

Preliminary Subdivision Application

Site Review

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500

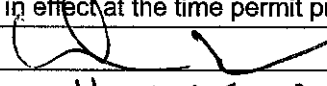


INSTRUCTIONS: This form is used when submitting a Preliminary Subdivision (UDO Section 10.2.5). Please check the appropriate review type and include the plan checklist document. Please email all documents and your preliminary subdivision plans to SiteReview@raleighnc.gov.

DEVELOPMENT OPTIONS (UDO Chapter 2)			
☒ Conventional Subdivision	☐ Compact Development	☐ Conservation Development	
☐ Cottage Court	☐ Flag lot	☐ Frequent Transit Development Option	
NOTE: Subdivisions may require City Council approval if in a Metro Park Overlay or Historic Overlay District			
GENERAL INFORMATION			
Scoping/sketch plan case number(s): <u>DIVIDE PROPERTY INTO 3 RESIDENTIAL LOTS</u>			
Development name (subject to approval): <u>SETH GOLD SUBDIVISION</u>			
Property Address(es): <u>2005 EVERGREEN AVE. RALEIGH, N.C. 27603</u>			
Recorded Deed PIN(s): <u>D.B. 19387, P. 936</u> <u>PIN: 0792-17-0061</u>			
Building type(s):	☒ Detached House	☐ Attached House	☐ Townhouse
	☐ General Building	☐ Mixed Use Building	☐ Civic Building
	☐ Open Lot	☐ Tiny House	
CURRENT PROPERTY OWNER/APPLICANT/DEVELOPER INFORMATION			
Current Property Owner(s) Names: <u>SETH GOLD</u>			
Company: <u>N/A</u>		Title: <u>N/A</u>	
Address: <u>1918 EVERGREEN AVE. RALEIGH, N.C. 27603</u>			
Phone #: <u>919-442-8257</u>		Email: <u>SETH.GOLD101@gmail.com</u>	
Applicant Name (If different from owner. See "who can apply" in instructions): <u>HERBERT PROCTOR PLLC</u>			
Relationship to owner: ☐ Lessee or contract purchaser ☒ Owner's authorized agent ☐ Easement holder			
Company: <u>STEWART-PROCTOR PLLC</u>		Address: <u>319 CHESAPEAKE RD. STE 106 RALEIGH, N.C. 27603</u>	
Phone #: <u>919-774-1855</u>		Email: <u>HPRO98@aol.com</u>	
NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.			
Developer Contact Names: <u>(SAME AS OWNER) SETH GOLD</u>			
Company: <u>N/A</u>		Title: <u>N/A</u>	
Address: <u>1918 EVERGREEN AVE. RALEIGH, N.C. 27603</u>			
Phone #: <u>919-442-8257</u>		Email: <u>SETH.GOLD101@gmail.com</u>	

DEVELOPMENT TYPE + SITE DATE TABLE – ZONING INFORMATION			
Gross site acreage: <u>41,982 S.F.</u> <u>0.964 ACS.</u>			
Zoning districts (if more than one, provide acreage of each): <u>R-4</u>			
Overlay district(s): <u>SRP00</u>	Inside City Limits? ☒ Yes ☐ No	Historic District/Landmark: <u>N/A</u> ☒	
Conditional Use District (CUD) Case # Z-	Board of Adjustment Case # BOA-	Design Alternate Case # DA-	

STORMWATER INFORMATION	
Imperious Area on Parcel(s): Existing (sf) <u>2,104</u> Proposed total (sf) <u>17,000</u>	Impervious Area for Compliance (includes right-of-way): Existing (sf) _____ Proposed total (sf) _____
NUMBER OF LOTS AND DENSITY	
# of Detached House Lots: <u>3</u>	# of Attached House Lots: <u>0</u> # of Townhouse Lots: <u>0</u>
# of Tiny House Lots: <u>0</u>	# of Open Lots: <u>0</u> # of Other Lots (Apartment, General, Mixed Use, Civic): <u>0</u>
Total # of Lots: <u>3</u>	Total # Dwelling Units: <u>3</u>
Proposed density for each zoning district (UDO 1.5.2.F): <u>3.11 UNITS/ACRE</u>	

SIGNATURE BLOCK	
Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement. By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that development approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f). The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance. The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b1)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.	
Signature: 	Date: <u>12.5-2022</u>
Printed Name: <u>HERBERT PROCTOR</u>	
Signature:	Date:
Printed Name:	

PRELIMINARY SUBDIVISION
PLAN FOR
SETH GOLD

CITY OF RALEIGH, NORTH CAROLINA

OWNER: SETH GOLD
LOT 4B, MARY G. JOHNSON PROPERTY
DEED BOOK 18387, PAGE 936
BOOK OF MAPS 1964, PAGE 184

SUB-0000-2022

SUB-0086-2021 inactive

-Planning comments

Preliminary Subdivision Application

Site Review
Planning and Development Customer Service Center • One Exchange Place, Suite 400 | Raleigh, NC 27601 | 919-996-2000



