



Administrative Approval Action

Case File / Name: SUB-S-27-2018
Milltown (S-27-18)

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: The site is generally located on the southeast side of Edwards Mill Road north of Glen Eden Drive with common street addresses of 4020 and 4024 Edwards Mill Road.

REQUEST: Conventional subdivision of approximately 7.45 acres zoned R-10-CU (Z-9-17) to create 47 lots for development of 44 townhomes and three open lots (47 lots total)

Administrative Alternate (AAD-21-18) approved allowing the minimum build-to for Block 1 and Block 3 to be achieved with a combination of building façade and designated amenity area along Milltown Ridge Run.

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated March 9, 2020 by CE GROUP.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

Engineering

1. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to Development Services – Development Engineering prior to concurrent review approval.
2. A right-of-way obstruction permit must be obtained from Right-of-way Services prior to the commencement of any construction activities within the right-of-way.

Public Utilities

3. A Downstream Sewer Capacity Study in compliance with the City of Raleigh Public Utilities Department Handbook shall be submitted by the Project Engineer for review and approval.
4. The Developer shall provide a letter or e-mail from any Private Utility Company authorizing new water and sewer main encroachments across existing transmission easements prior to concurrent approval.

Stormwater



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5. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
6. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).

Urban Forestry

7. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.
8. Submit a final tree conservation plan that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required (UDO 9.1.5).

☒ **LEGAL DOCUMENTS** - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Utility Placement Easement Required
<input checked="" type="checkbox"/>	Slope Easement Required

<input checked="" type="checkbox"/>	City Code Covenant Required
<input checked="" type="checkbox"/>	Stormwater Maintenance Covenant Required

☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

General

1. Street names for this development shall be approved by the Raleigh GIS Division and by Wake County.
2. The City Code Covenant shall be approved by the City and recorded with the county register of deeds office where the property is located and a copy of the recorded document shall be provided to the City by the end of the next business day following the recordation of the final plat. Further recordings and building permits will be withheld if the recorded document is not provided to the City.
3. A demolition permit shall be issued and this building permit number shown on all maps for recording.

Engineering

4. A fee-in-lieu for 1' of sidewalk along the frontage on Edwards Mill Road is paid to the City of Raleigh (UDO 8.1.10).



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5. A 5' utility placement easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.
6. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.
7. A public infrastructure surety is provided to the City of Raleigh Development Services – Development Engineering program (UDO 8.1.3).
8. A fee-in-lieu for the extension of the street and sidewalk of Emerald Green Road is paid to the City of Raleigh (UDO 8.1.10).
9. A fee-in-lieu for extension of the street and sidewalk of Milltown Ridge Run is paid to the City of Raleigh (UDO 8.1.10).
10. Slope easements and associated deeds of easement shall be approved by the City and the location of the easements shall be shown on the map approved for recordation. The deeds of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.

Public Utilities

11. Infrastructure Construction Plans (concurrent submittal) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.

Stormwater

12. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
13. The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office (UDO 9.2.2.G).
14. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).
15. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).

Urban Forestry



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16. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1). This development proposes 0.744 acres of tree conservation area.
17. A public infrastructure surety for street trees is provided to the City of Raleigh Development Services – Development Engineering program (UDO 8.1.3).

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

Public Utilities

1. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

Urban Forestry

2. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 8 street trees along Edwards Mill Road, 30 street trees along Milltown Ridge Run, and 7 street trees along Emerald Green Road, for a total of 45 street trees.

The following are required prior to issuance of building occupancy permit:

General

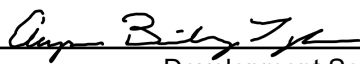
1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.

