



# Administrative Approval Action

Case File / Name: SUB-0083-2021  
DSLC - Johnsdale Rd 2 Lot Subd

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2492  
currentplanning@raleighnc.gov  
www.raleighnc.gov

**LOCATION:** This site is located on the North of Johnsdale Road. The site is zoned R-4 within the corporate city limits of the City of Raleigh. The current address is listed as 6713 Johnsdale Road, Pin Number: 1717824921.

**REQUEST:** Conventional Subdivision for existing 2.71 acre lot into two lots for Detached, Single Family Residential, creating a density of 0.74. Lot 1 and 2 will be created with access from Johnsdale Road.

**DESIGN  
ADJUSTMENT(S)/  
ALTERNATES, ETC:** N/A

**FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated February 11, 2022 by Crumpler Consulting Services.

## **CONDITIONS OF APPROVAL and NEXT STEPS:**

*This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:*

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

***The following items are required prior to approval of Site Permitting Review plans:***

### **Urban Forestry**

1. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.
2. Submit a final tree conservation plan that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required (UDO 9.1.5).

☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

***The following items must be approved prior to recording the plat:***

### **Engineering**



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1. A 5' utility placement easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.

## Stormwater

2. If demolition causes a land disturbance of more than 12,000 sf, a mass grading permit will be required. (UDO 9.4.6)
3. The maximum allocated impervious area for all applicable lots in the subdivision should be identified on all maps for recording.
4. The riparian buffers, in accordance with the preliminary plan and the State of North Carolina regulations, shall be shown on plats for recording along with required buffer statement (Recorded Map Checklist).

## Urban Forestry

5. A public infrastructure surety for 3 street trees shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.
6. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1). This development proposes .29 acres of tree conservation area.

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

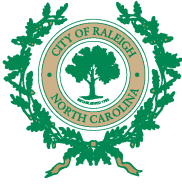
***The following items must be approved prior to the issuance of building permits:***

## Public Utilities

1. Any water or sewer taps previously installed by a City of Raleigh project must be paid with the building permits

## Urban Forestry

2. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 6 street trees along Johnsdale Road.
3. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1).



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***The following are required prior to issuance of building occupancy permit:***

## General

1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
2. Final inspection of all tree conservation areas and right of way street trees by Urban Forestry Staff

**EXPIRATION DATES:** If significant construction has not taken place on a project after preliminary subdivision approval, that approval may "sunset" and be declared void, requiring re-approval before permits may be issued. To avoid allowing this preliminary approval to "sunset", the following must take place by the following dates:

**3-Year Sunset Date: July 13, 2025**

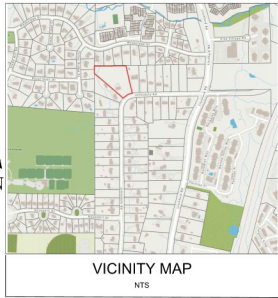
**Record at least ½ of the land area approved.**

**5-Year Sunset Date: July 13, 2027**

**Record entire subdivision.**

I hereby certify this administrative decision.

**Signed:** *Alysia Bailey Taylor* **Date:** 03/16/2022  
Development Services Dir/Designee  
**Staff Coordinator: Cara Russell**



VICINITY MAP  
NTS

**Preliminary Subdivision Application**  
Planning and Development



**INSTRUCTIONS:** This form is used when submitting a Preliminary Subdivision (UDO Section 10.2.5). Please check the appropriate review type and include the plan checklist document. Please email all documents and your preliminary subdivision plans to [SubDivision@raleighnc.gov](mailto:SubDivision@raleighnc.gov).

DEVELOPMENT TYPE (UDO Section 2.1.3)			
<input checked="" type="checkbox"/> Conventional Subdivision	<input type="checkbox"/> Compact Development	<input type="checkbox"/> Conservation Development	<input type="checkbox"/> Cottage Court
NOTE: Subdivisions may require City Council approval if in a Metro Park Overlay or Historic Overlay District			
GENERAL INFORMATION			
Scoping/lot plan case number(s):			
Development name (subject to approval): <b>JOHNSDALE ROAD - 2 LOT SUBDIVISION</b>			
Property Address(es): <b>6713JOHNSDALE ROAD</b>			
Recorded Deed (P/N): 1717-82-482			

What is your project type?

