



Administrative Approval Action

Case File / Name: SUB-S-12-2019
Cumberland St Townhomes

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: The site is composed of two lots located on the southwest corner of the intersection of Tipton Street and Cumberland Street at 624 and 628 Cumberland Street.

REQUEST: Subdivision of two lots totaling .28 acres zoned NX-3 into a townhome subdivision consisting of four three-bedroom townhome lots and one common area open space lot.

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated December 4, 2019 by Horvath Associates, PA.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

Stormwater

1. These lots are exempt per UDO Section 9.2.2.A.2.b.i as a residential subdivision of one acre or less approved after May 1, 2001, but are subject to impervious limitations of subsection A.4 and subject to further review upon placement of impervious surface areas.

☒ **LEGAL DOCUMENTS** - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Utility Placement Easement Required
<input checked="" type="checkbox"/>	Cross Access Agreements Required

<input checked="" type="checkbox"/>	Slope Easement Required
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☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:



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General

1. The City Code Covenant shall be approved by the City and recorded with the county register of deeds office where the property is located and a copy of the recorded document shall be provided to the City by the end of the next business day following the recordation of the final plat. Further recordings and building permits will be withheld if the recorded document is not provided to the City.

Engineering

2. A public infrastructure surety is provided to the City of Raleigh Development Services – Development Engineering program (UDO 8.1.3).
3. A 5' utility placement easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.
4. A cross access agreement among the proposed lots 1-5 shall be approved by the Development Services Department for recording in the Wake County Registry, and a copy of the recorded cross access easement shall be returned to the Development Services Department within one day of plat recordation. If a recorded copy of the document is not provided within this time, further recordings and building permit issuance will be withheld.
5. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.
6. Slope easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.

Stormwater

7. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).
8. The maximum allocated impervious area for all applicable lots in the subdivision should be identified on all maps for recording.
9. A surety equal to 125% of the cost of the construction of each stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).



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10. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).

Urban Forestry

11. A public infrastructure surety for 5 street trees is provided to the City of Raleigh Development Services – Development Engineering program (UDO 8.1.3).

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

Stormwater

1. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
2. Impervious restrictions for each lot must be recorded on a plat prior to building permit issuance. Specifics for permeable pavers or other devices to be submitted prior to building permits.
3. If total land disturbance will be over 12,000 sq. ft. for multiple houses, a separate site plan submittal & approval will be required. Site plans require an erosion control plan. (UDO 9.4.6.)

Urban Forestry

4. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 3 street trees along Tipton St and 2 street trees along Cumberland St.

The following are required prior to issuance of building occupancy permit:

Stormwater

1. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).
2. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

Urban Forestry

3. Final inspection of all tree conservation areas and right of way street trees by Urban Forestry Staff

EXPIRATION DATES: If significant construction has not taken place on a project after preliminary subdivision approval, that approval may "sunset" and be declared void, requiring re-approval



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before permits may be issued. To avoid allowing this preliminary approval to "sunset", the following must take place by the following dates:

3-Year Sunset Date: January 23, 2023
Record at least ½ of the land area approved.

5-Year Sunset Date: January 23, 2025
Record entire subdivision.

I hereby certify this administrative decision.

Signed:  Date: 01/24/2020
Development Services Dir/Designee
Staff Coordinator Michael Walters

PIN: 1713252472
RID: 0451492

PIN: 1713252477
RID: 0046464



HORVATH ASSOCIATES

CIVIL ENGINEERING LAND PLANNING
LANDSCAPE ARCHITECTURE STORMWATER MANAGEMENT
16 CONSULTANT PLACE, SUITE 201
DURHAM, NORTH CAROLINA 27707
P 919.490.4990 F 919.490.8953

NORTH CAROLINA BOARD OF
EXAMINERS FOR ENGINEERS AND
SURVEYORS LICENSE NO.: C-0676

www.horvathassociates.com

**CUMBERLAND ST
TOWNHOMES**
624-628 CUMBERLAND STREET
WAKE COUNTY
RALEIGH, NORTH CAROLINA

**EXISTING
CONDITIONS
AND
DEMOLITION
PLAN**

FOR DEMOLITION ONLY

10.04.2019	
1	REVISIONS PER CDR COMMENTS
12.04.2019	
2	REVISIONS PER CDR COMMENTS

DRAWN BY: **RV** CHECKED BY: **RV**
DATE: **MARCH 13, 2019**
SCALE: **AS NOTED**
PROJECT NO: **1837A**
SHEET NO.

C001

<PRELIMINARY PLAN>

DEVELOPMENT SUMMARY:

SITE SUMMARY
GROSS LAND AREA: 1,403.88 SF (0.032 AC)
TIPTON ST ROW DEDICATION: 1,254.16 SF (0.029 AC)
CUMBERLAND ST ROW DEDICATION: 9,882.91 SF (0.227 AC)
NET LAND AREA: 1,560.10 SF (0.036 AC)
EXISTING ZONING: NX-3
PROPOSED ZONING: NX-3
EXISTING USE: RESIDENTIAL-ATTACHED HOUSE
PROPOSED USE: RESIDENTIAL-TOWNHOME

LOT SUMMARY
MAXIMUM BUILDING HEIGHT: 50'/3 STORIES
TOTAL LOTS: 5

BUILDING SUMMARY
UNIT TYPE: 3 BEDROOM UNITS
UNIT DIMENSION: 30'-0" X 30'-0"
UNIT QUANTITY: 5
BUILT TO PERCENTAGE (10-53): 80.50' / 112.47' = 71.57%

PARKING SUMMARY
REQ. 1 SPACE PER BEDROOM: 3 BEDROOM UNITS
PARKING PROVIDED PER UNIT: 1 GARAGE SPACES & 2 DRIVEWAY SPACES

REQ. SHORT-TERM BICYCLE
PARKING 1/20 UNITS (MIN.4)
PROPOSED BICYCLE PARKING: 4

IMPERVIOUS SUMMARY								
LOT NUMBER	ROOF, SIDEWALK, PAYMENT		25% OF PERMEABLE PAVEMENT AREA	IMPERVIOUS AREA		PERVIOUS PAVEMENT AREA		IMPERVIOUS AREA PERCENTAGE
	LOT AREA	SF		SF	GRASS AREA	SF	SF	
LOT 1	4,021.71	2,304.86	137.81	2,442.67	1,105.59	551.26	60.34%	
LOT 2	1,474.57	743.49	166.70	930.19	64.30	666.78	61.71%	
LOT 3	1,476.27	734.95	166.78	899.69	62.31	666.76	61.70%	
LOT 4	1,476.15	734.95	166.78	899.49	62.28	666.86	61.70%	
LOT 5	1,474.26	734.49	166.70	930.19	63.99	666.78	61.74%	

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**CUMBERLAND ST
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624-628 CUMBERLAND STREET
WAKE COUNTY
RALEIGH, NORTH CAROLINA

LOT PLAN

GENERAL SITE NOTES

- PAVEMENT DESIGN:
8" CABC + 2" S9.5B (INTERIOR PARKING AREAS AND DRIVES)
FINAL DESIGN SUBJECT TO SOIL ANALYSIS.
- ALL ON SITE PERIMETER CURB & GUTTER SHALL BE 24" UNLESS OTHERWISE NOTED.
- CURB & GUTTER TO SLOPE (NEGATIVE OR POSITIVE) SAME AS PAVEMENT EDGE. PONDING OF WATER IS PROHIBITED.
- ALL CURB & GUTTER RADII SHALL BE 3.5' (TO BC) UNLESS OTHERWISE NOTED.
- ALL PARKING LOT DIMENSIONS ARE TO BACK OF CURB AND FACE OF SIDEWALK, UNLESS OTHERWISE NOTED ON THE PLANS.
- BUILDING AND ROADWAY STAKE OUT TO BE PERFORMED BY A REGISTERED LAND SURVEYOR. ALL DIMENSIONS FROM BLDG TO PL OR CL CONTROL AND PARKING LOT TO PL ARE TO BE FIELD VERIFIED. NOTIFY THE ENGINEER OF ANY DISCREPANCY.
- ALL SIDEWALKS ARE 5' WIDE WITH EXPANSION JOINTS @ 40' OC UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE IN STRICT ACCORDANCE WITH CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS. ALL CONSTRUCTION SHALL BE PER CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS. SEE RALEIGH STREET DESIGN MANUAL, SECTION 6.5.7.A.
- SOLID WASTE ROLL OUT CARTS WILL BE STORED IN THE GARAGES AND ROLLED OUT TO THE CURB FOR PICKUP BY CITY OF RALEIGH S.W.S.

1 DEVELOPEMENT PLAN

SCALE: 1"=10'



DRAWN BY:	CHECKED BY:
RV	RV
DATE	MARCH 13, 2019
SCALE	AS NOTED
PROJECT NO.	1837A
SHEET NO.	