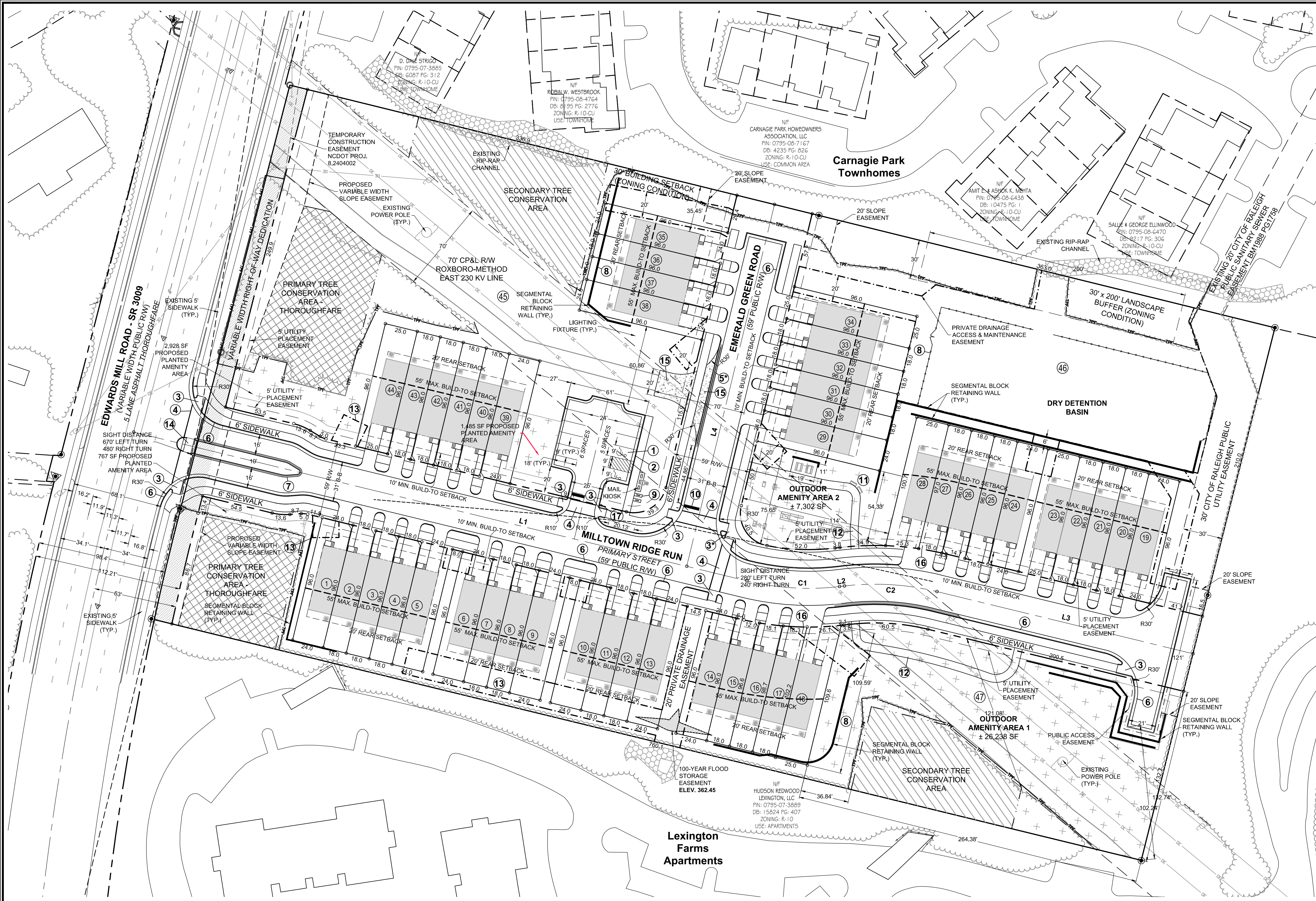
EXPIRATION DATES: If significant construction has not taken place on a project after preliminary subdivision approval, that approval may "sunset" and be declared void, requiring re-approval before permits may be issued. To avoid allowing this preliminary approval to "sunset", the following must take place by the following dates:

3-Year Sunset Date: April 8, 2023
Record at least ½ of the land area approved.

5-Year Sunset Date: April 8, 2025
Record entire subdivision.

I hereby certify this administrative decision.

Signed:  Date: 04/08/2020
Development Services Dir/Designee
Staff Coordinator: Daniel Stegall