☒ Single family ☐ Apartment ☐ Townhouse ☐ Non-residential ☐ Other ☐ Attached houses

CURRENT PROPERTY OWNER/DEVELOPER INFORMATION	
NOTE: Please attach purchase agreement when submitting this form	
Company: <b>Luxuriant, LLC</b>	Contact/Developer Name and Title: <b>NIKITA ZHITOV</b>
Address: <b>107 FAYETTEVILLE STREET, SUITE 400, RALEIGH, NC 27601</b>	
Phone #: <b>919-412-9038</b>	Email: <b>nkitaz@cityplat.com</b>
APPLICANT INFORMATION	
Company: <b>Luxuriant, LLC</b>	Contact Name and Title: <b>NIKITA ZHITOV</b>
Address: <b>107 FAYETTEVILLE ST, SUITE 400, RALEIGH, NC 27601</b>	
Phone #: <b>919-412-9038</b>	Email: <b>nkitaz@cityplat.com</b>

Continue to page 2 >>

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[raleighnc.gov](http://raleighnc.gov)

DEVELOPMENT TYPE • SITE DATE TABLE (Applicable to all developments)	
ZONING INFORMATION	
Gross site acreage: 2.71	
Zoning districts (if more than one, provide acreage of each):	<b>R-4</b>
Overlay district: N/A	Inside City limits? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Conditional Use District (CUD) Case # Z-	Board of Adjustment (BOA) Case # A-
STORMWATER INFORMATION	
Existing Impervious Surface: <b>Acres: 0.12</b>	Proposed Impervious Surface: <b>Acres: 0.12</b>
Neuse River Buffer: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Wetlands: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Is this a flood hazard area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	If yes, please provide the following:
Alleviate risk: <b>N/A</b>	Flood Study: <b>N/A</b>
FEMA Map Panel #: <b>1702171700 DATED MAY 2, 2005</b>	
NUMBER OF LOTS AND DENSITY	
Total # of townhouse lots: <b>Detached 2</b>	Attached
Total # of single-family lots: <b>2</b>	
Proposed density for each zoning district (UDO 1.5.2.F):	<b>N/A</b>
Total # of open space and/or common area lots: <b>0</b>	
Total # of requested lots: <b>2</b>	

SIGNATURE BLOCK	
The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.	
<b>John Overton, PE</b>	will serve as the agent regarding this application, and will receive and respond to administrative comments, resident plans and applicable documentation, and will represent the property owner(s) in any public meeting regarding this application.
We have read, acknowledge, and affirm that the project is conforming to all application requirements applicable with the proposed development and I acknowledge that this application is subject to the filing calendar and submitted parties, which states applications will permit after 180 days of inactivity.	
Signature: <b>Nikita Zhito</b>	Date: <b>10/26/2021</b>
Printed Name: <b>Nikita Zhito</b>	Date:
Signature:	Date:
Printed Name:	

Please email your completed application to [SubDivision@raleighnc.gov](mailto:SubDivision@raleighnc.gov).

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[raleighnc.gov](http://raleighnc.gov)

# PRELIMINARY SUBDIVISION PLANS

## FOR

# JOHNSDALE ROAD 2-LOT SUBDIVISION

## 6713 JOHNSDALE ROAD

## RALEIGH, NORTH CAROLINA

CITY OF RALEIGH FILE: SUB-0083-2021

## PREPARED FOR:

CITY PLAT, LLC

107 FAYETTEVILLE STREET, SUITE 400  
RALEIGH, NORTH CAROLINA 27601

## PREPARED BY:

**CRUMPLER**  
Consulting Services, PLLC

2308 Ridge Road  
Raleigh, North Carolina 27612  
Ph. 919-413-1704  
P-1533

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL  
CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.