C100

<PRELIMINARY PLAN>

PIN: 1713252472
RID: 0451492

PIN: 1713252477
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DEVELOPMENT SUMMARY:

SITE SUMMARY
GROSS LAND AREA: 1,254.16 SF (0.029 AC)
TIPTON ST ROW DEDICATION: 1,254.16 SF (0.029 AC)
CUMBERLAND ST ROW DEDICATION: 9,882.91 SF (0.227 AC)
NET LAND AREA: 11,620.10 SF (0.267 AC)
AREA OF DISTURBANCE: NX-3
EXISTING ZONING: NX-3
PROPOSED ZONING: RESIDENTIAL-ATTACHED HOUSE
EXISTING USE: RESIDENTIAL-TOWNHOME
PROPOSED USE:

LOT SUMMARY
MAXIMUM BUILDING HEIGHT: 50/3 STORIES
TOTAL LOTS: 5

BUILDING SUMMARY

UNIT TYPE: 3 BEDROOM UNITS
UNIT DIMENSION: 20' x 28.5'
UNIT QUANTITY: 80.50 / 112.47 = 71.57%

PARKING SUMMARY

REQ. 1 SPACE PER BEDROOM: 3 BEDROOM UNITS
PARKING PROVIDED PER UNIT: 1 GARAGE SPACES & 2 DRIVEWAY SPACES
REQ. SHORT-TERM BICYCLE: 4
PARKING 1/20 UNITS (MIN.4)
PROPOSED BICYCLE PARKING: 4

IMPERVIOUS SUMMARY

LOT NUMBER	LOT AREA	ROOF, SIDEWALK, PAVEMENT AREA	30% OF PERMEABLE PAVEMENT AREA	IMPERVIOUS AREA	GRASS AREA	PERVIOUS AREA	IMPERVIOUS AREA PERCENTAGE
LOT 1	4,002.74	3,304.86	337.81	2,443.07	1,105.59	553.35	60.74%
LOT 2	2,434.57	2,434.57	243.46	935.59	64.30	566.78	63.72%
LOT 3	2,434.57	2,434.57	243.46	935.59	64.30	566.78	63.72%
LOT 4	2,434.57	2,434.57	243.46	935.59	64.30	566.78	63.72%
LOT 5	2,434.57	2,434.57	243.46	935.59	64.30	566.78	63.72%

*20% OF PERMEABLE PAVEMENT IS ACCOUNTED TOWARD THE IMPERVIOUS SURFACES (PER NC DEG ARCHIVED STORMWATER DESIGN MANUAL CHAPTER 18).

OPEN SPACE SUMMARY

REQUIRED AMENITY AREA: 989 SF (10.07%)
PROPOSED AMENITY AREA: 1,200 SF (10.15%)

LEGEND (EXISTING CONDITIONS)

- PROPERTY LINE
- WATER LINE
- SANITARY SEWER LINE
- ADJACENT PROPERTY OWNERS

GENERAL SITE NOTES

- ALL ON SITE PERIMETER CURB & GUTTER SHALL BE 24" UNLESS OTHERWISE NOTED.
- PAVEMENT DESIGN : 6" CABC + 8" CONCRETE (INTERIOR PARKING AREAS AND DRIVES) FINAL DESIGN SUBJECT TO SOIL ANALYSIS.
- ALL PARKING LOT DIMENSIONS ARE TO BACK OF CURB AND FACE OF SIDEWALK, UNLESS OTHERWISE NOTED ON THE PLANS.
- CURB & GUTTER TO SLOPE (NEGATIVE OR POSITIVE) SAME AS PAVEMENT EDGE, PONDING OF WATER IN THE GUTTER IS PROHIBITED.
- ALL CURB & GUTTER RADI SHALL BE 3' (TO BC) UNLESS OTHERWISE NOTED.
- ALL SIDEWALKS ARE 5' WIDE WITH EXPANSION JOINTS @ 40' OC UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE IN STRICT ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
- THE MINIMUM CORNER CLEARANCE FOR A DRIVEWAY FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 20 FEET FROM THE POINT OF TANGENCY OF THE CURB. NO DRIVEWAYS SHALL ENCR OACH ON THIS MINIMUM CORNER CLEARANCE.
- OUTDOOR AMENITY AREA(S) CANNOT BE PARKED OR DRIVEN UPON, EXCEPT FOR EMERGENCY ACCESS AND PERMITTED TEMPORARY EVENTS, AS PER UDO SEC 1.5.3.C.5.
- MECHANICAL EQUIPMENT AND UTILITY SERVICES WILL ADHERE TO THE SCREENING REQUIREMENTS PER UDO SEC 7.2.5.D AND SEC 7.2.5.E.
- PEDESTRIAN ACCESS SHALL BE PROVIDED FOR THE STREET FACING ENTRANCES TO THE TOWNHOMES, PER UDO SEC 1.5.8.A AND 3.4.5.F.
- SIDEWALK LOCATIONS ARE SCHEMATIC AND SUBJECT TO CHANGE AT ADMINISTRATIVE SITE REVIEW STAGE.
- ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE IN STRICT ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS. ALL CONSTRUCTION SHALL BE PER CITY OF RALEIGH STANDARDS AND SPECIFICATIONS. SEE RALEIGH STREET DESIGN MANUAL, SECTION 6.5.7.A.
- SOLID WASTE ROLL OUT CARTS WILL BE STORED IN THE GARAGE OF EACH UNIT.

SIGHT DISTANCE NOTES

- WITHIN THE AREA OF A SIGHT TRIANGLE, THERE SHALL BE NO OBSTRUCTING OR PARTLY OBSTRUCTING WALL, FENCE, SIGN, FOLIAGE, BERMS, OR PARKED VEHICLES BETWEEN THE HEIGHTS OF 24 INCHES AND EIGHT FEET ABOVE THE CURB LINE ELEVATION OR THE NEAREST TRAVELED WAY IF NO CURBING EXISTS.
- OBJECTS, WHICH MAY BE INCLUDED IN THE SIGHT TRIANGLE, ARE ITEMS SUCH AS: HYDRANTS, UTILITY POLES, UTILITY JUNCTION BOXES, AND TRAFFIC CONTROL DEVICES PROVIDED THESE OBJECTS ARE LOCATED TO MINIMIZE VISUAL OBSTRUCTION.

DEVELOPMENT SUMMARY:

SITE SUMMARY
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AREA OF DISTURBANCE: NX-3
EXISTING ZONING: NX-3
PROPOSED ZONING: RESIDENTIAL-ATTACHED HOUSE
EXISTING USE: RESIDENTIAL-TOWNHOME
PROPOSED USE:

LOT SUMMARY
MAXIMUM BUILDING HEIGHT: 50/3 STORIES
TOTAL LOTS: 5

BUILDING SUMMARY

UNIT TYPE: 3 BEDROOM UNITS
UNIT DIMENSION: 20' x 28.5'
UNIT QUANTITY: 80.50 / 112.47 = 71.57%

PARKING SUMMARY

REQ. 1 SPACE PER BEDROOM: 3 BEDROOM UNITS
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REQ. SHORT-TERM BICYCLE: 4
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IMPERVIOUS SUMMARY

LOT NUMBER	LOT AREA	GRASS AREA	PERMEABLE PAVEMENT AREA	30% OF PERMEABLE PAVEMENT AREA	IMPERVIOUS AREA (ROOF & SIDEWALK)	IMPERVIOUS AREA PERCENTAGE
LOT 1	5,631.00	33.87	2,191.00	657.30	2,157.13	50.0%
LOT 2	1,069.20	49.17	404.24	121.27	605.01	67.9%
LOT 3	1,069.20	49.17	404.24	121.27	605.01	67.9%
LOT 4	1,069.20	49.17	404.24	121.27	605.01	67.9%
LOT 5	1,069.20	49.17	404.24	121.27	605.01	67.9%

*70% OF PERMEABLE PAVEMENT IS ACCOUNTED TOWARD THE PERVIOUS SURFACES

OPEN SPACE SUMMARY

REQUIRED AMENITY AREA: 989 SF (10.07%)
PROPOSED AMENITY AREA: 1,200 SF (10.15%)

612 CUMBERLAND ST
BANKS, ANTHONY &
BANKS, MAMIE C
DB 13453, PG 650
PIN: 1713-25-2670
ZONING: CX-3
LAND CLASS: COMMERCIAL

TIPTON STREET
NEIGHBORHOOD YIELD
(40' PUBLIC R/W)
ASPHALT

RELOCATED STOP SIGN,
LOCATED A MIN OF 3'
FROM FIRE HYDRANT

ROLL CARTS SHALL BE
BROUGHT TO THE TIPTON
ST. CURB FOR PICKUP.

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1 SITE PLAN

SCALE: 1"=10'

0 5 10 20
SCALE: 1"=10'

0 5 10 20
SCALE: 1"=10'

0 5 10 20
SCALE: 1"=10'

0 5 10 20
SCALE: 1"=10'



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SITE PLAN

10.04.2019	REVISIONS PER C&R	RV
12.04.2019	REVISIONS PER C&R	RV

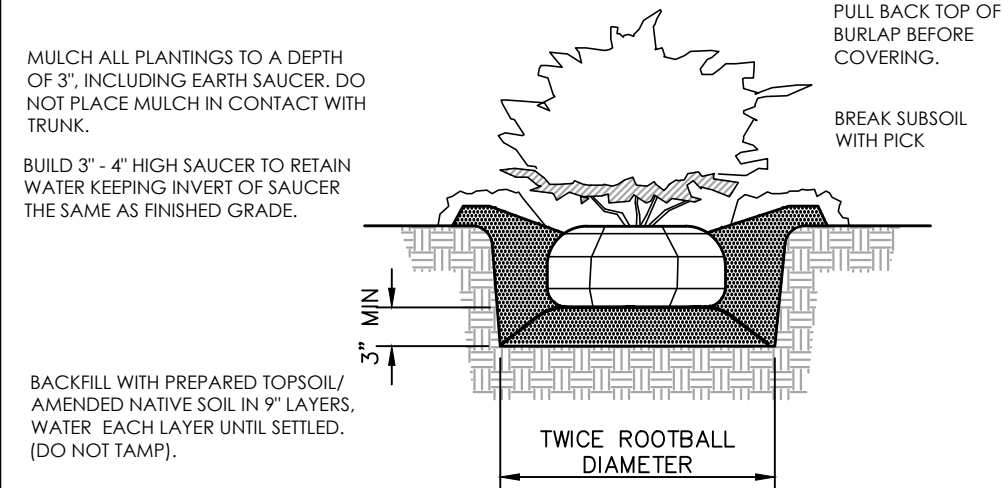
DRAWN BY: CHECKED BY:
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<PRELIMINARY PLAN>



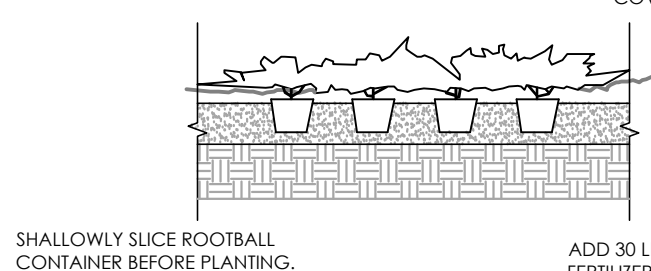
THIN BRANCHES AND FOLIAGE TO COMPENSATE FOR ROOT LOSS AND TO PROMOTE A NATURAL GROWTH HABIT. DO NOT SHEAR.