SITE DATA	
OWNER INFO:	ASHLEY ELIZABETH GRADY TRUSTEE LYNDA LUE TERRELL-REA TRUSTEE LUE S. TERRELL TRUSTEE
PINS:	0795-08-2452 & 0795-08-4504
ADDRESSES:	4020 & 4024 EDWARDS MILL RD. RALEIGH, NC 27612
DEED BOOK:	16549 PG 1360 12493 PG 2455
SITE AREA:	324,429 SF / ± 7.45 Ac.
15' ROW DEDICATION:	6,301 SF / ± 0.14 Ac.
NET SITE AREA:	318,128 SF / ± 7.30 Ac.
ZONING:	R-10-CU
EXISTING USE:	S/F RESIDENTIAL & VACANT
SETBACKS:	FRONT- 10' SIDE- 0' or 6' REAR- 20'
PROPOSED USE:	TOWNHOMES (3 BEDROOM MAX)
PROPOSED LOTS:	44 DWELLING UNITS & 3 OPEN LOTS = 47 LOTS TOTAL
DENSITY:	6.03 UNITS / AC
MAX BLDG HEIGHT:	45' (3 STORIES)
EXISTING IMPERVIOUS AREA :	0.098 Ac. \ 4,252 SF
PROPOSED IMPERVIOUS AREA :	2.694 Ac. \ 117,369 SF (36.9%)
REQUIRED OUTDOOR AMENITY AREA :	10% OF SITE = ± 31,813 SF
PROVIDED OUTDOOR AMENITY AREA :	± 39,106 SF (12.3% OF SITE)
PARKING:	REQUIRED PARKING: 1 SPACE / BEDROOM + 1 VISITOR SPACE / 10 UNITS 44 - 2 BEDROOM UNITS = 88 SPACES 44 UNITS = 5 VISITOR SPACES REQUIRED TOTAL REQUIRED SPACES = 93 SPACES
PARKING PROVIDED:	2 BEDROOM UNIT W/ 1 GARAGE SPACES = 44 SPACES DRIVEWAY SPACES - 44 UNITS = 44 SPACES PARKING LOT = 11 SPACES TOTAL PROVIDED SPACES = 99 SPACES
REQUIRED BICYCLE SPACES:	1 SPACE / 20 UNITS = 2 SPACES (4 MIN.)
PROVIDED BICYCLE SPACES:	4 SPACES
TREE CONSERVATION AREA	
PRIMARY TREE CONSERVATION AREA:	15,128 SF, 0.350 Ac.
SECONDARY TREE CONSERVATION AREA:	17,160 SF, 0.394 Ac.
TOTAL TREE CONSERVATION AREA	32,403 SF, 0.744 Ac. (10.2% OF SITE)

- GENERAL NOTES**
- EXISTING UNDERGROUND STRUCTURES AND UTILITIES SHOWN ARE BASED ON FIELD SURVEYS AND BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL FIELD VERIFY CONDITIONS, INCLUDING THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES, PRIOR TO STARTING CONSTRUCTION AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
 - THE CONTRACTOR SHALL CONTACT NORTH CAROLINA ONE CALL AT 1-800-632-4949 AND THE CITY OF RALEIGH UTILITIES. THE CONTRACTOR SHALL CALL AT LEAST 48 HOURS PRIOR TO ANY DIGGING.
 - ALL CONSTRUCTION SHALL BE IN CONFORMANCE TO THE CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
 - ALL WATER AND SANITARY SEWER INSTALLATION SHALL BE IN CONFORMANCE WITH THE CITY OF RALEIGH PUBLIC UTILITY DEPARTMENT STANDARDS AND SPECIFICATIONS.
 - ALL WORK WITHIN THE N.C.D.O.T. RIGHT-OF-WAY SHALL CONFORM TO N.C.D.O.T. STANDARDS AND SPECIFICATIONS.
 - THE SUBJECT PROPERTY IS NOT LOCATED IN A FLOOD HAZARD AREA PER FEMA FIRM PANEL MAP NUMBER 37007850J DATED MAY 2, 2006.
 - BOUNDARY, TOPOGRAPHIC, AND TREE INFORMATION TAKEN FROM SURVEY PREPARED BY MATTHEW A. HAYES, PLS #4516 FOR MSS LAND CONSULTANTS, DATED JUNE 22, 2018.
 - WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN 2 FEET AND 8 FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN WHOLE OR PART. OBSTRUCTIONS INCLUDE, BUT ARE NOT LIMITED TO ANY BERM, FOLIAGE, FENCE, WALL, SIGN, OR PARKED VEHICLE.
 - ALL HVAC UNITS SHALL BE SCREENED FROM VIEW OF THE PUBLIC RIGHT-OF-WAY.
 - HANDICAP PARKING SPACES AND ACCESS AISLES SHALL BE NO GREATER THAN TWO PERCENT (2%) SLOPE IN ANY DIRECTION AS PER ADA STANDARDS.
 - PROVIDE STRIPING AND SIGNAGE OF HANDICAP SPACES PER ADA STANDARDS.
 - ALL RETAINING WALLS GREATER THAN 30" IN HEIGHT TO INCLUDE SAFETY RAIL OR FENCE. NO RETAINING WALLS ARE PERMITTED IN THE RIGHT-OF-WAY UNLESS APPROVED BY ENCROACHMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION).