CALL 48 HOURS  
BEFORE YOU DIG



NORTH CAROLINA  
ONE-CALL CENTER  
1-800-632-4949

### NOTES

- BOUNDARY AND EXISTING CONDITIONS SURVEY PROVIDED BY NEWCOMB LAND SURVEYORS, PLLC DATED 02/10/21.
- THE PROPERTY IS LOCATED IN ZONES X (AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE AND FUTURE 1% ANNUAL CHANCE FLOODPLAIN) BASED ON THE FEMA MAP NUMBER 3720171700J DATED MAY 2, 2005.
- ON-SITE STREAMS OR WETLANDS HAVE BEEN IDENTIFIED WITHIN THE PROJECT OR PARCEL AS SHOWN.
- THIS DRAWING IS NOT FOR RECORDATION.
- DEVELOPER HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL, SOLID WASTE TO BE HANDLED BY ROLL OUT TRASH CANS FOR EACH LOT.
- TOTAL CUMULATIVE LAND DISTURBANCE FOR ALL ACTIVITIES ASSOCIATED WITH THIS SUBDIVISION DEVELOPMENT, INCLUDING BUT NOT LIMITED TO DEMOLITION AND NEW SINGLE FAMILY HOME CONSTRUCTION, SHALL BE LESS THAN 12,000 SF.

### SHEET

C-1  
C-2  
C-3  
C-4  
  
C-5  
C-6  
D-1

### DESCRIPTION

COVER  
EXISTING CONDITIONS  
PROPOSED SUBDIVISION PLAN  
PROPOSED GRADING  
AND STORMDRAIN PLAN  
PROPOSED UTILITY PLAN  
PROPOSED LANDSCAPING PLAN  
DETAILS