2 SHRUB PLANTING

C200 SCALE: N.T.S.

INSTALL PLANT MATERIAL IN A TRIANGULAR PATTERN UNLESS OTHERWISE SPECIFIED. CONSULT PLANT LIST FOR "O.C." SPACING.



3 GROUND COVER PLANTING

C200 SCALE: N.T.S.

LANDSCAPE NOTES:

- SHRUBS MUST BE PLANTED NO CLOSER THAN 3 FEET TO ANY PROPOSED TREE OR WITHIN THE DRIPLINE OF ANY EXISTING TREE.
- NO LARGE TREE WILL BE CREDITED OR PERMITTED IN A PLANTING ISLAND SMALLER THAN 150 S.F.
- TREES AND SHRUBS SHOULD BE SPACED AT LEAST 3 FEET FROM THE BACK OF CURBS IN ORDER TO AVOID CONFLICTS WITH CAR OVERHANGS.
- ALL PLANT MATERIALS MUST MEET OR EXCEED THE MINIMUM SIZES SHOWN AT THE TIME OF INSTALLATION.
- ALL PARKING SPACES TO BE WITHIN 50' OF A SINGLE TREE.
- CONTRACTOR SHALL MULCH ALL PLANT BEDS AND TREE WELLS WITH A 3" MINIMUM OF TRIPLE SHREDDED HARDWOOD MULCH.
- CONTRACTOR SHALL TILL & ADD SOIL AMENDMENTS WHEN PREPARING ALL PLANT BEDS. ALL ROCKS, TREE LIMB DEBRIS AND OTHER IMPEDIMENTS SHALL BE REMOVED.
- CONTRACTOR SHALL PROVIDED AN 1 YEAR WARRANTY ON ALL PLANT MATERIAL AND INSTALLATION FROM DATE OF ACCEPTANCE.
- CONTRACTOR TO DESIGN AND INSTALL AN "AS-BUILT" LANDSCAPE SPRINKLER SYSTEM ON ALL PLANTED AREAS. SHOP DRAWINGS TO BE PROVIDED TO THE LANDSCAPE ARCHITECT AND DEVELOPER FOR APPROVAL PRIOR TO INSTALLATION.
- ANY LANDSCAPING MATERIAL LOCATED WITHIN A SITE TRIANGLE SHALL BE LIMBED UP BETWEEN 24 INCHES AND 7 FEET.
- STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE RALEIGH CITY TREE MANUAL.
- ALL TREES AND VEGETATION WITHIN THE SIGHT TRIANGLE, BOTH ON CITY AND PRIVATE PROPERTY SHALL BE KEPT PRUNED SO AS NOT TO SUBSTANTIALLY OBSTRUCT THE VIEW OF TRAFFIC.
- MECHANICAL EQUIPMENT AND UTILITY SERVICES WILL ADHERE TO THE SCREENING REQUIREMENTS PER UDO SEC 7.2.5.D AND SEC 7.2.5.E.
- FEE-IN-LIEU WILL BE REQUIRED FOR THE STREET TREES ALONG THE NEW STREET R/W TO BE DEDICATED ON THE EAST SIDE OF THE PROPERTY, 279.07 LF / 40+ STREET TREES REQUIRED.

SEED BED PREPARATION

- CHISEL COMPACTED AREA AND SPREAD TOPSOIL 3" DEEP OVER ADVERSE SOIL CONDITIONS.
- RIP THE ENTIRE AREA TO A 4" DEPTH.
- REMOVE ALL LOOSE ROCK, ROOTS, AND OTHER OBSTRUCTIONS LEAVING SURFACE REASONABLY SMOOTH AND UNIFORM.
- APPLY AGRICULTURAL LIME, FERTILIZER, AND SUPERPHOSPHATE UNIFORMLY AND MIX WITH SOIL (SEE "BELOW").
- CONTINUE TILLAGE UNTIL A WELL PULVERIZED, FIRM, REASONABLY UNIFORM SEED BED IS PREPARED 5" TO 6" DEEP.
- SEED ON A FRESHLY PREPARED SEED BED AND COVER SEED LIGHTLY WITH SEEDING EQUIPMENT OR CULTIPACK AFTER SEEDING.
- MULCH IMMEDIATELY AFTER SEEDING AND ANCHOR MULCH.
- INSPECT ALL SEEDED AREAS AND MAKE NECESSARY REPAIRS OR RESEEDING WITHIN THE PLANTING SEASON. IF POSSIBLE, # STAKES SHOULD BE OVER 60% DAMAGED, REESTABLISH FOLLOWING ORIGINAL LIME, FERTILIZER AND SEEDING RATES.
- CONSULT CONSERVATION INSPECTOR ON MAINTENANCE TREATMENT AND FERTILIZATION AFTER PERMANENT COVER IS ESTABLISHED.
- SEEDING RE-VEGETATION FOR ALL EASEMENTS AND MASS GRADING. CLEARED/DISTURBED EASEMENTS NEAR STREAM SUFFERS TO BE SEEDED WITH NATIVE GRASS SPECIES- "SWITCHGRASS" (Panicum virgatum), @ A RATE OF 50#/ACRE.

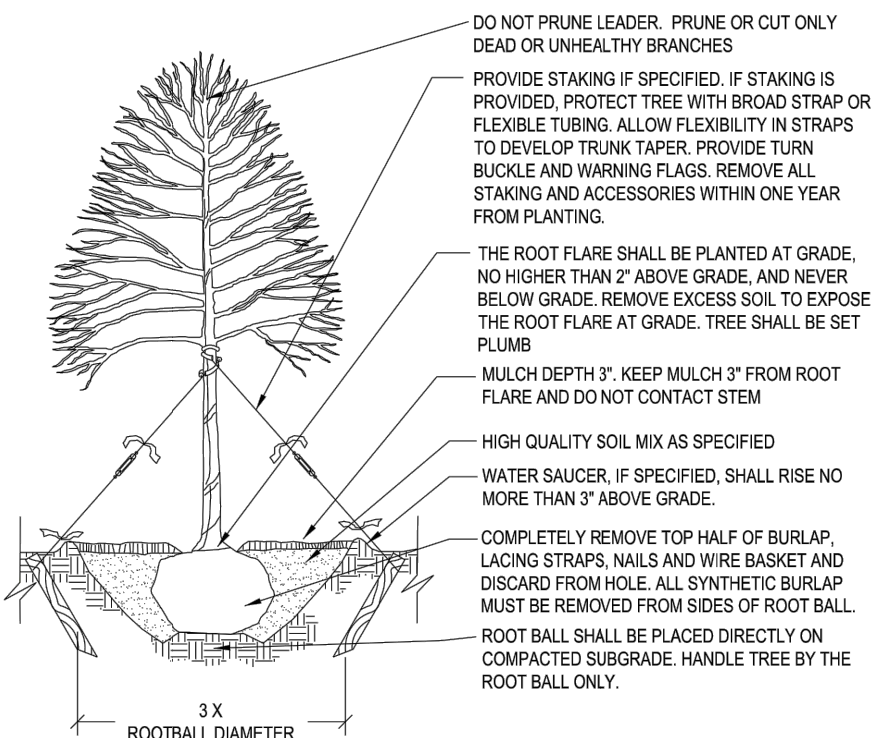
* APPLY:
AGRICULTURAL LIMESTONE: 27AC (3 TON IN CLAY)
FERTILIZER: 15-10-10 AT 800/1000AC
SUPERPHOSPHATE: 50#/AC OF 20% ANALYSIS SUPERPHOSPHATE
MULCH: 2 TON/1000 S.F. 3/4" GRAIN STRA W/ACRE
ANCHOR: LIQUID ASPHALT 405 GAL/AC EMULSIFIED ASPHALT 300 GAL/AC

SEEDING SCHEDULE

FOR SHOULDERS, SIDE DITCHES & SLOPES (MAX 2:1)

DATE	TYPE	PLANTING RATE
AUG 15-NOV 1	CREeping RED FESCUE	300 #/AC
NOV 1-MAR 1	CREeping RED FESCUE	300 #/AC
MAR 1-APR 15	AND ABRUZZI RYE	25 #/AC
APR 15-JUN 30	CREeping RED FESCUE	300 #/AC
JUL 15-AUG 15	HULLED COMMON BERMUDA GRASS	25 #/AC
	TALL FESCUE	120 #/AC
	OR BROWNTOP MILLET	35 #/AC
	OR SORGHUM-SUDAN HYBRIDS	30 #/AC
MAR 1-JUN 1	CREeping RED FESCUE	50 #/AC
APR 15-MAY 30	OR ADD LITTLE BLUESTEM	10/12 #/AC
MAR 1-JUNE 30	OR ADD HULLED COMMON BERMUDA GRASS	25 #/AC
JUN 1-SEPT 1	***CREeping RED FESCUE AND	120 #/AC
	***BROWNTOP MILLET	35 #/AC
	***OR SORGHUM-SUDAN HYBRIDS	30 #/AC
SEPT 1-MAR 1	CREeping RED FESCUE	120 #/AC
(NOV 1-MAR 1)	ADD ABRUZZI RYE	25 #/AC

CONSULT CONSERVATION ENGINEER OR SCIS FOR ADDITIONAL INFORMATION CONCERNING OTHER ALTERNATIVES FOR VEGETATION ON DISTURBED AREAS. ABOVE VEGETATION RATES ARE THOSE WHICH DO WELL UNDER LOCAL CONDITIONS. OTHER SEEDING RATE COMBINATIONS ARE POSSIBLE.
***TEMPORARILY RESEED ACCORDING TO OPTIMUM SEASON FOR DESIRED PERMANENT VEGETATION. DO NOT ALLOW TEMPORARY COVER TO GROW OVER 12" IN HEIGHT BEFORE MOWING. OTHERWISE FESCUE MAY BE SHADED OUT.