SITE NOTES

- ① HANDICAP ACCESSIBLE PARKING - ALL SPACES
- ② PROVIDE VAN ACCESSIBLE ON LEFT SIDE
- ③ HANDICAP PARKING SIGNAGE
- ④ TYPE N-1 OR R-1 HANDICAP ACCESS CURB RAMPS
- ⑤ ACCESS RAMP PER C.O.R. DETAIL T-20.01.7
- ⑥ PEDESTRIAN CROSSING
- ⑦ 24" STANDARD CURB & GUTTER
- ⑧ 24" VALLEY CURB & GUTTER
- ⑨ 30" CURB & GUTTER
- ⑩ 18" MEDIAN CURB
- ⑪ 4" BLACK ALUMINUM DECORATIVE FENCE
- ⑫ BICYCLE RACK
- ⑬ STOP SIGN AND BAR
- ⑭ MOVABLE CONCRETE BENCH (SEE AMENITY PLAN)
- ⑮ 6" ASPHALT PATH
- ⑯ PRIVATE DRIVEWAY EASEMENT
- ⑰ REINFORCED CONCRETE FIRE APPARATUS TURN AROUND
- ⑱ 5' PRIVATE DRIVEWAY EASEMENT
- ⑲ "TRANSIENT PARKING" ONLY SIGN

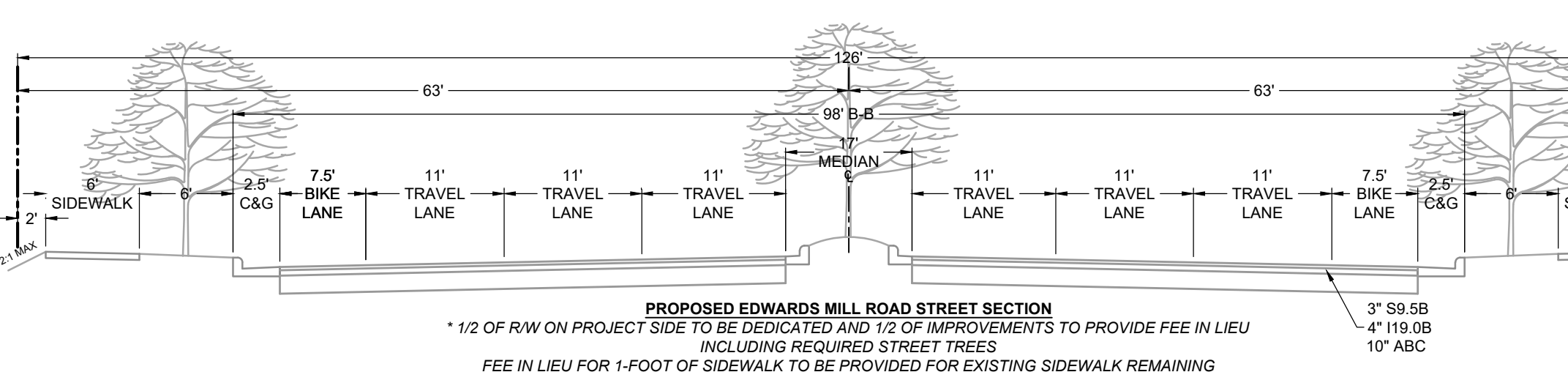
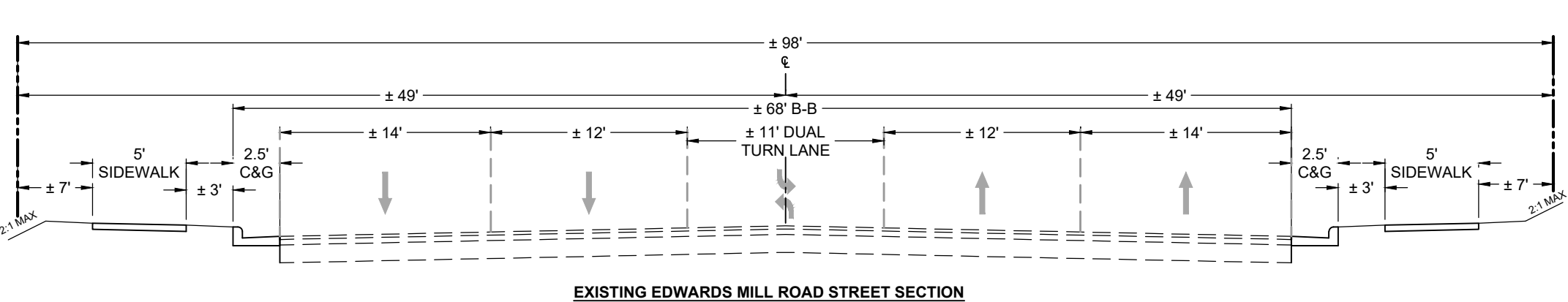
LEGEND