**CRUMPLER**  
Consulting Services, PLLC  
2308 Ridge Road  
Raleigh, NC 27612  
Ph. 919-413-1704  
P-1533

ISSUED FOR  
PERMITTING

DATE	DESCRIPTION	CITY OF RALEIGH COMMENTS
01/03/22		
02/11/22		

COVER  
JOHNSDALE ROAD 2-LOT SUBDIVISION  
6713 JOHNSDALE ROAD  
RALEIGH, NORTH CAROLINA

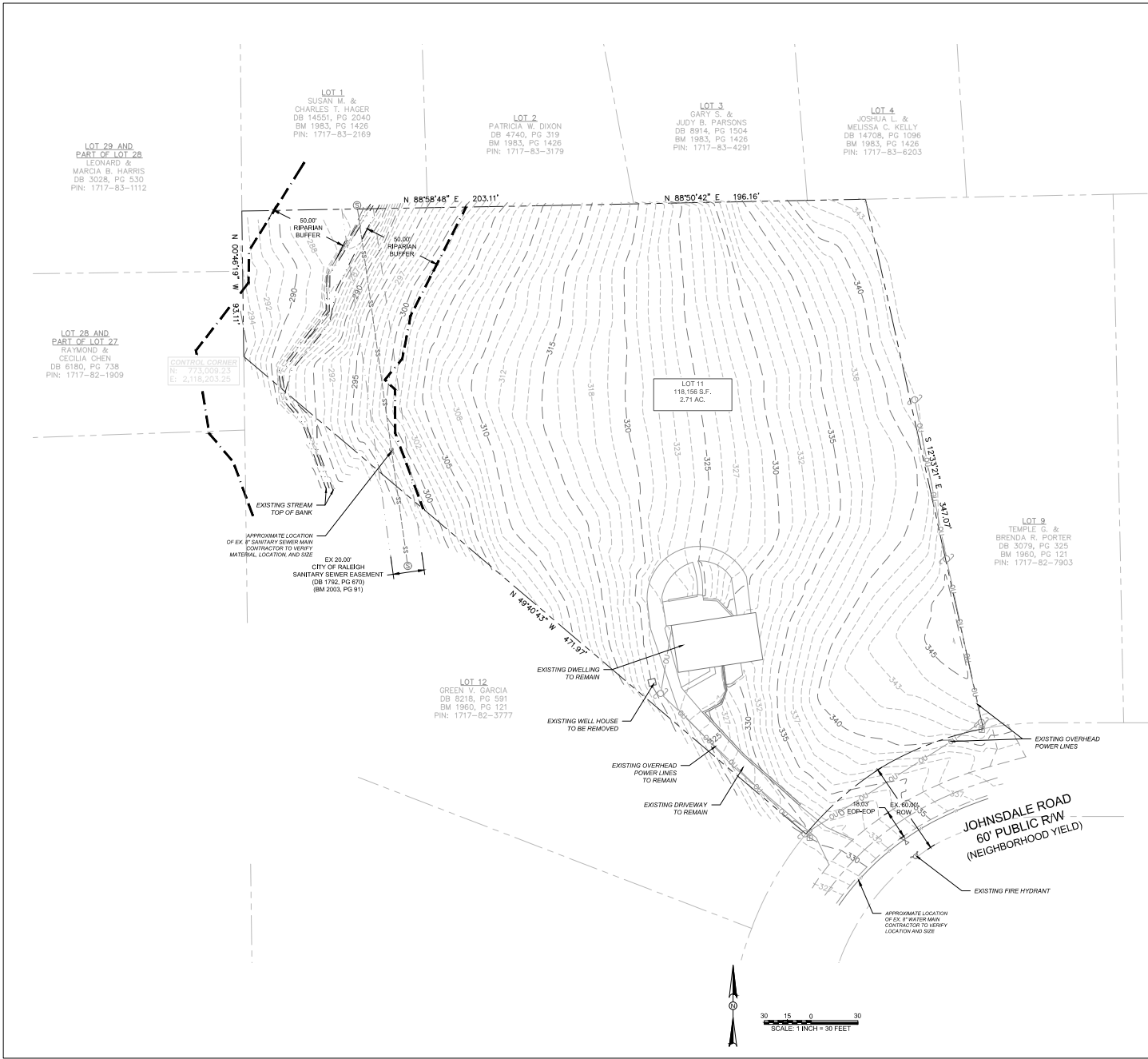
PROJECT NO.: 21001  
DRAWN BY: JAC  
CHECKED BY: JAC  
DATE: 05/07/21  
SCALE: N.T.S.

C-1

1 of 7

Cara Russell

Digitally signed by Cara Russell  
DN: C=US,  
E=cara.russell@raleighnc.gov,  
O=City of Raleigh Planning  
and Development Department,  
OU=Current Planning,  
CN=Cara Russell  
Reason: I am approving this  
document  
Date: 2022.03.16  
09:12:21-0400



**LEGEND**

---	EXISTING PROPERTY LINE
---	EXISTING ABUTTING PROPERTY LINE
---	EXISTING RIGHT-OF-WAY
---	EXISTING OVERHEAD POWER LINE
---	EXISTING ABUTTING PROPERTY LINE
---	EXISTING EDGE OF PAVEMENT
---	EXISTING SANITARY SEWER
---	EXISTING WATER LINE

- NOTES**
1. BOUNDARY AND EXISTING CONDITIONS SURVEY PROVIDED BY NEWCOMB LAND SURVEYORS, PLLC DATED 02/12/21.
  2. THE PROPERTY IS LOCATED IN ZONES X (AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE AND FUTURE 1% ANNUAL CHANCE FLOODPLAIN) BASED ON THE FEMA MAP NUMBER 3720171700J DATED MAY 2, 2008.
  3. ON-SITE STREAMS OR WETLANDS HAVE BEEN IDENTIFIED WITHIN THE PROJECT OR PARCEL AS SHOWN.
  4. THIS DRAWING IS NOT FOR RECORDATION.

