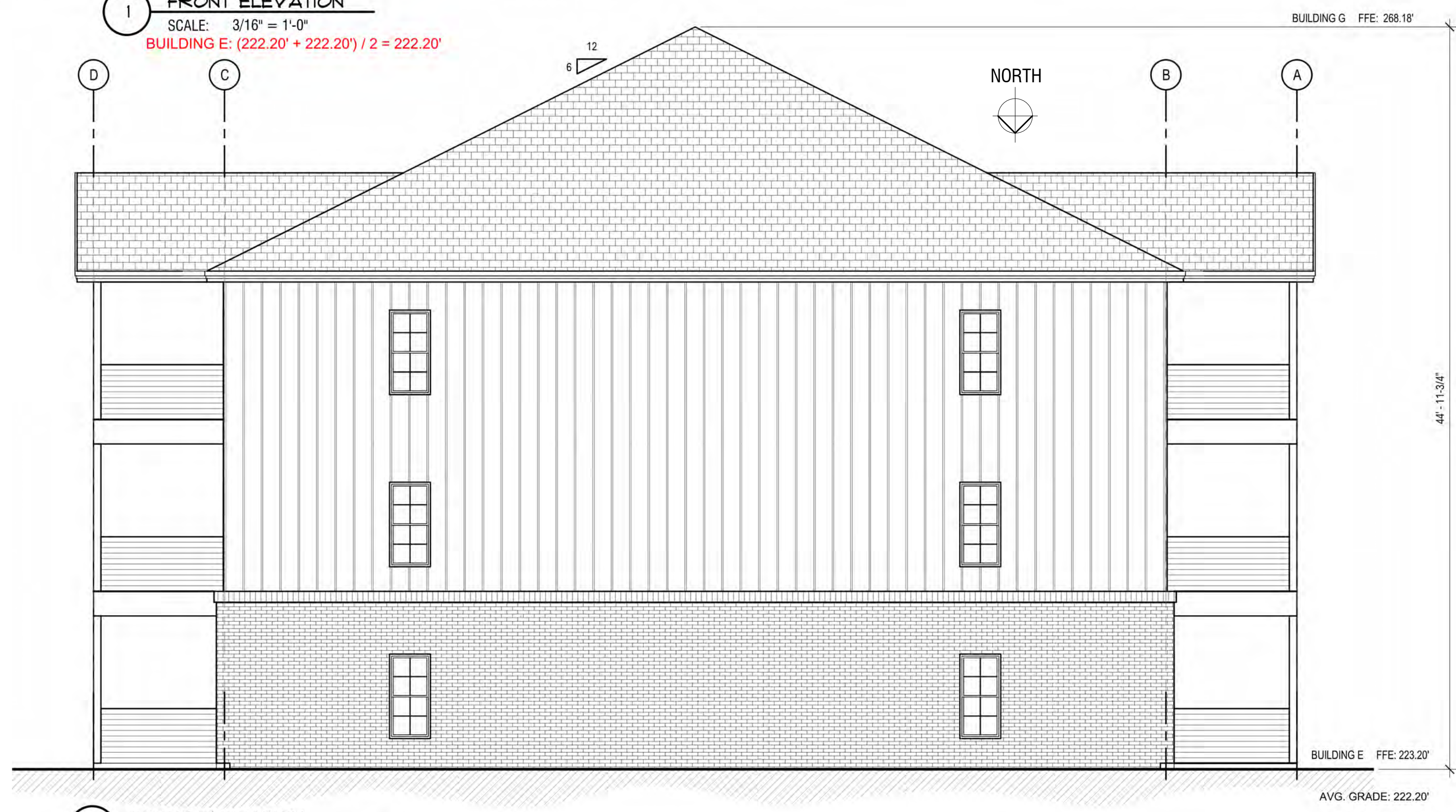
REAR / LEFT ELEVATIONS

SHEET NUMBER

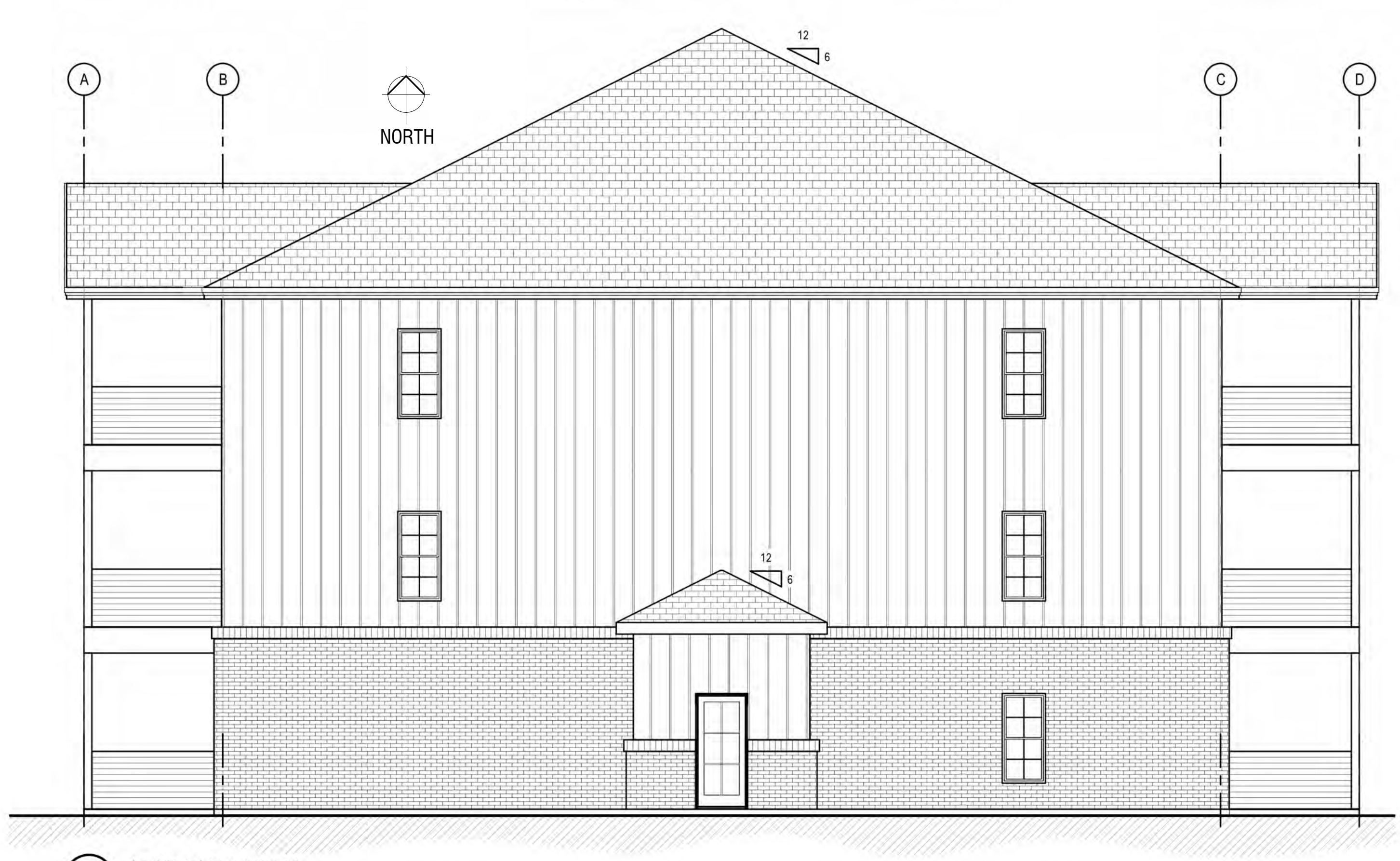
B5



1 FRONT ELEVATION
 SCALE: 3/16" = 1'-0"
 BUILDING E: (222.20' + 222.20') / 2 = 222.20'



2 RIGHT ELEVATION
 SCALE: 3/16" = 1'-0"
 BUILDING E: (222.20' + 222.20') / 2 = 222.20'



4 LEFT ELEVATION
 SCALE: 3/16" = 1'-0"
 BUILDING E: (222.20' + 222.20') / 2 = 222.20'



3 REAR ELEVATION
 SCALE: 3/16" = 1'-0"
 BUILDING E: (222.20' + 222.20') / 2 = 222.20'

REVISIONS		
NO.	DATE	BY

InFocus Engineering, PLLC
 2702 Forest Glen Drive
 Greenville, NC 27858
 (252) 412-8598