- PRIMARY TREE CONSERVATION AREA
- SECONDARY TREE CONSERVATION AREA
- RIGHT-OF-WAY DEDICATION
- OUTDOOR AMENITY AREA
- SS - SANITARY SEWER MAIN
- W - WATER MAIN
- G - GAS MAIN
- FO - FIBER OPTIC
- OE - OVERHEAD ELECTRIC
- UE - UNDERGROUND ELECTRIC
- POWER POLE
- POWER POLE W/ LIGHT
- EXISTING IRON PIPE
- FIRE HYDRANT
- GATE VALVE
- EXISTING WATER METER

ROADWAY CENTERLINE LINE TABLE		
LINE	LENGTH	BEARING
L1	480.759	S31° 21' 28.30"E
L2	3.772	S51° 41' 48.66"E
L3	200.657	S31° 21' 28.30"E
L4	283.647	N58° 38' 31.70"E

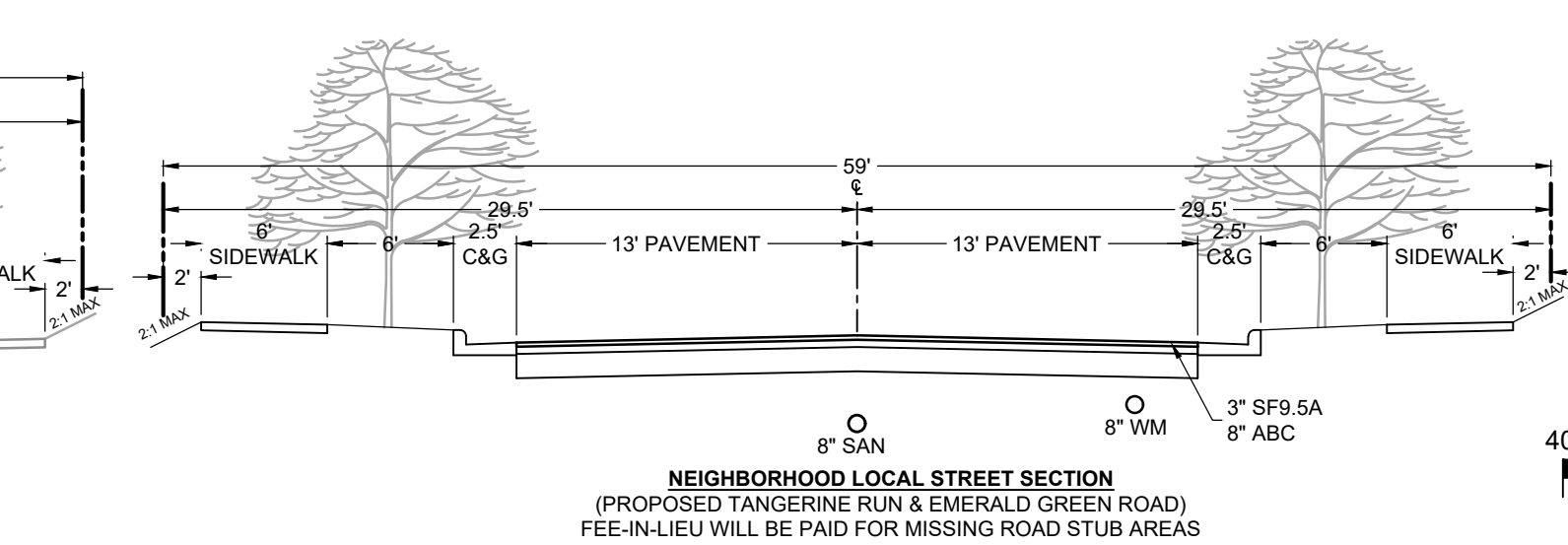
ROADWAY CENTERLINE CURVE TABLE			
CURVE	LENGTH	RADIUS	CHORD BEARING
C1	70.996	200.000	S41° 31' 38.48"E
C2	70.996	200.000	N41° 31' 38.48"W