**CRUMPLER**  
Consulting Services, PLLC

2308 Ridge Road  
Raleigh, NC 27612  
Phone: 919-413-1704  
Fax: 919-413-1533

ISSUED FOR PERMITTING	
DATE	DESCRIPTION
01/03/22 <td>CITY OF RALEIGH COMMENTS </td>	CITY OF RALEIGH COMMENTS
02/11/22 <td>CITY OF RALEIGH COMMENTS </td>	CITY OF RALEIGH COMMENTS

**EXISTING CONDITIONS**

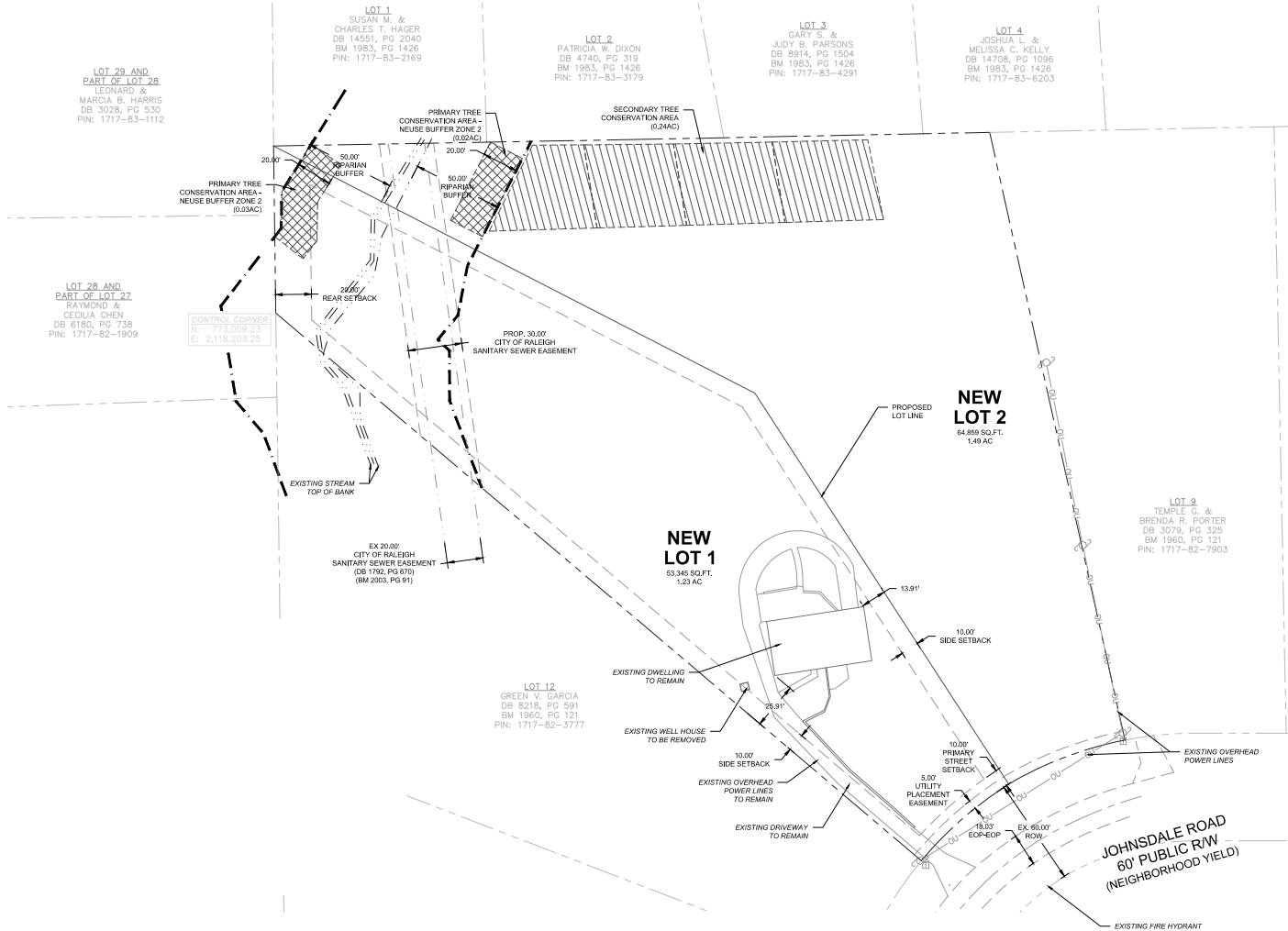
**JOHNSDALES ROAD 2-LOT SUBDIVISION**

6713 JOHNSDALES ROAD  
RALEIGH, NORTH CAROLINA

PROJECT NO.: 21001
DRAWN BY: JAC
CHECKED BY: JAC
DATE: 05/07/21
SCALE: 1" = 30'

**C-2**

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**LEGEND**

---	EXISTING PROPERTY LINE
---	EXISTING ABUTTING PROPERTY LINE
---	EXISTING RIGHT-OF-WAY
---	EXISTING OVERHEAD POWER LINE
---	EXISTING ABUTTING PROPERTY LINE
---	EXISTING EDGE OF PAVEMENT
---	PROPOSED LOT LINE
---	PROPOSED EASEMENT
---	PRIMARY TREE CONSERVATION (0.03AC)
---	SECONDARY TREE CONSERVATION (0.24AC)

**SUMMARY INFORMATION**

<b>DEVELOPMENT NAME:</b>	JOHNSDALE ROAD - 2 LOT SUBDIVISION
<b>SITE ADDRESS:</b>	6713 JOHNSDALE ROAD RALEIGH, NORTH CAROLINA
<b>PIN NUMBER:</b>	1717-82-4921
<b>JURISDICTION:</b>	CITY OF RALEIGH
<b>CURRENT ZONING DISTRICT:</b>	R-4
<b>TOTAL ACREAGE:</b>	2.71 ACRES (116,159 SF)
<b>PROPOSED LOT 1:</b>	1.23 ACRES (53,345 SF)