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DEVELOPMENT OPTIONS (UDO Chapter 2)		
☒ Conventional Subdivision	☐ Compact Development	☐ Conservation Development
☐ Cottage Court	☐ Flag lot	☐ Frequent Transit Development Option

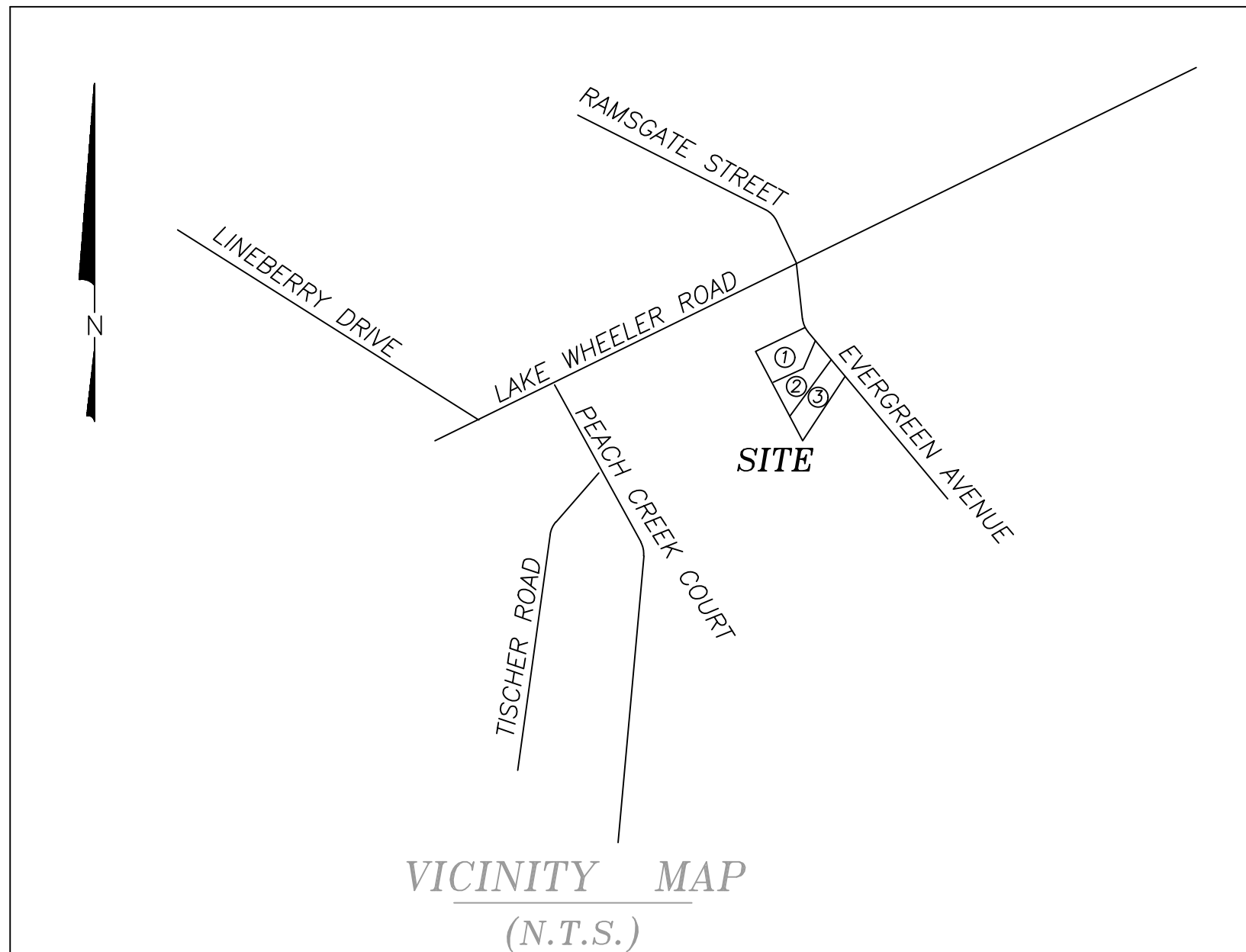
NOTE: Subdivisions may require City Council approval if in a Metro Park Overlay or Historic Overlay District

GENERAL INFORMATION	
Scoping/sketch plan case number(s): <u>01196 PROPERTY INTO 3 RESIDENTIAL LOTS</u>	
Development name (subject to approval): <u>SETH GOLD SUBDIVISION</u>	
Property Address(es): <u>2005 EVERGREEN AVE, RALEIGH, N.C. 27603</u>	
Recorded Deed PIN(s): <u>D.B. 19397 P. 936</u> <u>P.O. 0742-17-0061</u>	
Building type(s): ☒ Detached House ☐ Attached House ☐ Townhouse ☐ Apartment	
☐ General Building ☐ Mixed Use Building ☐ Civic Building ☐ Open Lot ☐ Tiny House	