LOT AREA TABLE					
LOT	AREA (SF)	AREA (AC)	LOT	AREA (SF)	AREA (AC)
1	2,304	0.053	25	1,728	0.040
2	1,728	0.040	26	1,728	0.040
3	1,728	0.040	27	1,735	0.040
4	1,728	0.040	28	2,465	0.057
5	2,304	0.053	29	2,304	0.053
6	2,304	0.053	30	1,728	0.040
7	1,728	0.040	31	1,728	0.040
8	1,728	0.040	32	1,728	0.040
9	2,304	0.053	33	1,728	0.040
10	2,304	0.053	34	2,400	0.055
11	1,728	0.040	35	2,304	0.053
12	1,728	0.040	36	1,728	0.040
13	2,304	0.053	37	1,728	0.040
14	2,304	0.053	38	2,304	0.053
15	1,731	0.040	39	2,304	0.053
16	1,755	0.040	40	1,728	0.040
17	1,805	0.041	41	1,728	0.040
18	2,640	0.061	42	1,728	0.040
19	2,304	0.053	43	1,728	0.040
20	1,728	0.040	44	2,400	0.055
21	1,728	0.040	45	66,134	1.518
22	1,728	0.040	46	52,897	1.214
23	2,400	0.055	47	51,168	1.175
24	2,304	0.053			



WEEKDAY ADT GENERATED BY TOWNHOUSE/CONDO ITE CODE 230
44 UNITS X 5.81 ADT/UNIT = 256 AVERAGE DAILY TRIPS

NOTE: MINIMUM CORNER CLEARANCE FROM CURB LINE OF INTERSECTION OF STREETS SHALL BE AT LEAST TWENTY (20) FEET FROM THE POINT OF TANGENCY



SOLID WASTE INSPECTION STATEMENT

1. SOLID WASTE SERVICES ARE TO BE PROVIDED BY CITY OF RALEIGH.

2. THE DEVELOPER WILL COMPLY WITH ALL REQUIREMENTS SET FORTH IN THE SOLID WASTE MANUAL.

3. THIS PROJECT SHALL UTILIZE 96 GAL. ROLL-OUT CARTS FOR SOLID WASTE AND RECYCLING, AND SHALL BE STORED IN GARAGES.

PRELIMINARY DESIGN

NOT RELEASED
FOR CONSTRUCTION

REVISIONS	
NO.	DATE
4	REVISED PER CITY OF RALEIGH 5TH REVIEW COMMENTS
3	REVISED PER CITY OF RALEIGH 4TH REVIEW COMMENTS
2	REVISED PER CITY OF RALEIGH 3RD REVIEW COMMENTS
1	REVISED PER CITY OF RALEIGH 1ST REVIEW COMMENTS

CE GROUP

301 GLENWOOD AVE. 220
RALEIGH, NC 27603
PHONE: 919-367-8790
FAX: 919-322-0032

www.cegroupinc.com

License # C-1739

MILLTOWN

PRELIMINARY DEVELOPMENT PLANS

SUBDIVISION PLAN

RALEIGH, NORTH CAROLINA

Date: 12/31/19

Scale: 1" = 40'