<b>PROPOSED LOT 2:</b>	1.49 ACRES (64,859 SF)
<b>BLOCK PERMETER REQUIRED (MAX):</b>	5,000 LF
<b>BLOCK PERMETER PROVIDED:</b>	GREATER THAN 8,147 LF**
<b>**EXEMPT BASED ON UDO SECTION 8.3.2.A.2.3 AS THE SITE IS LESS THAN 13 ACRES</b>	
<b>PRINCIPAL BUILDING SETBACKS</b>	
<b>PRIMARY STREET:</b>	10'
<b>SIDE LOT LINE:</b>	10'
<b>REAR LOT LINE:</b>	20'
<b>DEVELOPER:</b>	MRS. NIKITA ZHITOV CITY PLAT, LLC 107 FAYETTEVILLE STREET, SUITE 400 RALEIGH, NORTH CAROLINA 27601 919-412-9038
<b>OWNER:</b>	WILLOW RENOVATIONS 400 ORTEGA ROAD RALEIGH, NORTH CAROLINA 27609
<b>ENGINEER:</b>	CRUMPLER CONSULTING SERVICES, PLLC CONTACT: JOSH CRUMPLER, PE 2308 RIDGE ROAD RALEIGH, NC 27612 (919) 413-1704

- NOTES**
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  - ONSITE STREAMS OR WETLANDS HAVE BEEN IDENTIFIED WITHIN THE PROJECT OR PARCEL AS SHOWN.
  - THIS DRAWING IS NOT FOR RECORDATION.
  - DEVELOPER HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL. SOLID WASTE TO BE HANDLED BY ROLL OUT TRASH CANS FOR EACH LOT.
  - TOTAL CUMULATIVE LAND DISTURBANCE FOR ALL ACTIVITIES ASSOCIATED WITH THIS SUBDIVISION DEVELOPMENT, INCLUDING BUT NOT LIMITED TO DEMOLITION AND NEW SINGLE FAMILY HOME CONSTRUCTION, SHALL BE LESS THAN 12,000 SF.