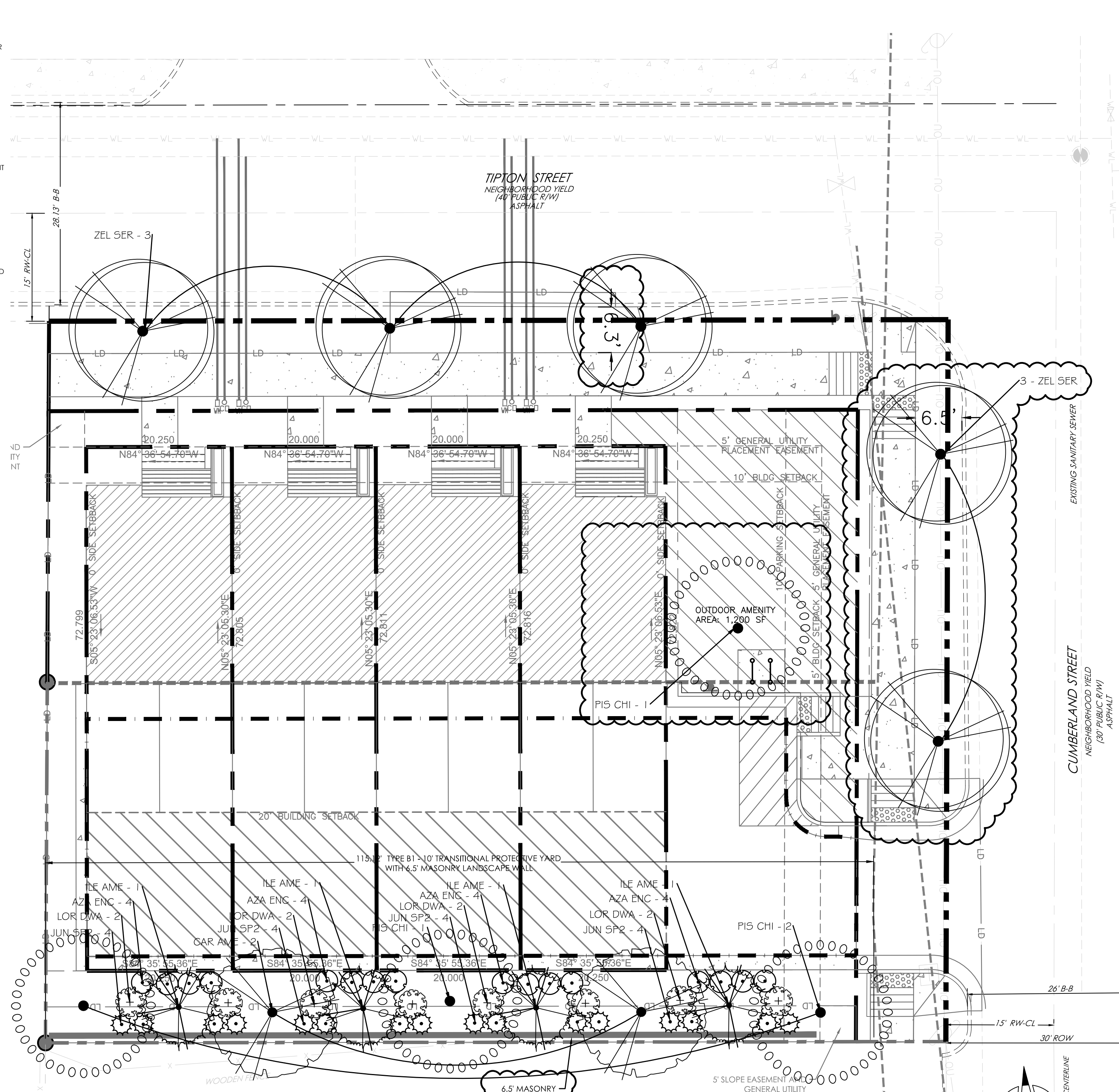


CONTACT INFORMATION:
CITY OF RALEIGH PARKS, RECREATION AND CULTURAL RESOURCES DEPARTMENT URBAN FORESTER:
TREES@RALEIGHNC.GOV
WWW.RALEIGHNC.GOV

NOTES:

- CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITS (POSITIVE DRAINAGE AWAY FROM PIT).
- ADHERE TO STANDARDS IN THE CITY TREE MANUAL.
- STREET TREES MUST BE 3" CALIPER AT INSTALLATION WITH A 5" MINIMUM FIRST BRANCH HEIGHT.
- PLANTING SEASON: OCTOBER - APRIL.
- A TREE IMPACT PERMIT IS REQUIRED.
- ELECTRICAL OUTLETS AND OTHER UTILITIES ARE PROHIBITED IN THE PLANTING AREA IMMEDIATELY SURROUNDING THE TREE.

CITY OF RALEIGH STANDARD DETAIL		
REVISIONS	DATE	NOTED BY
TREE PLANTING DETAIL		
TPP-03		



1 LANDSCAPE PLAN

C200 SCALE: 1"=10'

SCALE: 1"=10'

PLANT SCHEDULE

DECIDUOUS TREES	BOTANICAL / COMMON NAME	CONT	CAL	HEIGHT	QTY
CAR AME	CARPINUS CAROLINIANA / AMERICAN HORNBEAM	B & B	3" CAL		2
PIS CHI	PISTACIA CHINENSIS / CHINESE PISTACHE	B & B	3" CAL		4
ZEL SER	ZELKOVA SERRATA "VILLAGE GREEN" / SAWLEAF ZELKOVA	B & B	3" CAL		6
EVERGREEN TREES	BOTANICAL / COMMON NAME	CONT	CAL	HEIGHT	QTY
ILE AME	ILEX OPACA / AMERICAN HOLLY	B & B		6' HGT.	4
SHRUBS	BOTANICAL / COMMON NAME	CONT	HEIGHT	SPACING	QTY
AZA ENC	AZALEA ENCORE 'AUTUMN STARLITE' TM / ENCORE AZALEA	3 GAL	15" HGT.	36" o.c.	16
JUN SP2	JUNIPERUS CHINENSIS 'SPARTAN' / SPARTAN JUNIPER	CONT.	15" HGT.	36" o.c.	16
LOR DWA	LOROPETALUM CHINENSE RUBRUM 'RUBY' / DWARF RUBY FRINGE FLOWER	CONT.	15" HGT.	48" o.c.	8

STREET TREE CALCULATIONS

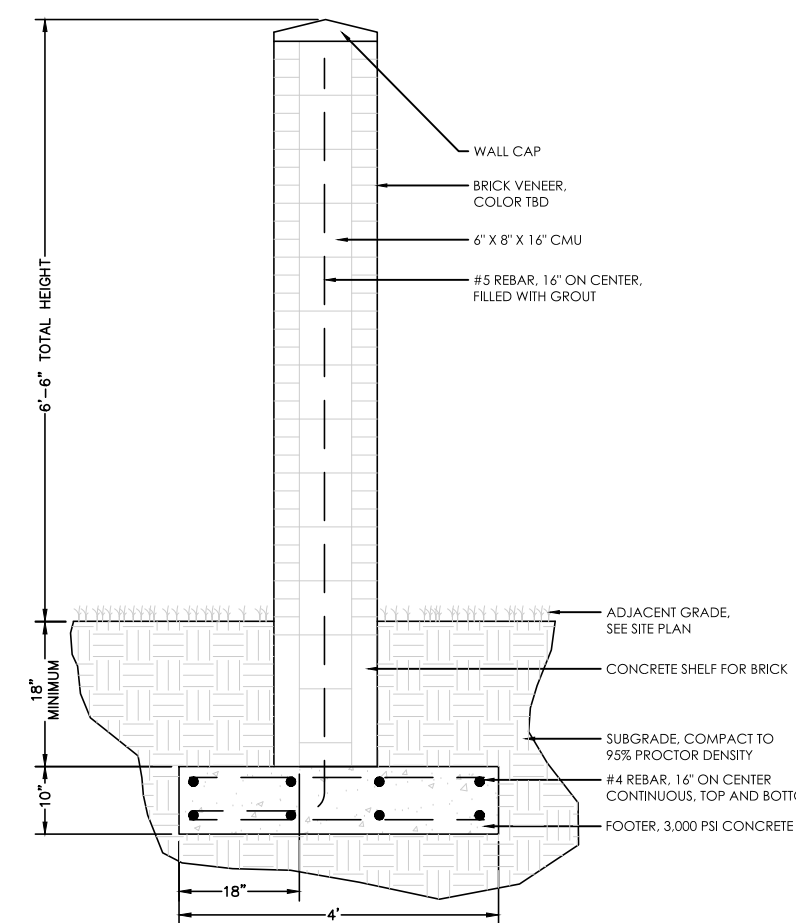
ROAD NAME	Tipton Street
LENGTH OF ROW	114.963 LF
	REQUIRED PROVIDED
CANOPY TREES	2.87 3
ROAD NAME	Cumberland Street
LENGTH OF ROW	88.823 LF
	REQUIRED PROVIDED
CANOPY TREES	2.22 3

PLANT YARD CALCULATIONS

	B1
	115.12 LF
SHADE TREES	4.60 5
UNDERSTORY TREES	3.45 4
SHRUBS	46.05 47

PIN: 1713252472
RID: 0451492

PIN: 1713252477
RID: 0046464



2 LANDSCAPE WALL

C200 SCALE: N.T.S.