Drawn: ACS

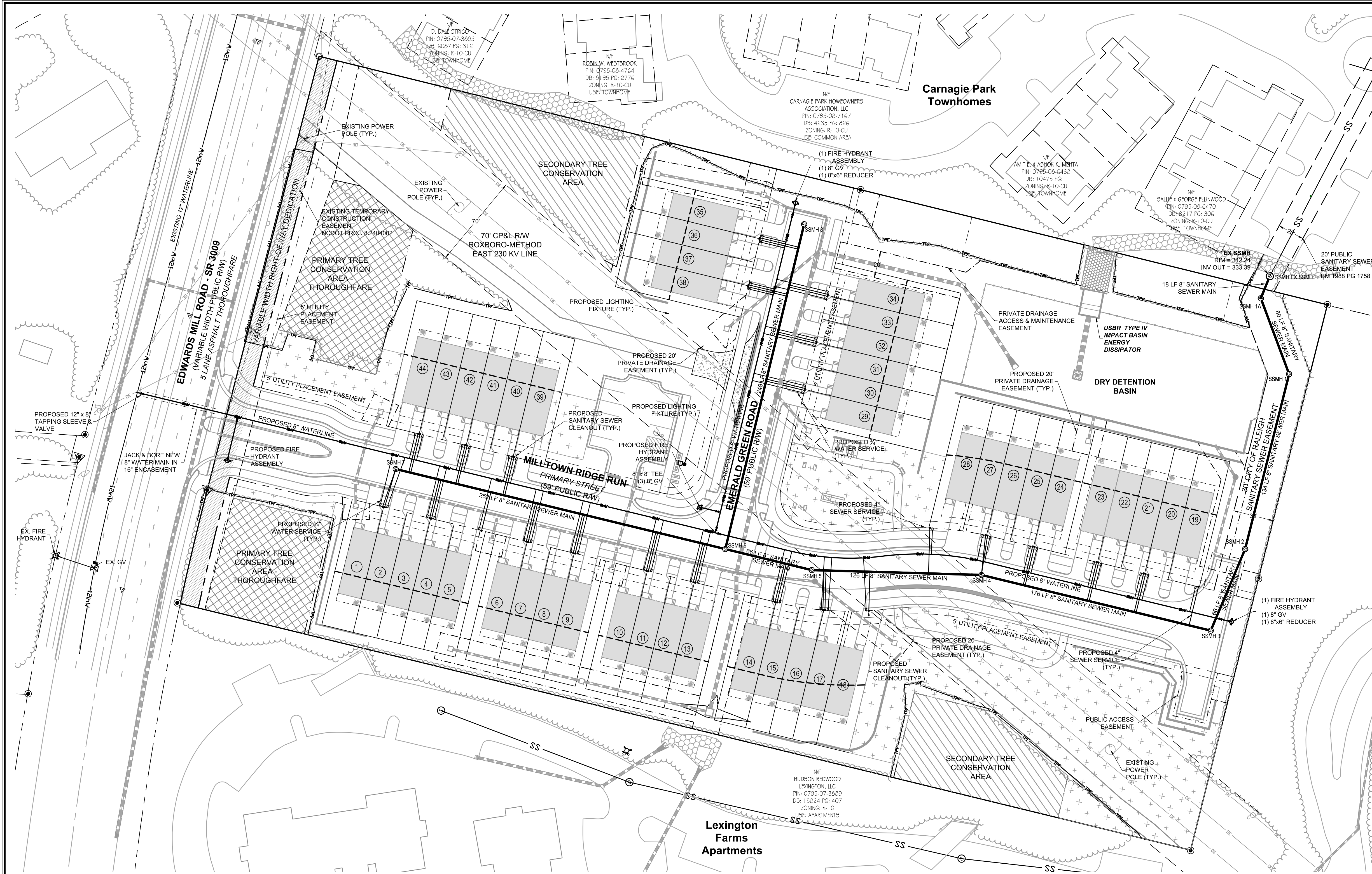
Checked: AJF

Project No: 127-304

Computer: Dwg. Name
127-304 subdivision plan

Sheet No:

5 Of



OWNER INFO:

PINS:

ADDRESSES:

DEED BOOK:

SITE AREA:

15' ROW DEDICATION:

NET SITE AREA:

ZONING:

EXISTING USE:

SETBACKS:

FRONT- 10'

SIDE- 0' or 6'

REAR- 20'

PROPOSED USE:

PROPOSED LOTS:

DENSITY:

MAX BLDG HEIGHT:

EXISTING IMPERVIOUS AREA :

PROPOSED IMPERVIOUS AREA:

REQUIRED OUTDOOR AMENITY AREA:

PROVIDED OUTDOOR AMENITY AREA:

PARKING:

REQUIRED PARKING:

PARKING PROVIDED:

REQUIRED BICYCLE SPACES:

PROVIDED BICYCLE SPACES:

TREE CONSERVATION AREA

PRIMARY TREE CONSERVATION AREA:

SECONDARY TREE CONSERVATION AREA:

TOTAL TREE CONSERVATION AREA

ASHLEY ELIZABETH GRADY TRUSTEE

LYNDA LUE TERRELL-REA TRUSTEE

LUE S. TERRELL TRUSTEE

0795-08-2452 & 0795-08-4504

4020 & 4024 EDWARDS MILL RD.

RALEIGH, NC 27612

16549 PG 1360

12493 PG 2455

324,429 SF / ± 7.45 Ac.

6,301 SF / ± 0.14 Ac.

318,128 SF / ± 7.30 Ac.