GRAVITY ROCK 2-BEDROOM UNITS

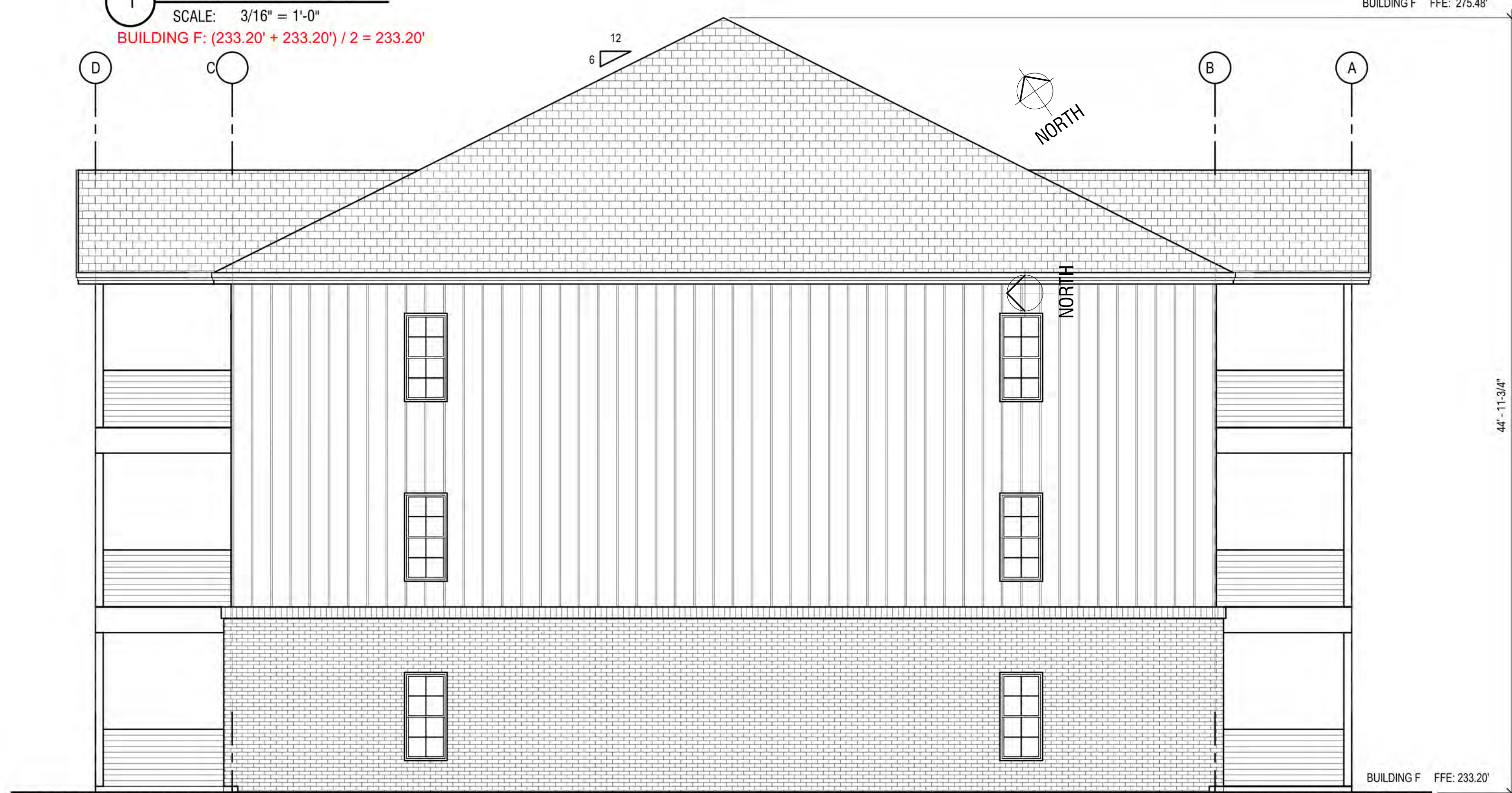
5504 Rock Quarry Road Raleigh, NC 27610

DATE	11/6/2023 10:58:48 PM
SCALE	
DRAWN BY	TC
SHEET INFO	EXTERIOR ELEVATIONS
SHEET NUMBER	

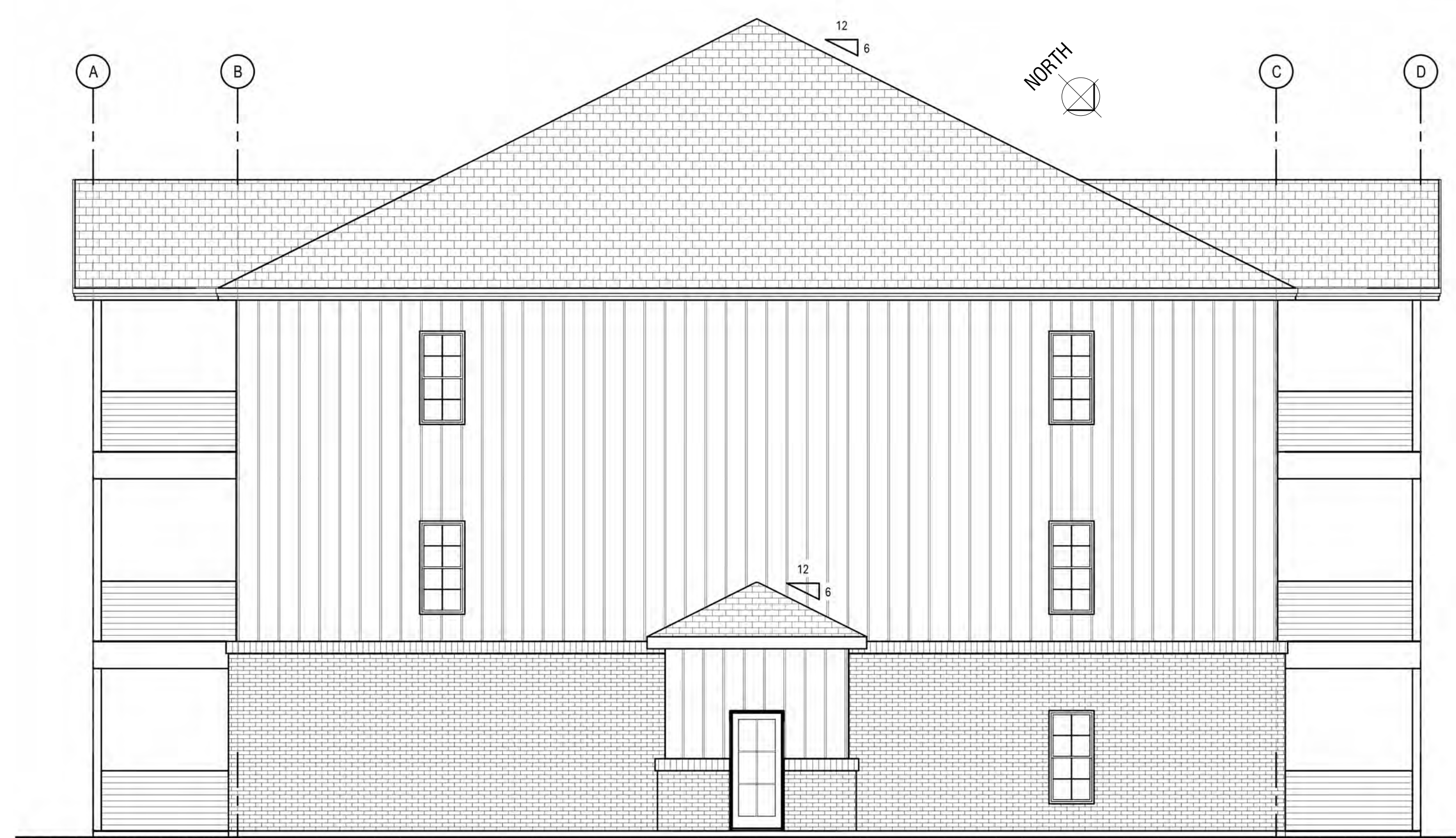
B4



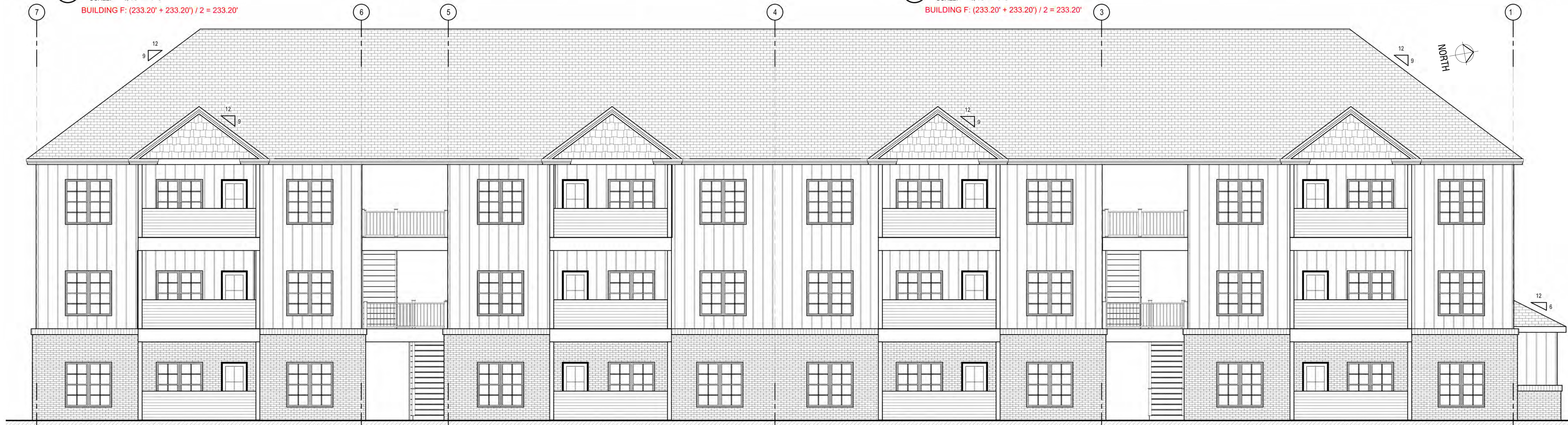
1 FRONT ELEVATION
SCALE: 3/16" = 1'-0"
BUILDING F: (233.20' + 233.20') / 2 = 233.20'



2 RIGHT ELEVATION
SCALE: 3/16" = 1'-0"
BUILDING F: (233.20' + 233.20') / 2 = 233.20'



4 LEFT ELEVATION
SCALE: 3/16" = 1'-0"
BUILDING F: (233.20' + 233.20') / 2 = 233.20'



3 REAR ELEVATION
SCALE: 3/16" = 1'-0"
BUILDING F: (233.20' + 233.20') / 2 = 233.20'

REVISIONS		
NO.	DATE	BY

Infocus Engineering, PLLC
2702 Forest Glen Drive
Greenville, NC 27858
(252) 412-8598

GRAVITY ROCK 2-BEDROOM UNITS

5504 Rock Quarry Road Raleigh, NC 27610

DATE 11/6/2023 11:01:06 PM

SCALE

DRAWN BY TC

SHEET INFO
EXTERIOR ELEVATIONS

SHEET NUMBER

B4