CURRENT PROPERTY OWNER/APPLICANT/DEVELOPER INFORMATION	
Current Property Owner(s) Names: <u>SETH GOLD</u>	
Company: <u>N/A</u>	Title: <u>N/A</u>
Address: <u>1918 EVERGREEN AVE, RALEIGH, N.C. 27603</u>	
Phone #: <u>919-442-8257</u>	Email: <u>SETH.GOLD@GMAIL.COM</u>
Applicant Name (if different from owner. See "who can apply" in instructions): <u>STEWART-PROCTOR PLLC</u>	
Relationship to owner: ☐ Lessee or contract purchaser ☒ Owner's authorized agent ☐ Easement holder	
Company: <u>STEWART-PROCTOR PLLC</u>	Address: <u>319 CHAPANOKE RD, STE 100, RALEIGH, N.C. 27603</u>
Phone #: <u>919-779-1855</u>	Email: <u>LIZBAG@AOL.COM</u>
NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.	
Developer Contact Names: <u>SMC AS OWNER, SETH GOLD</u>	
Company: <u>N/A</u>	Title: <u>N/A</u>
Address: <u>1918 EVERGREEN AVE, RALEIGH, N.C. 27603</u>	
Phone #: <u>919-442-8257</u>	Email: <u>SETH.GOLD@GMAIL.COM</u>

DEVELOPMENT TYPE • SITE DATA TABLE - ZONING INFORMATION	
Gross site acreage: <u>41,982 S.F.</u> <u>0.964 ACS.</u>	
Zoning districts (if more than one, provide acreage of each): <u>R-4</u>	
Overlay district(s): <u>SRPOD</u>	Inside City Limits? ☒ Yes ☐ No
Conditional Use District (CUD) Case # <u>Z</u>	Board of Adjustment Case # <u>DA</u>
STORMWATER INFORMATION	
Imperious Area on Parcel(s): Existing (sf) <u>3,104</u> Proposed total (sf) <u>17,048</u>	Imperious Area for Compliance (includes right-of-way): Existing (sf) _____ Proposed total (sf) _____
NUMBER OF LOTS AND DENSITY	
# of Detached House Lots: <u>3</u>	# of Attached House Lots: <u>0</u>
# of Tiny House Lots: <u>0</u>	# of Open Lots: <u>0</u>
Total # of Lots: <u>3</u>	# of Other Lots (Apartment, General, Mixed Use, Civic): <u>0</u>
Proposed density for each zoning district (UDO 1.5.2.F): <u>3.11 units/acre</u>	

SIGNATURE BLOCK	
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The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.	
The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S.-143-755(b)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.	
Signature: <u>[Signature]</u>	Date: <u>12-5-2022</u>
Printed Name: <u>LISSA P. PROCTOR</u>	Date: _____
Signature: _____	Date: _____
Printed Name: _____	Date: _____



SITE DATA TABLE

CASE #	SUB-0000-2022
PIN#: (LOT 13)	0792-77-0061
ZONED:	R-4
OVERLAY DISTRICT	SPECIAL RESIDENTIAL PARKING OVERLAY (SRPOD)
TOTAL GROSS AREA:	41,982 S.F. (0.964 ACS.)
TOTAL R/W DEDICATED:	0
TOTAL LOTS PROPOSED:	3 SINGLE FAMILY
AVERAGE LOT SIZE:	0.38 ACRES
MINIMUM LOT SIZE:	0.23 ACRES
MINIMUM WIDTH:	65'
MAXIMUM DENSITY: 4 UNITS PER ACRE	
DENSITY PROPOSED: 3 LOTS /0.964 ACS. = 3.11 UNITS/ACRE	
PROPOSED USE: RESIDENTIAL	
PROPOSED LAND USE: SINGLE FAMILY DETACHED	
LOTS ARE SUBJECT TO SRPOD REQUIREMENTS PER RALEIGH UDO SEC 5.6.1	
PROPERTY LIES WITHIN RALEIGH CITY LIMITS	
DESIGN STANDARDS (R4)	
LOT DIMENSIONS	
MINIMUM LOT AREA = 10,000 S.F.	
MINIMUM LOT WIDTH = 65'	
MINIMUM LOT WIDTH (CORNER LOT) = 60'	
MINIMUM LOT DEPTH = 100'	
MINIMUM LOT DENSITY = 4 U/A	
PRINCIPAL BUILDING SETBACKS	
MINIMUM FROM PRIMARY STREET = 20'	
MINIMUM FROM SIDE STREET = 20'	
MINIMUM FROM SIDE LOT LINE = 10'	
MINIMUM SUM OF SIDE SETBACKS = 20'	
MINIMUM FROM REAR LOT LINE = 30'	
MAXIMUM BUILDING HEIGHT = 40'	
NOTE: RESIDENTIAL INFILL RULES MAY APPLY (SEE SEC. 2.2.7)	
NOTE: THE CONTRACTOR /BUILDER AND PROPERTY OWNER IS RESPONSIBLE FOR COMPLIANCE WITH POTENTIAL INFILL REQUIREMENTS IN TERMS OF SETBACKS, DESIGN AND TC-5-2020.	
NOTE: EXISTING FENCES TO REMAIN	