**CRUMPLER**  
Consulting Services, PLLC

2308 Ridge Road  
Raleigh, NC 27612  
919-413-1704  
P-1533

**ISSUED FOR PERMITTING**

REV	DATE	DESCRIPTION
1	01/03/22	CITY OF RALEIGH COMMENTS
2	02/11/22	CITY OF RALEIGH COMMENTS

**PROPOSED SUBDIVISION PLAN**

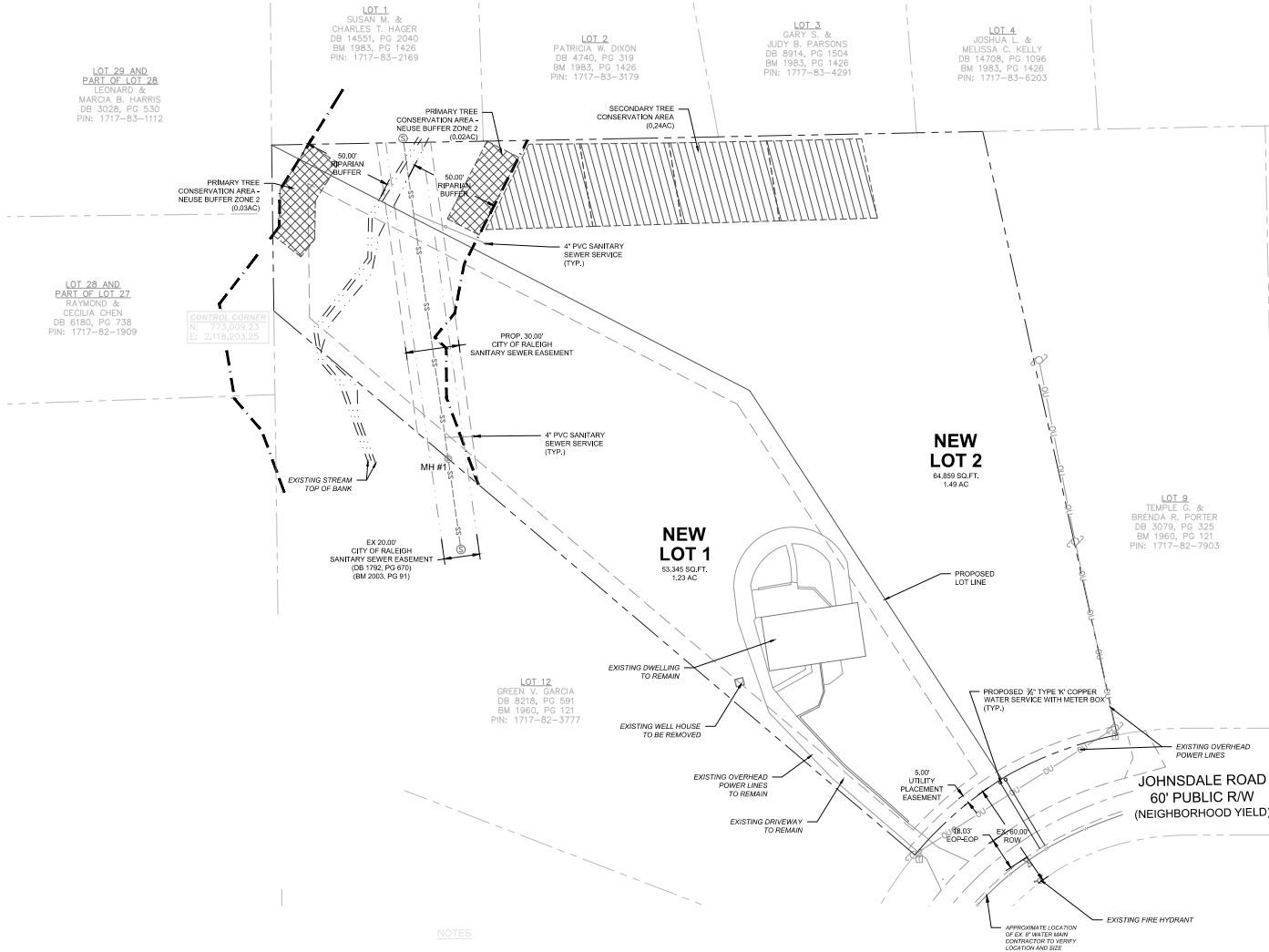
**JOHNSDALE ROAD 2-LOT SUBDIVISION**

6713 JOHNSDALE ROAD  
RALEIGH, NORTH CAROLINA

<b>PROJECT NO.:</b>	21001
<b>DRAWN BY:</b>	JAC
<b>CHECKED BY:</b>	JAC
<b>DATE:</b>	05/07/21
<b>SCALE:</b>	1" = 30'

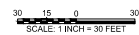
**C-3**

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# NOTES

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- THE PROPERTY IS LOCATED IN ZONES X AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE AND FUTURE 1% ANNUAL CHANCE FLOODPLAIN BASED ON THE FEMA MAP NUMBER 3720171001 DATED MAY 2, 2006.
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## CITY OF RALEIGH UTILITY NOTES

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUS HANDBOOK, CURRENT EDITION).
- UTILITY SEPARATION REQUIREMENTS:
  - A DISTANCE OF 100 SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
  - WHEN INSTALLING WATER & RCP SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IN THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
  - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DP MATERIALS OR STEEL ENCASUREMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
  - 5/3" MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS 4\"/>
  - ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
  - CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
  - 3/3" MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 4/3" MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
  - ABANDON AND REMOVE EXISTING WATER AND SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF SITE AS DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ADOPTING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUS HANDBOOK PROCEDURE.