HORVATH ASSOCIATES
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LANDSCAPE ARCHITECTURE STORMWATER MANAGEMENT
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NORTH CAROLINA BOARD OF EXAMINERS FOR ENGINEERS AND SURVEYORS LICENSE NO.: C-0676
www.horvathassociates.com

CUMBERLAND ST TOWNHOMES
624-628 CUMBERLAND STREET
WAKE COUNTY
RALEIGH, NORTH CAROLINA

LANDSCAPE PLAN

10.04.2019	REVISIONS PER CoR COMMENTS	RV
12.04.2019	REVISIONS PER CoR COMMENTS	RV
DRAWN BY:	CHECKED BY:	
MS	RV	
DATE	MARCH 13, 2019	
SCALE	AS NOTED	
PROJECT NO.	1837A	
SHEET NO.		



STANDARD UTILITY NOTES

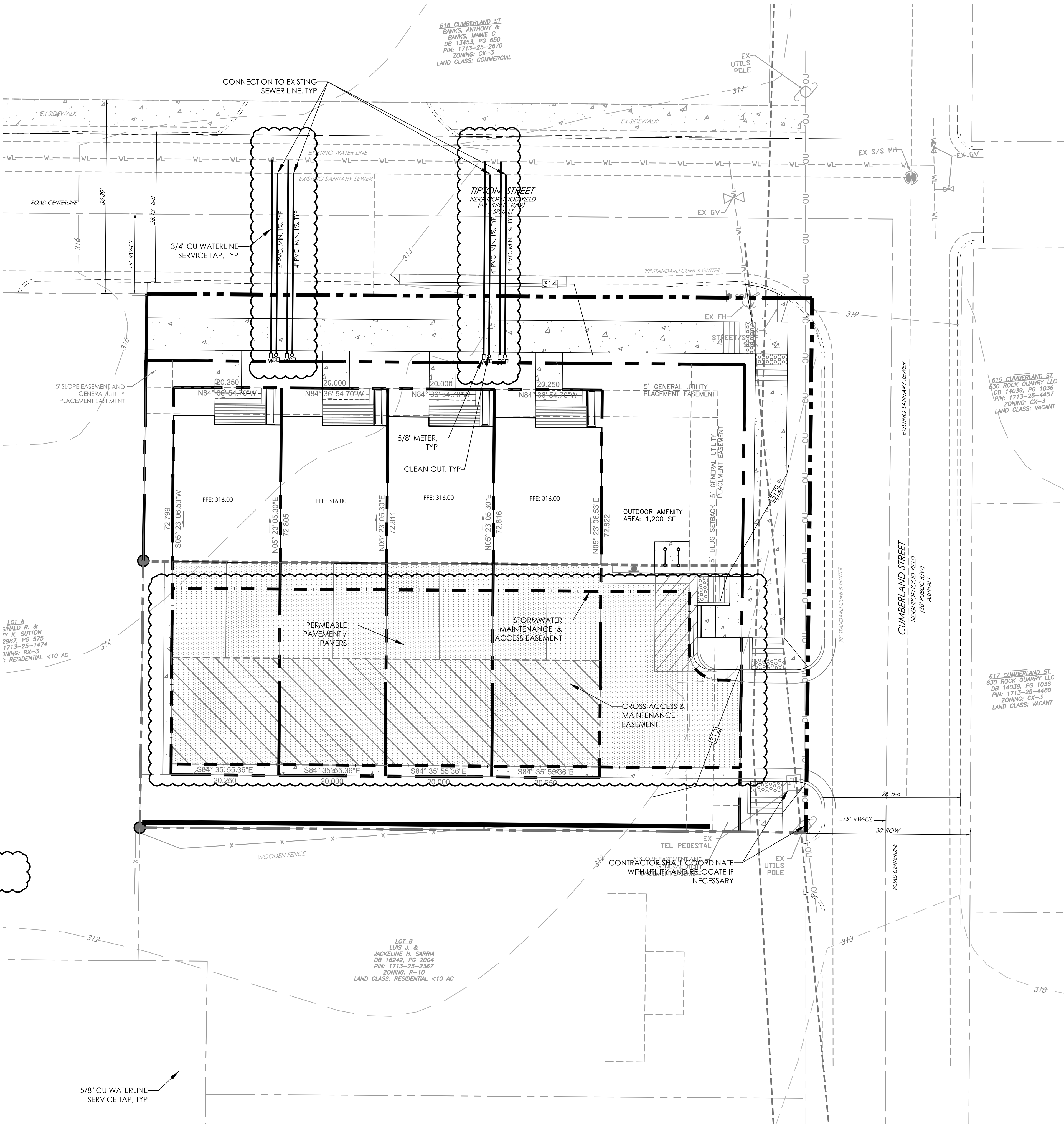
- All materials & construction methods shall be in accordance with City of Raleigh design standards, details & specifications (reference: CORPUD Handbook, current edition)
- Utility separation requirements:
 - A distance of 100' shall be maintained between sanitary sewer & any private or public water supply source such as an impounded reservoir used as a source of drinking water. If adequate lateral separation cannot be achieved, ferrous sanitary sewer pipe shall be specified & installed to watertight specifications. However, the minimum separation shall not be less than 25' from a private well or 50' from a public well
 - When installing water &/or sewer mains, the horizontal separation between utilities shall be 10'. If this separation cannot be maintained due to existing conditions, the variation allowed is the water main in a separate trench with the elevation of the water main at least 18" above the top of the sewer & must be approved by the Public Utilities Director. All distances are measured from outside diameter to outside diameter
 - Where it is impossible to obtain proper separation, or anytime a sanitary sewer passes over a watermain, DIP materials or steel encasement extended 10' on each side of crossing must be specified & installed to watertight specifications
 - 5.0' minimum horizontal separation is required between all sanitary sewer & storm sewer facilities, unless DIP material is specified for sanitary sewer
 - Maintain 18" min. vertical separation at all watermain & RCP storm drain crossings: maintain 24" min. vertical separation at all sanitary sewer & RCP storm drain crossings. Where adequate separations cannot be achieved, specify DIP materials & a concrete cradle having 6" min. clearance (per CORPUD details W-41 & S-49)
 - All other underground utilities shall cross water & sewer facilities with 18" min. vertical separation required
- Any necessary field revisions are subject to review & approval of an amended plan &/or profile by the City of Raleigh Public Utilities Department prior to construction
- Contractor shall maintain continuous water & sewer service to existing residences & businesses throughout construction of project. Any necessary service interruptions shall be preceded by a 24 hour advance notice to the City of Raleigh Public Utilities Department
- 3.0' minimum cover is required on all water mains & sewer force mains, 4.0' minimum cover is required on all reuse mains
- It is the developer's responsibility to abandon or remove existing water & sewer services not being used in redevelopment of a site unless otherwise directed by the City of Raleigh Public Utilities Department. This includes abandoning top at main & removal of service from ROW or easement per CORPUD Handbook procedure
- Install 1/2" copper water services with meters located at ROW or within a 2'x2' Waterline Easement immediately adjacent. NOTE: It is the applicant's responsibility to properly size the water service for each connection to provide adequate flow & pressure
- Install 4" PVC sewer services @ 1.0% minimum grade with cleanouts located at ROW or easement line & spaced every 75 linear feet maximum
- Pressure reducing valves are required on all water services exceeding 80 psi; backwater valves are required on all sanitary sewer services having building drains lower than 1.0' above the next upstream manhole
- All environmental permits applicable to the project must be obtained from NCDWQ, USACE &/or FEMA for any riparian buffer, wetland &/or floodplain impacts (respectively) prior to construction
- NCDOT / Railroad Encroachment Agreements are required for any utility work (including main extensions & service taps) within state or railroad ROW prior to construction
- Grease Interceptor / Oil Water Separator sizing calculations & installation specifications shall be approved by the CORPUD FOG Program Coordinator prior to issuance of a Building Permit. Contact Tim Beasley at (919) 996-2334 or timothy.beasley@raleighnc.gov for more information
- Cross-connection control protection devices are required based on degree of health hazard involved as listed in Appendix 8 of the Rules Governing Public Water Systems in North Carolina. These guidelines are the minimum requirements. The devices shall meet American Society of Sanitary Engineering (ASSE) standards or be on the University of Southern California approval list. The devices shall be installed and tested (both initial and periodic testing thereafter) in accordance with the manufacturer's recommendations or the local cross-connection control program, whichever is more stringent. Contact Joanie Hartley at (919) 996-5923 or joanie.hartley@raleighnc.gov for more information

GENERAL GRADING/DRAINAGE NOTES:

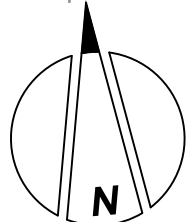
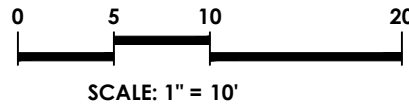
- PRIOR TO CONSTRUCTION OF THE PROPOSED STORM DRAINS, VERIFY ALL EXISTING LOCATIONS AND RIM/INVERT ELEVATIONS OF CONNECTIONS TO BOTH EXISTING AND PROPOSED STORM SYSTEM. NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN PLANS AND EXISTING CONDITIONS.
- ALL STORM DRAINAGE LINES SHALL BE CLASS III REINFORCED CONCRETE PIPE, UNLESS OTHERWISE NOTED.
- INSTALL TREE PROTECTION FENCING AT THE SAME TIME AS THE EROSION CONTROL MEASURES. MAINTAIN UNTIL ALL CONSTRUCTION IN THE VICINITY OF THE TREES IS COMPLETED.
- LOCATE TREE PROTECTION MEASURES SO THAT THEY MAINTAIN A 6 FOOT RADIUS AROUND EXISTING PLANTS OR PROVIDE A 1.25-FOOT RADIUS FOR EACH 1-INCH DIAMETER OF TREES (MEASURES AT A POINT 4 1/2 FEET ABOVE GROUND) WHICHEVER IS GREATER. SEE C200 & C210 FOR TREE PROTECTION FENCING DETAILS.
- NO STORAGE OF MATERIALS, FILL OR EQUIPMENT SHALL BE ALLOWED WITHIN THE PROTECTED AREA. POST NO TRESPASSING SIGNS ON THE PROTECTION FENCING.
- AT THE START OF GRADING INVOLVING THE LOWERING OF THE EXISTING GRADE AROUND A TREE OR THE STRIPPING OF TOPSOIL, MAKE A CLEAN, SHARP, VERTICAL CUT AT THE EDGE OF THE TREE SAVE AREA AT THE SAME TIME AS OTHER EROSION CONTROL MEASURES ARE INSTALLED. INSTALL THE TREE PROTECTION FENCING ON THE SIDE FARTHEST AWAY FROM THE TREE TRUNKS.
- THE PROJECT WILL BE EXEMPT FROM ARTICLE 9.2 STORMWATER MANAGEMENT BECAUSE THE RESULTING LOT IS LESS THAN ONE-HALF ACRE (P.2.2A.1.B.III); THEREFORE, NO STRUCTURAL STORMWATER CONTROL MEASURES OR STORMWATER RUNOFF ANALYSIS WILL BE REQUIRED FOR THE PROJECT.
- SIDEWALKS SHALL HAVE A MAXIMUM CROSS SLOPE OF 2% AND A MAXIMUM LONGITUDINAL SLOPE OF 5%.
- ALL SPOT ELEVATIONS ARE BOTTOM OF CURB UNLESS OTHERWISE NOTED.
- ALL RAMP SHALL BE CONSTRUCTED PER ADA GUIDELINES AND CITY OF RALEIGH DETAILS AND SPECIFICATIONS. NOTIFY ENGINEER IF EXISTING GRADES THAT PREVENT COMPLIANCE WITH GUIDELINES OR DETAILS/SPECIFICATIONS.
- PERMEABLE PAVEMENT / PAVERS SHALL BE USED FOR ALL ON-SITE DRIVE AISLES AND PARKING AREAS.

GENERAL UTILITY NOTES

- INSTALL ALL UTILITIES IN ACCORDANCE WITH THE CITY OF RALEIGH STANDARDS AND SPECIFICATIONS, INCLUDING TRANSITION COUPLINGS.
- FIELD VERIFY ALL EXISTING UTILITIES LOCATIONS AND INVERTS PRIOR TO CONSTRUCTION.
- ALL POWER, TELEPHONE, AND GAS SERVICES SHALL BE UNDERGROUND. COORDINATE ACCESS SERVICE ROUTES WITH THE UTILITY COMPANIES.
- LOCATION OF THE EXISTING UTILITIES IS APPROXIMATE AND MUST BE VERIFIED IN THE FIELD PRIOR TO ANY CONSTRUCTION. NOTIFY THE CITY OF RALEIGH AND NC ONECALL TO REQUEST FIELD LOCATION OF SERVICES.
- ALL WATER MAINS 3" AND LARGER SHALL BE DUCTILE IRON PIPE PER AWWA C151, AND DOMESTIC LINES LESS THAN 3" SHALL BE TYPE "K" COPPER PER ASTM B88.
- LOCATION OF SITE LIGHTING IS SCHEMATIC AND MAY CHANGE BASED ON FINAL FIXTURES SELECTED.
- ALL VALVES SHALL BE GATE VALVES AND SHALL BE LOCATED IN TRAFFIC BEARING VALVE BOXES FOR 8" AND SMALLER SIZE VALVE.
- WATER METERS AND DOMESTIC LINES TO BE SIZED AT THE CONSTRUCTION DRAWING STAGE. POSITIVE DRAINS FOR LARGER METERS WILL BE PROVIDED AT THAT TIME IF NECESSARY.
- PROVIDE FIRE PLANS EXAMINER ONE COPY OF UTILITY CONSTRUCTION DRAWINGS, SHOWING UNDERGROUND PIPING LAYOUT AND ALL FIRE APPURTENANCES. PERMIT FOR INSTALLATION OF PRIVATE FIRE HYDRANT(S) MUST BE ISSUED BY FIRE PLANS EXAMINER PRIOR TO INSTALLATION OF SAID HYDRANTS.
- ALL NEW FIRE HYDRANTS MUST BE PROVIDED WITH 5 INCH DIAMETER STORZ CONNECTIONS.
- UTILITY SERVICE AREAS LOCATED OUTSIDE OF THE PUBLIC RIGHT-OF-WAY THAT EXCEED 42" IN HEIGHT AND 42" IN ANY OTHER DIMENSIONS MUST BE SCREENED FROM THE PUBLIC RIGHT-OF-WAY AS PER UDO SEC 7.2.5.
- FIRE LINE BACKFLOW ASSEMBLY SHALL BE A 6" WATTS 909DDC RPDA OR CITY OF RALEIGH APPROVED EQUAL.
- DOMESTIC BACKFLOW ASSEMBLY SHALL BE A 3/4" WATTS 009MZQT RP2 OR CITY OF RALEIGH APPROVED EQUAL.



1 C300 UTILITIES AND GRADING/DRAINAGE PLAN SCALE: 1"=10'



PIN: 1713252472
RID: 0451492

PIN: 1713252477
RID: 0046464

DEVELOPMENT SUMMARY:

SITE SUMMARY
GROSS LAND AREA: 12,541.16 SF (0.287 AC)
TIPTON ST ROW DEDICATION: 1,405.68 SF (0.032 AC)
CUMBERLAND ST ROW DEDICATION: 1,254.16 SF (0.029 AC)
NET LAND AREA: 9,882.91 SF (0.227 AC)
AREA OF DISTURBANCE: 11,620.10 SF (0.267 AC)
EXISTING ZONING: NK-3
PROPOSED ZONING: RESIDENTIAL-ATTACHED HOUSE
EXISTING USE: RESIDENTIAL-TOWNHOME
PROPOSED USE:

LOT SUMMARY
MAXIMUM BUILDING HEIGHT: 50' / 3 STORIES
TOTAL LOTS: 5

BUILDING SUMMARY
UNIT TYPE: 3 BEDROOM UNITS
UNIT DIMENSION: 20' X 28.5'
UNIT QUANTITIES: 80.50 / 112.47 = 71.57%

PARKING SUMMARY
REQ. 1 SPACE PER BEDROOM: 3 BEDROOM UNITS
PARKING PROVIDED PER UNIT: 1 GARAGE SPACES & 2 DRIVEWAY SPACES
REQ. SHORT-TERM BICYCLE PARKING 1/20 UNITS (MIN.4)
PROPOSED BICYCLE PARKING 4

IMPERVIOUS SUMMARY

LOT NUMBER	LOT AREA SF	NOTE: SIDEWALK, PAVEMENT	10% OF PERMEABLE PAVEMENT AREA SF	IMPERVIOUS AREA SF	GRASS AREA SF	PERVIOUS PAVEMENT AREA SF	IMPERVIOUS AREA PERCENTAGE
LOT 1	4,002.74	3,304.86	337.83	2,443.07	1,165.59	553.35	60.74%
LOT 2	3,434.57	243.49	166.70	930.39	64.30	666.78	63.78%
LOT 3	3,405.27	738.95	164.74	899.69	62.31	656.95	61.38%
LOT 4	3,454.55	738.95	164.74	899.69	62.31	656.95	61.38%
LOTS	14,297.13	714.49	166.70	930.39	63.96	666.78	61.38%

*20% OF PERMEABLE PAVEMENT IS ACCOUNTED TOWARD THE IMPERVIOUS SURFACES (PER NC DEG ARCHIVED STORMWATER DESIGN MANUAL CHAPTER 18).