NOTE: SITE WILL BE EXEMPT FROM THE BLOCK PERIMETER
REQUIREMENT PER UDO 8.3.2.A.2.b

THIS SUBDIVISION WILL CLAIM AN EXEMPTION TO ACTIVE STORMWATER
CONTROLS UNDER 9.2.2.A.2.b OF THE UDO AS THIS IS A SUBDIVISION LESS
THAN 1 ACRE IN CUMULATIVE SIZE

SITE IS LESS THAN 2 ACRES AND THEREFORE EXEMPT FROM TREE
CONSERVATION REQUIREMENTS, AS PER CITY OF RALEIGH UDO 9.1.2.

LOTS CREATED BY THIS SUBDIVISION WILL BE SUBJECT TO MAXIMUM
IMPERVIOUS LIMITATIONS AS DESCRIBED IN UDO 9.2.2.A.4 (AS AMENDED BY TC-2-16)

THIS PROPERTY _____ IS NOT _____ LOCATED IN A F.E.M.A.
100 YEAR FLOOD HAZARD AREA
REFERENCE: F.E.M.A. COMMUNITY PANEL NO. 3720079200J
MAY 2, 2006

PRELIMINARY PLAT
NOT FOR RECORDATION,
SALES, OR CONVEYANCES

INDEX TO PLANS

SHEET 1	COVER SHEET
SHEET 2	EXISTING CONDITIONS
SHEET 3	SUBDIVISION PLAN LANDSCAPE AND UTILITY

PROPERTY ADDRESS: 2005 EVERGREEN AVENUE

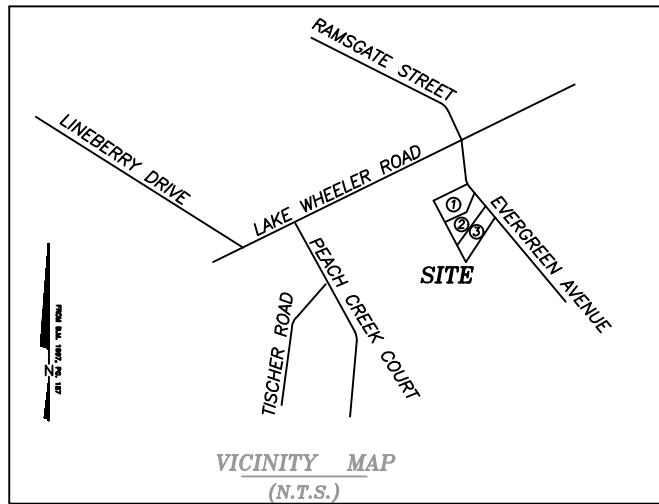
SHEET 1 OF 3

STEWART-PROCTOR, PLLC ENGINEERING and SURVEYING (FIRM LICENSE # P-0148) 319 CHAPANOKE ROAD SUITE 106 RALEIGH, NC 27603 TEL. 919 779-1855 FAX 919 779-1661			EXISTING CONDITIONS <i>SETH GOLD</i> BEING THE SUBDIVISION OF LOT 4B, BOOK OF MAPS 1964, PAGE 184 SOURCE OF TITLE: DEED BOOK 15992, PAGE 714	
DATE 12/07/2022	SURVEYED BY	JOB	SWIFT CREEK TOWNSHIP	NORTH CAROLINA
SCALE 1"=30'	DRAWN BY		WAKE COUNTY	OWNER
REVISIONS:		DWG. NO. EVERGREEN-PRELIM 30SCALE	ZONED R-4	P.I.N. 0792-77-0061