  - INSTALL 3/4\"/>
  - INSTALL 4\"/>
  - PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKFLOW VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1/2' ABOVE THE NEXT UPSTREAM MANHOLE.
  - ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCOWD, USACE & OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND & OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
  - NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
  - GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUS FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 996-2334 OR timothy.beasley@raleighnc.gov FOR MORE INFORMATION.
  - CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LETTIED IN APPENDIX 4 OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JONIE HARTLEY AT (919) 996-2323 OR jonie.hartley@raleighnc.gov FOR MORE INFORMATION.
  - NEW WATER AND SEWER SERVICES SHALL BE INSTALLED BY OPEN CUT PER CITY OF RALEIGH STANDARDS.

## LEGEND

---	EXISTING PROPERTY LINE
---	EXISTING ABUTTING PROPERTY LINE
---	EXISTING RIGHT-OF-WAY
CHW CHW	EXISTING OVERHEAD POWER LINE
---	EXISTING ABUTTING PROPERTY LINE
---	EXISTING BUILDING SETBACK LINE
---	EXISTING PARKING SETBACK LINE
---	EXISTING EDGE OF PAVEMENT
---	EXISTING SANITARY SEWER
---	EXISTING WATER LINE
---	PROPOSED LOT LINE
---	PROPOSED EASEMENT
SS SS	PROPOSED SANITARY SEWER
---	PROPOSED WATERLINE
---	PRIMARY TREE CONSERVATION (0.05AC)
---	SECONDARY TREE CONSERVATION (0.24AC)

**CRUMPLER**  
Consulting Services, PLLC  
2308 Ridge Road  
Raleigh, NC 27612  
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P-1533

## ISSUED FOR PERMITTING

REV	DATE	DESCRIPTION
1	01/03/22	CITY OF RALEIGH COMMENTS
2	02/11/22	CITY OF RALEIGH COMMENTS

## UTILITY PLAN

## JOHNSDALES ROAD 2-LOT SUBDIVISION

4713 JOHNSDALES ROAD  
RALEIGH, NORTH CAROLINA

PROJECT NO.	21001
DRAWN BY:	JAC
CHECKED BY:	JAC
DATE:	05/07/21
SCALE:	1" = 30'

C-5



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