OPEN SPACE SUMMARY
REQUIRED AMENITY AREA: 989 SF (10.07%)
PROPOSED AMENITY AREA: 1,200 SF (12.1%)



HORVATH ASSOCIATES

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NORTH CAROLINA BOARD OF EXAMINERS FOR ENGINEERS AND SURVEYORS LICENSE NO.: C-0676

www.horvathassociates.com

CUMBERLAND ST TOWNHOMES
624-628 CUMBERLAND STREET
WAKE COUNTY
RALEIGH, NORTH CAROLINA

UTILITIES AND GRADING/DRAINAGE PLAN

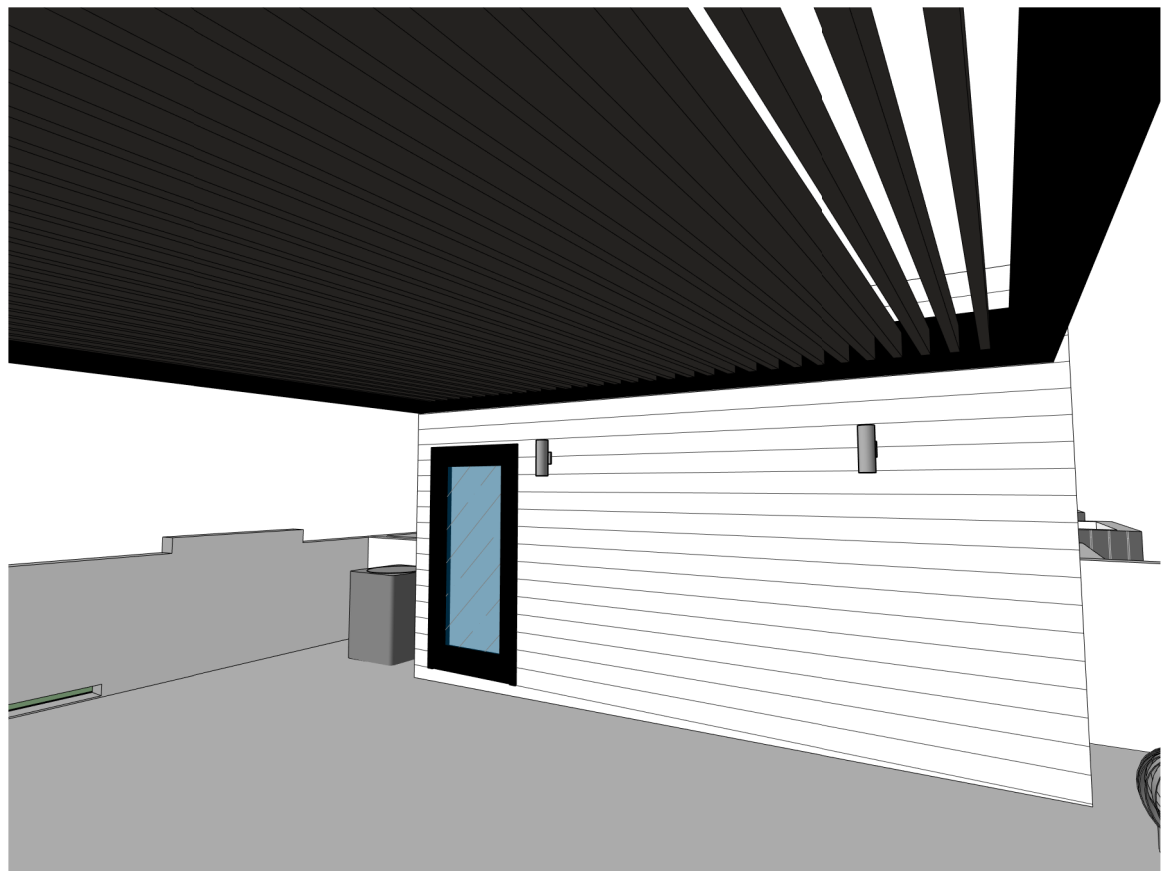
	10.04.2019	
1	REVISIONS PER C&R COMMENTS	RV
2	12.04.2019	
	REVISIONS PER C&R COMMENTS	RV

DRAWN BY: RV CHECKED BY: RV
DATE: MARCH 13, 2019
SCALE: AS NOTED
PROJECT NO: 1837A
SHEET NO.

C300

<PRELIMINARY PLAN>





ROOF DECK VIEW (SHOWN FOR REFERENCE)

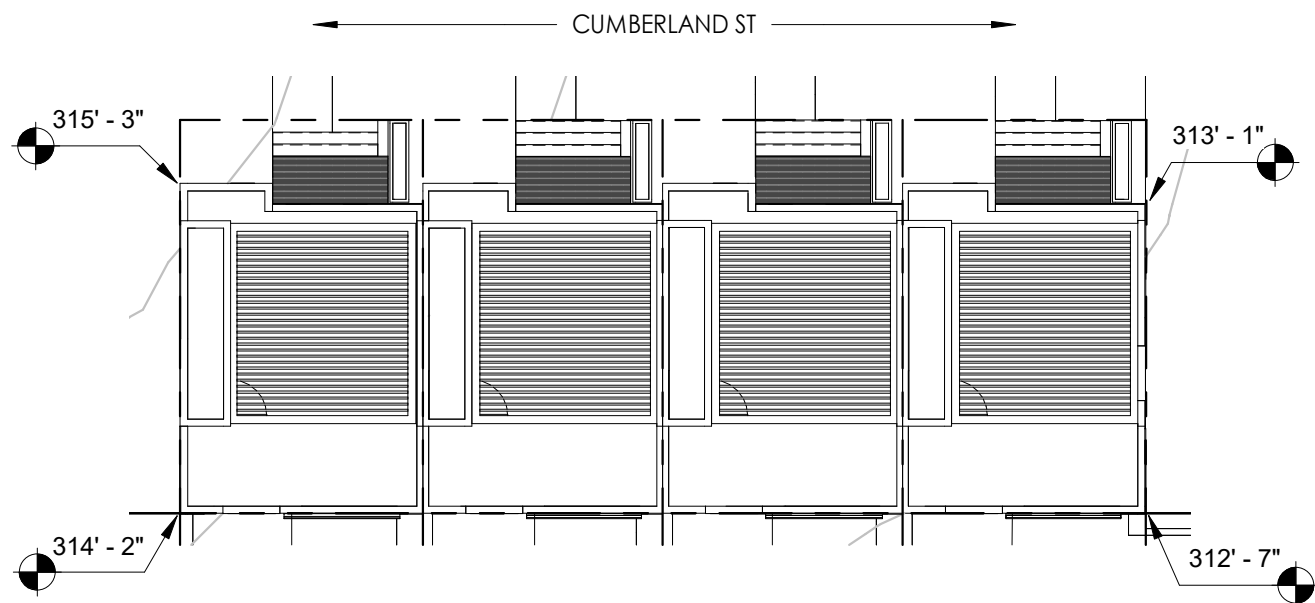


PERSPECTIVE (SHOWN FOR REFERENCE)

MATERIAL SCHEDULE - EXTERIOR				
MARK	MANUFACTURER	PRODUCT	COLOR	COMMENTS
MT-1	ATAS INTERNATIONAL, INC	COLONIAL SEAM (CLIPLESS, ONE-PIECE)	"CHARCOAL GREY"	OR APPROVED EQUAL
PT-1	SHERWIN WILLIAMS	SW 6258	"TRICORN BLACK"	OR APPROVED EQUAL
SF-1	JAMES HARDIE	HARDIE PLANK	"ARCTIC WHITE"	OR APPROVED EQUAL
WD-1	AMERICAN CEDAR	NUCEDAR SHIPLAP	"CEDAR" (ROUGH SAWN)	OR APPROVED EQUAL

- GENERAL NOTES - ELEVATIONS
1. REFER TO G001 FOR GENERAL PROJECT NOTES.
 2. REFER TO G002 FOR GENERAL SPECIFICATIONS.
 3. REFER TO A601 FOR DOOR AND WINDOW SCHEDULES.
 4. REFER TO A602 FOR STANDARD PARTITION AND WALL TYPES.
 5. ALL NOTES IN ELEVATION VIEWS ARE TYPICAL FOR SIMILARLY SHOWN ELEMENTS, UNLESS NOTED OTHERWISE.
 6. BUILDING ELEVATION SHEETS SHOW OVERALL ELEVATIONS; REFER TO ENLARGED SECTIONS AND TYPICAL EXTERIOR WALL DETAILS FOR ADDITIONAL INFORMATION.

- NOTE
1. BUILDING COMPLIES WITH ALL HEIGHT REQUIREMENTS AS DESCRIBED IN RALEIGH, NORTH CAROLINA UNIFIED DEVELOPMENT ORDINANCE
 2. EXISTING SITE GRADE TO REMAIN UNCHANGED
 3. AVERAGE PRE GRADE LEVEL: 313' - 8"



SITE PLAN AVERAGE PRE GRADE LEVEL



1 | FRONT ELEVATION
A201 | 1/4" = 1'-0"



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CONSULTANTS

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SEAL

PROJECT ADDRESS

624-628 CUMBERLAND STREET,
RALEIGH, NORTH CAROLINA

Project

Cumberland St Townhomes

Sheet Title

EXTERIOR ELEVATIONS

Project No.

19063105

Revision

Scale

As indicated

A201

MATERIAL SCHEDULE - EXTERIOR				
MARK	MANUFACTURER	PRODUCT	COLOR	COMMENTS
MT-1	ATAS INTERNATIONAL, INC	COLONIAL SEAM (CLIPLESS, ONE-PIECE)	"CHARCOAL GREY"	OR APPROVED EQUAL
PT-1	SHERWIN WILLIAMS	SW 6258	"TRICORN BLACK"	OR APPROVED EQUAL
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SEAL

PROJECT ADDRESS

624-628 CUMBERLAND STREET,
RALEIGH, NORTH CAROLINA

Project
Cumberland St Townhomes

Sheet Title
EXTERIOR ELEVATIONS

Project No.
19063105

Revision

Scale
As indicated

A202



1 | REAR ELEVATION
A202 | 1/4" = 1'-0"

MATERIAL SCHEDULE - EXTERIOR				
MARK	MANUFACTURER	PRODUCT	COLOR	COMMENTS
MT-1	ATAS INTERNATIONAL, INC	COLONIAL SEAM (CLIPLESS, ONE-PIECE)	"CHARCOAL GREY"	OR APPROVED EQUAL
PT-1	SHERWIN WILLIAMS	SW 6258	"TRICORN BLACK"	OR APPROVED EQUAL
SF-1	JAMES HARDIE	HARDIE PLANK	"ARCTIC WHITE"	OR APPROVED EQUAL
WD-1	AMERICAN CEDAR	NUCEDAR SHIPLAP	"CEDAR" (ROUGH SAWN)	OR APPROVED EQUAL

GENERAL NOTES - ELEVATIONS

1. REFER TO G001 FOR GENERAL PROJECT NOTES.
2. REFER TO G002 FOR GENERAL SPECIFICATIONS.
3. REFER TO A601 FOR DOOR AND WINDOW SCHEDULES.
4. REFER TO A602 FOR STANDARD PARTITION AND WALL TYPES.
5. ALL NOTES IN ELEVATION VIEWS ARE TYPICAL FOR SIMILARLY SHOWN ELEMENTS, UNLESS NOTED OTHERWISE.
6. BUILDING ELEVATION SHEETS SHOW OVERALL ELEVATIONS; REFER TO ENLARGED SECTIONS AND TYPICAL EXTERIOR WALL DETAILS FOR ADDITIONAL INFORMATION.