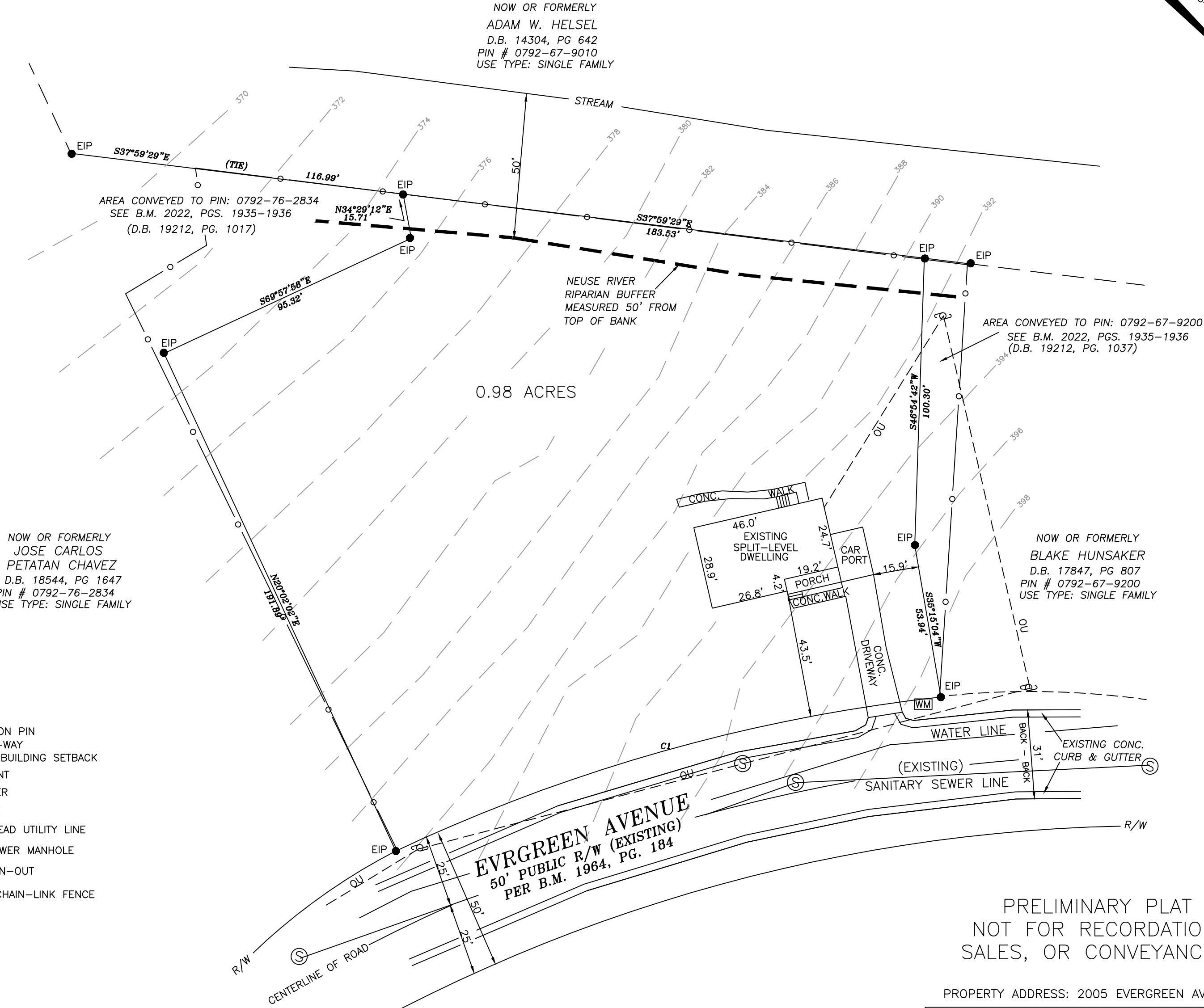
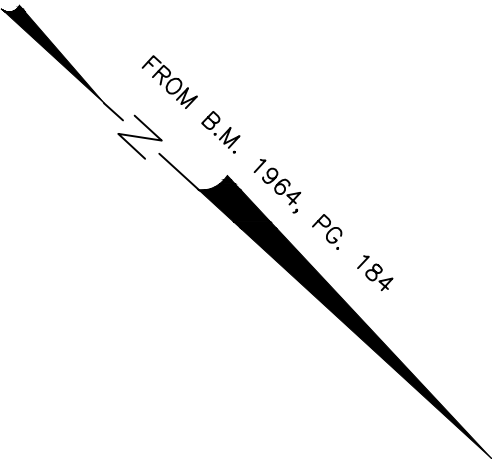
SITE ADDRESS:
2005 EVERGREEN AVENUE
RALEIGH, N.C.

TRANSACTION #

SUB-0000-2022



CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	CHD. BRG.	CHD.
C1	198.87	602.62	18°54'28"	S60°46'51"E	197.97



SITE DATA TABLE

CASE #	SUB-0000-2022
PIN#: (LOT 13)	0792-77-0061
ZONED:	R-4
OVERLAY DISTRICT	SPECIAL RESIDENTIAL PARKING OVERLAY (SRPOD)
TOTAL GROSS AREA:	41,982 S.F. (0.964 ACS.)
TOTAL R/W DEDICATED:	0
TOTAL LOTS PROPOSED:	3 SINGLE FAMILY
AVERAGE LOT SIZE:	0.38 ACRES
MINIMUM LOT SIZE:	0.23 ACRES
MINIMUM WIDTH:	65'
MAXIMUM DENSITY: 4 UNITS PER ACRE	
DENSITY PROPOSED: 3 LOTS /0.964 ACS. = 3.11 UNITS/ACRE	
PROPOSED USE: RESIDENTIAL	
PROPOSED LAND USE: SINGLE FAMILY DETACHED	
LOTS ARE SUBJECT TO SRPOD REQUIREMENTS PER RALEIGH UDO SEC 5.6.1	
PROPERTY LIES WITHIN RALEIGH CITY LIMITS	
DESIGN STANDARDS (R4)	
LOT DIMENSIONS	
MINIMUM LOT AREA = 10,000 S.F.	
MINIMUM LOT WIDTH = 65'	
MINIMUM LOT WIDTH (CORNER LOT) = 60'	
MINIMUM LOT DEPTH = 100'	
MINIMUM LOT DENSITY = 4 U/A	
PRINCIPAL BUILDING SETBACKS	
MINIMUM FROM PRIMARY STREET = 20'	
MINIMUM FROM SIDE STREET = 20'	
MINIMUM FROM SIDE LOT LINE = 10'	
MINIMUM SUM OF SIDE SETBACKS = 20'	
MINIMUM FROM REAR LOT LINE = 30'	
MAXIMUM BUILDING HEIGHT = 40'	
NOTE: RESIDENTIAL INFILL RULES MAY APPLY (SEE SEC. 2.2.7)	
NOTE: THE CONTRACTOR /BUILDER AND PROPERTY OWNER IS RESPONSIBLE FOR COMPLIANCE WITH POTENTIAL INFILL REQUIREMENTS IN TERMS OF SETBACKS, DESIGN AND TC-5-2020.	
NOTE: EXISTING FENCES TO REMAIN	

LEGEND

- EIP = EXISTING IRON PIN
R/W = RIGHT-OF-WAY
M.B.L. = MINIMUM BUILDING SETBACK
(FH) = FIRE HYDRANT
(WM) = WATER METER
(U) = UTILITY POLE
OU = OVERHEAD UTILITY LINE
(S) = SANITARY SEWER MANHOLE
(CO) = SEWER CLEAN-OUT
O = CHAIN-LINK FENCE

EXISTING IMPERVIOUS SURFACE AREAS
HOUSE = 1212 S.F.
PORCH/STEPS = 88 S.F.
WOOD DECK/STEPS = 42 S.F.
DRIVEWAY/WALKWAYS = 713 S.F.
WALLS = 24 S.F.
MISC. = 25 S.F.
TOTAL = 2104 S.F. (4.27%)

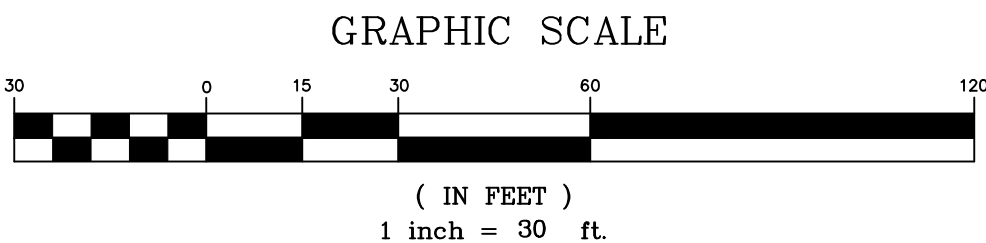
INDEX TO PLANS

- SHEET 1 COVER SHEET
SHEET 2 EXISTING CONDITIONS
SHEET 3 SUBDIVISION PLAN
LANDSCAPE AND UTILITY

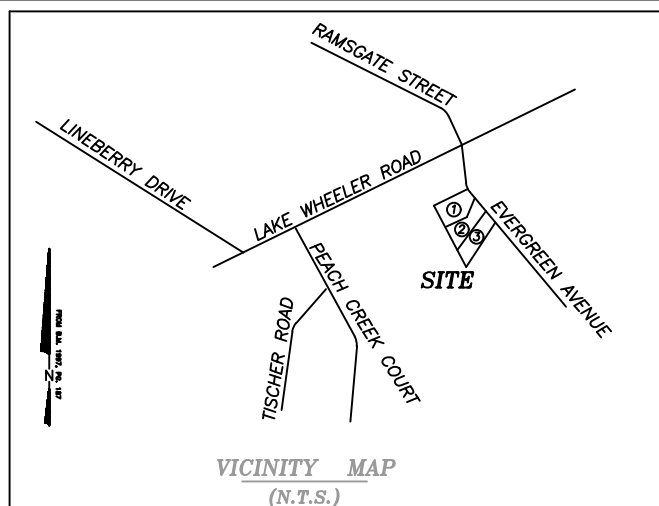
PRELIMINARY PLAT
NOT FOR RECORDATION,
SALES, OR CONVEYANCES

PROPERTY ADDRESS: 2005 EVERGREEN AVENUE

SHEET 2 OF 3



STEWART-PROCTOR, PLLC ENGINEERING and SURVEYING (FIRM LICENSE # P-0148) 319 CHAPANOKE ROAD SUITE 106 RALEIGH, NC 27603 TEL. 919 779-1855 FAX 919 779-1661			EXISTING CONDITIONS SETH GOLD BEING THE SUBDIVISION OF LOT 4B, BOOK OF MAPS 1964, PAGE 184 SOURCE OF TITLE: DEED BOOK 15992, PAGE 714	
DATE 12/07/2022	SURVEYED BY	JOB	SWIFT CREEK TOWNSHIP	NORTH CAROLINA
SCALE 1"=30'	DRAWN BY	DWG. NO. EVERGREEN-PRELM 30SCALE	WAKE COUNTY	OWNER
REVISIONS:			ZONED R-4	P.I.N. 0792-77-0061



- LEGEND**
- EIP = EXISTING IRON PIN
 - R/W = RIGHT-OF-WAY
 - M.B.L. = MINIMUM BUILDING SETBACK
 - (FH) = FIRE HYDRANT
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 - (OU) = UTILITY POLE
 - OU — = OVERHEAD UTILITY LINE
 - (S) = SANITARY SEWER MANHOLE
 - (CO) = SEWER CLEAN-OUT
 - O — = CHAIN-LINK FENCE

NOTE*
A FEE-IN-LIEU FOR 6' SIDEWALK IS REQUIRED FOR THE ENTIRE FRONTAGE ALONG EVERGREEN AVE. (200 L.F.)