NOTE

1. BUILDING COMPLIES WITH ALL HEIGHT REQUIREMENTS AS DESCRIBED IN RALEIGH, NORTH CAROLINA UNIFIED DEVELOPMENT ORDINANCE
2. EXISTING SITE GRADE TO REMAIN UNCHANGED
3. AVERAGE PRE GRADE LEVEL: 313' - 8"



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CONSULTANTS

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SEAL

PROJECT ADDRESS

624-628 CUMBERLAND STREET,
RALEIGH, NORTH CAROLINA

Project
Cumberland St Townhomes

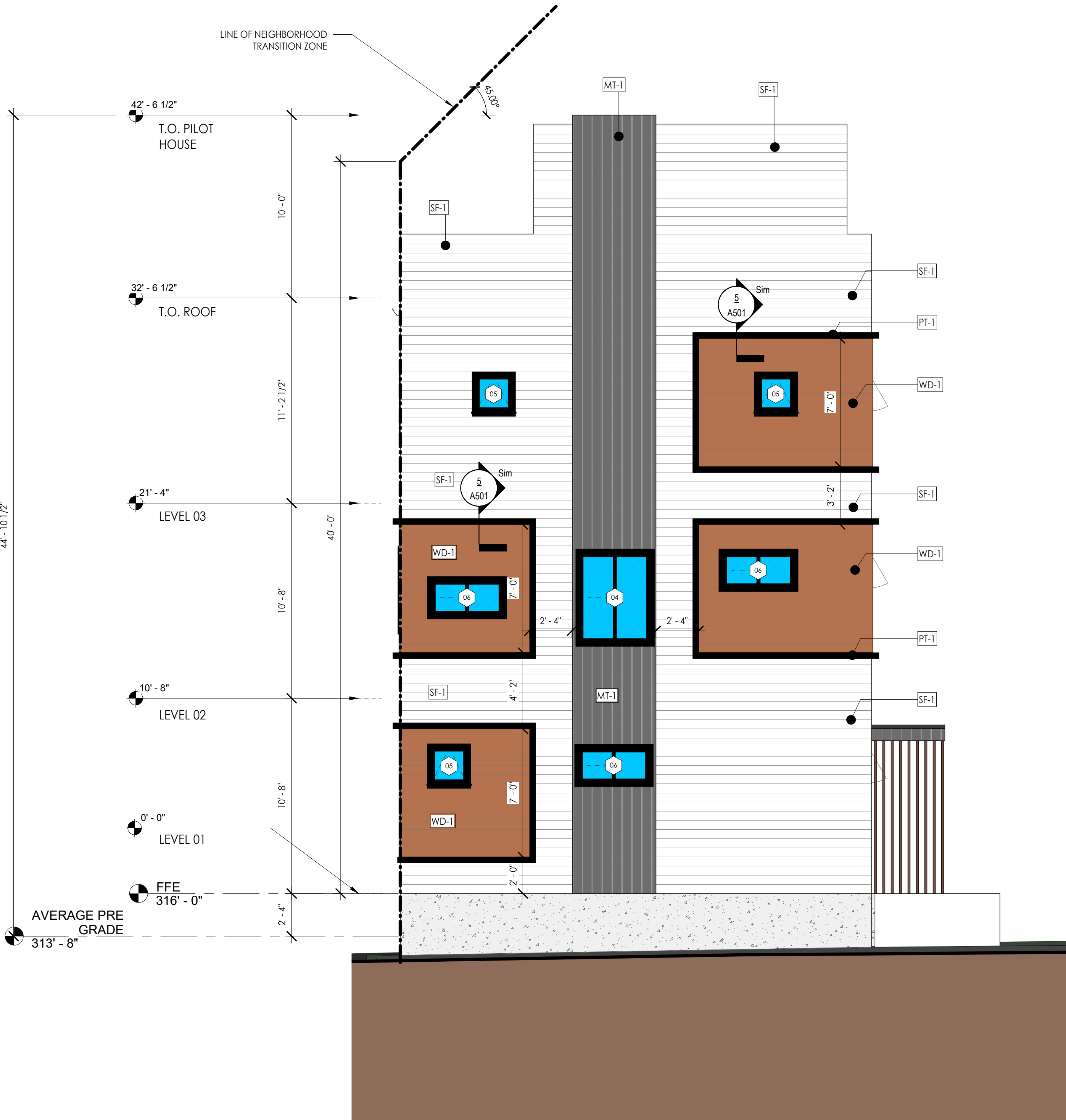
Sheet Title
EXTERIOR ELEVATIONS

Project No.
19063105
Revision

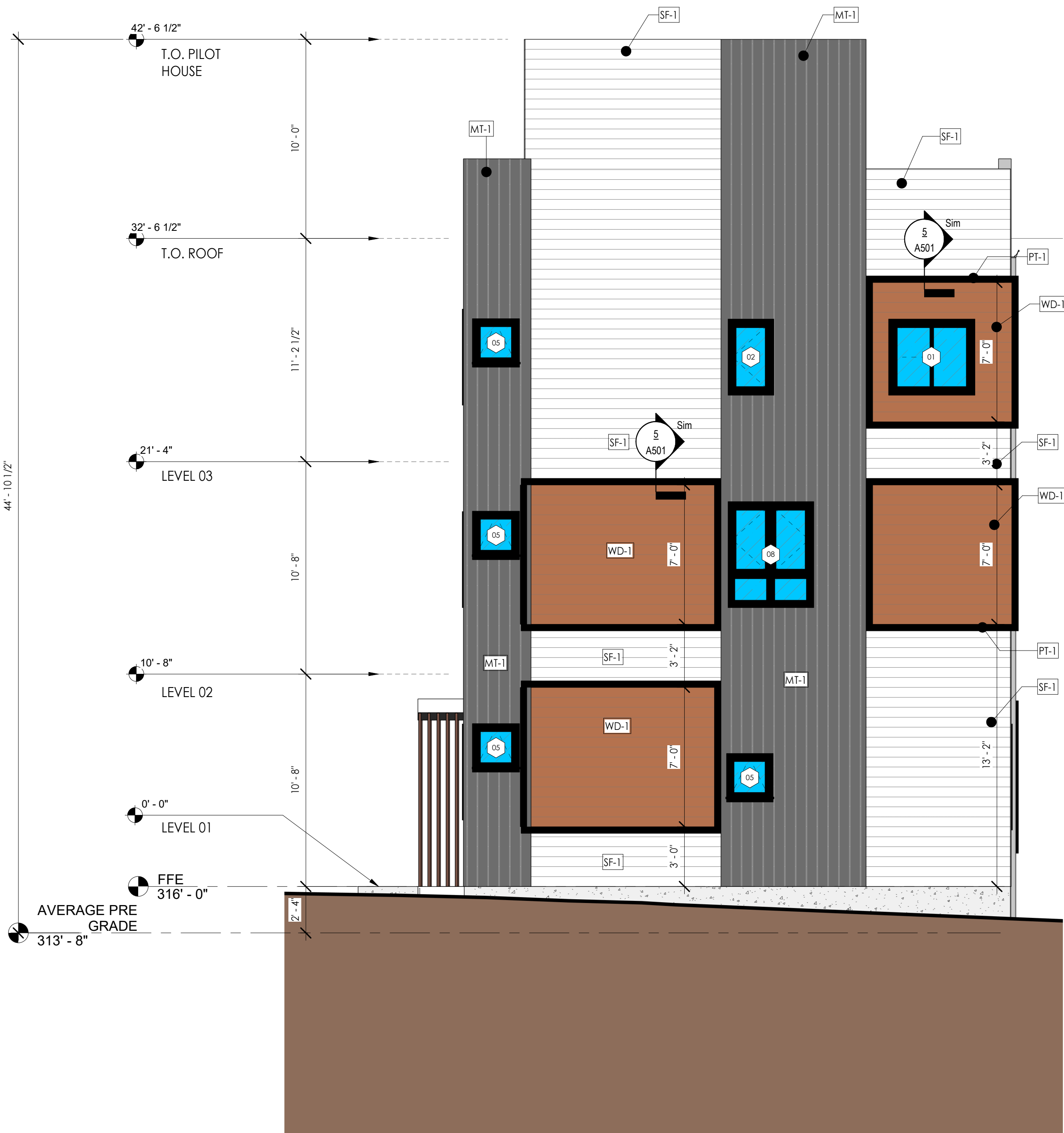
Drawing No.

A203

Scale
As indicated



2 | EAST ELEVATION
A203 | 1/4" = 1'-0"



1 | WEST ELEVATION
A203 | 1/4" = 1'-0"