NOW OR FORMERLY
ADAM W. HELSEL
D.B. 14304, PG 642
PIN # 0792-67-9010
USE TYPE: SINGLE FAMILY

NOW OR FORMERLY
JOSE CARLOS
PETATAN CHAVEZ
D.B. 18544, PG 1647
PIN # 0792-76-2834
USE TYPE: SINGLE FAMILY

● = JAPANESE MAPLE
ALSO KNOWN AS
ACER PALMATUM
(1.5" CALIPER TREE AND SINGLE STEM)
TOTAL # TREES REQUIRED = 200/20 = 10

NOTE: STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY TREE MANUAL

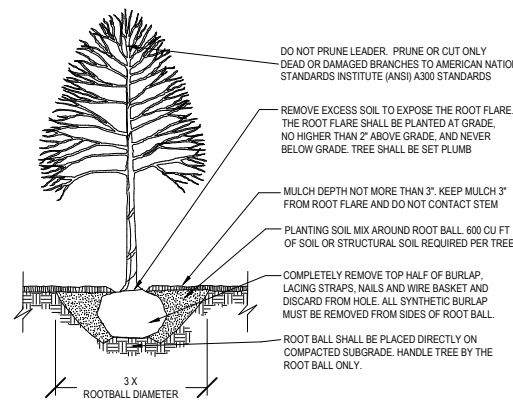
NOTE: TREES SHALL BE PLANTED BETWEEN BACK OF CURB AND SIDEWALK

NOTE: DEVELOPER WILL INSTALL UNDERSTORY TREES, AS DEFINED SECTION 12.2 OF CITY OF RALEIGH U.D.O. IN THE RIGHT OF WAY

NOTE: THE STREET TREES ARE TO BE PLANTED AS SHOWN ON PLAN, WITHIN THE RIGHT OF WAY AND SPACED 20' APART

NOTE: PRIVATE WATER AND SEWER MAINS (OR SERVICES) MAY NOT CROSS PROPERTY LINES PER SE. B-2007.

NOTE: WATER METERS MUST BE LOCATED BEHIND SIDEWALK, WITHIN ROW OR WITHIN A 2'X2' CITY OF RALEIGH WATER LINE EASEMENT (PU HANDBOOK P. 38)
WATER METERS AND OR SEWER CLEAN-OUTS SHALL NOT BE WITHIN A SIDEWALK OR DRIVEWAY



- NOTES:**
- TREES MUST MEET THE TREE QUALITY STANDARDS IN CH 2 OF THE CITY TREE MANUAL
 - CONTRACTOR IS RESPONSIBLE FOR ACCURATE DRAINAGE OF ALL PLANTING PITS (POSITIVE DRAINAGE AWAY FROM PIT)
 - TREES SHALL BE PLANTED BETWEEN OCTOBER 1ST AND APRIL 30TH
 - A TREE IMPACT PERMIT IS REQUIRED
 - ELECTRICAL OUTLETS AND OTHER UTILITIES ARE PROHIBITED IN THE PLANTING AREA IMMEDIATELY SURROUNDING THE TREE
 - IF STAKING IN ACCORDANCE WITH THE CITY TREE MANUAL, THE STAKING MUST BE REMOVED WITHIN ONE YEAR
 - TREES WILL HAVE A MINIMUM 1 YEAR WARRANTY AFTER THE INITIAL PLANTING IS APPROVED BY THE CITY

CITY OF RALEIGH			
STANDARD DETAIL			
REVISION	DATE	BY	NOTED
TREE PLANTING DETAIL			TPP-03

SITE DATA TABLE

CASE # SUB-0000-2022
PIN#: (LOT 13) 0792-77-0061
ZONED: R-4
OVERLAY DISTRICT: SPECIAL RESIDENTIAL PARKING OVERLAY (SRPOD)
TOTAL GROSS AREA: 41,982 S.F. (0.964 ACS.)
TOTAL R/W DEDICATED: 0
TOTAL LOTS PROPOSED: 3 SINGLE FAMILY
AVERAGE LOT SIZE: 0.38 ACRES
MINIMUM LOT SIZE: 0.23 ACRES
MINIMUM WIDTH: 65'
MAXIMUM DENSITY: 4 UNITS PER ACRE
DENSITY PROPOSED: 3 LOTS /0.964 ACS. = 3.11 UNITS/ACRE
PROPOSED USE: RESIDENTIAL
PROPOSED LAND USE: SINGLE FAMILY DETACHED
LOTS ARE SUBJECT TO SRPOD REQUIREMENTS PER RALEIGH UDO SEC 5.6.1
PROPERTY LIES WITHIN RALEIGH CITY LIMITS
DESIGN STANDARDS (R4)
LOT DIMENSIONS
MINIMUM LOT AREA = 10,000 S.F.
MINIMUM LOT WIDTH = 65'
MINIMUM LOT WIDTH (CORNER LOT) = 60'
MINIMUM LOT DEPTH = 100'
MINIMUM LOT DENSITY = 4 U/A
PRINCIPAL BUILDING SETBACKS
MINIMUM FROM PRIMARY STREET = 20'
MINIMUM FROM SIDE STREET = 20'
MINIMUM FROM SIDE LOT LINE = 10'
MINIMUM SUM OF SIDE SETBACKS = 20'
MINIMUM FROM REAR LOT LINE = 30'
MAXIMUM BUILDING HEIGHT = 40'
NOTE: RESIDENTIAL INFILL RULES MAY APPLY (SEE SEC. 2.2.7)
NOTE: THE CONTRACTOR /BUILDER AND PROPERTY OWNER IS RESPONSIBLE FOR COMPLIANCE WITH POTENTIAL INFILL REQUIREMENTS IN TERMS OF SETBACKS, DESIGN AND TC-5-2020.
NOTE: EXISTING FENCES TO REMAIN

NEW LOT 1 NET AREA = 13,664 S.F./0.314 ACS. (NET)
NEW LOT 2 NET AREA = 14,447 S.F./0.332 ACS. (NET)
NEW LOT 3 NET AREA = 13,871 S.F./0.318 ACS. (NET)

MAXIMUM IMPERVIOUS SURFACE COVERAGE = 38%
MAX. IMPERVIOUS SURFACE COVERAGE LOT 1 = 13,664 S.F. X 0.38% = 5,192 S.F.
EXISTING = 2,104 S.F.
REMAINING: 5,192 S.F. - 2,104 S.F. = 3,088 S.F.
MAX. IMPERVIOUS SURFACE COVERAGE LOT 2 = 14,447 S.F. X 0.38% = 5,489 S.F.
EXISTING = 0
REMAINING: 5,489 S.F. - 0 S.F. = 5,489 S.F.
MAX. IMPERVIOUS SURFACE COVERAGE LOT 3 = 13,871 S.F. X 0.38% = 5,270 S.F.
EXISTING = 0
REMAINING: 5,270 S.F. - 0 S.F. = 5,270 S.F.

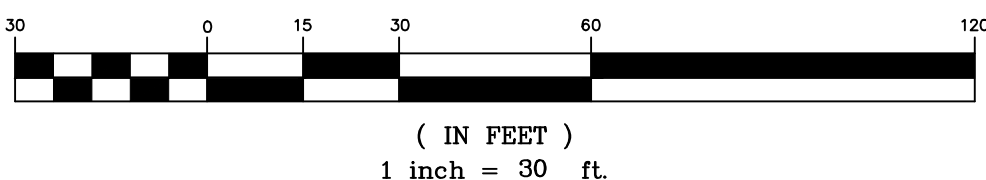
PRELIMINARY PLAT
NOT FOR RECORDATION,
SALES, OR CONVEYANCES

INDEX TO PLANS	
SHEET 1	COVER SHEET
SHEET 2	EXISTING CONDITIONS
SHEET 3	SUBDIVISION PLAN LANDSCAPE AND UTILITY

PROPERTY ADDRESS: 2005 EVERGREEN AVENUE

STEWART-PROCTOR, PLLC ENGINEERING and SURVEYING (FIRM LICENSE # P-0148) 319 CHAPANOKE ROAD SUITE 106 RALEIGH, NC 27603 TEL. 919 779-1855 FAX 919 779-1661		PROPOSED SUBDIVISION, LANDSCAPING AND UTILITY SETH GOLD SUBDIVISION BEING THE SUBDIVISION OF LOT 4B, BOOK OF MAPS 1964, PAGE 184 SOURCE OF TITLE: DEED BOOK 18387, PAGE 936	
DATE 12/07/2022	SURVEYED BY	JOB	SWIFT CREEK TOWNSHIP
SCALE 1"=30'	DRAWN BY	DWG. NO. EVERGREEN-PRELIM 30SCALE	WAKE COUNTY
REVISIONS:		ZONED R-4	NORTH CAROLINA
		P.I.N.	OWNER
		0792-77-0061	

GRAPHIC SCALE



CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	CHD. BRG.	CHD.
C2	64.88	607.12	06°07'22"	S67°10'24"E	64.85
C3	66.19	607.12	06°14'49"	S60°59'18"E	66.16
C4	69.01	607.12	06°30'45"	S54°36'31"E	68.97

SHEET 3 OF 3