R-10-CU

S/F RESIDENTIAL & VACANT

10'

0' or 6'

20'

TOWNHOMES (3 BEDROOM MAX)

44 DWELLING UNITS & 3 OPEN LOTS - 47 LOTS TOTAL

6.03 UNITS / AC

45' (3 STORIES)

0.098 Ac. 1,452 SF

2.694 Ac. 1,117,369 SF (36.9%)

10% OF SITE - ± 31,813 SF

± 39,106 SF (12.3% OF SITE)

PARKING:

1 SPACE / BEDROOM + 1 VISITOR SPACE / 10 UNITS

44 - 2 BEDROOM UNITS = 88 SPACES

44 UNITS = 5 VISITOR SPACES REQUIRED

TOTAL REQUIRED SPACES = 93 SPACES

PARKING PROVIDED:

2 BEDROOM UNIT W/ 1 GARAGE SPACES = 44 SPACES

DRIVEWAY SPACES - 44 UNITS = 44 SPACES

PARKING LOT = 11 SPACES

TOTAL PROVIDED SPACES = 99 SPACES

1 SPACE / 20 UNITS = 2 SPACES (4 MIN.)

4 SPACES

15,128 SF, 0.350 Ac.

17,160 SF, 0.394 Ac.

32,403 SF, 0.744 Ac. (10.2% OF SITE)

REVISED PER CITY OF RALEIGH 5TH REVIEW COMMENTS

REVISED PER CITY OF RALEIGH 4TH REVIEW COMMENTS

REVISED PER CITY OF RALEIGH 3RD REVIEW COMMENTS

REVISED PER CITY OF RALEIGH 2ND REVIEW COMMENTS

REVISED PER CITY OF RALEIGH 1ST REVIEW COMMENTS

NO.

DATE

CE GROUP

301 GLENWOOD AVE. 220

RALEIGH, NC 27603

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FAX: 919-322-0032

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GENERAL NOTES

1. EXISTING UNDERGROUND STRUCTURES AND UTILITIES SHOWN ARE BASED ON FIELD SURVEYS AND BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL FIELD VERIFY CONDITIONS, INCLUDING THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES, PRIOR TO STARTING CONSTRUCTION AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.

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4. ALL WATER AND SANITARY SEWER INSTALLATION SHALL BE IN CONFORMANCE WITH THE CITY OF RALEIGH PUBLIC UTILITY DEPARTMENT STANDARDS AND SPECIFICATIONS.

5. ALL WORK WITHIN THE N.C.D.O.T. RIGHT-OF-WAY SHALL CONFORM TO N.C.D.O.T. STANDARDS AND SPECIFICATIONS.

6. THE SUBJECT PROPERTY IS NOT LOCATED IN A FLOOD HAZARD AREA PER FEMA FIRM PANEL MAP NUMBER 3720079500J DATED MAY 2, 2006.

7. BOUNDARY, TOPOGRAPHIC, AND TREE INFORMATION TAKEN FROM SURVEY PREPARED BY MATTHEW A. HAYES, PLUS K&S FOR MISS LAND CONSULTANTS, DATED JUNE 22, 2018.

8. WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN 2 FEET AND 8 FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN WHOLE OR PART. OBSTRUCTIONS INCLUDE, BUT ARE NOT LIMITED TO ANY BERM, FOLIAGE, FENCE, WALL, SIGN, OR PARKED VEHICLE.

9. ALL HVAC UNITS SHALL BE SCREENED FROM VIEW OF THE PUBLIC RIGHT-OF-WAY.

10. HANDICAP PARKING SPACES AND ACCESS AISLES SHALL BE NO GREATER THAN TWO PERCENT (2%) SLOPE IN ANY DIRECTION AS PER ADA STANDARDS.

11. PROVIDE STRIPING AND SIGNAGE OF HANDICAP SPACES PER ADA STANDARDS.

12. ALL RETAINING WALLS GREATER THAN 30" IN HEIGHT TO INCLUDE SAFETY RAIL OR FENCE. NO RETAINING WALLS ARE PERMITTED IN THE RIGHT-OF-WAY UNLESS APPROVED BY ENCROACHMENT.

13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION).

PRELIMINARY DESIGN

NOT RELEASED

FOR CONSTRUCTION

CONDITION NOTES:

1) CITY OF RALEIGH CONSTRUCTION PLAN APPROVAL REQUIRED FOR WATER AND SANITARY SEWER MAIN EXTENSIONS.

2) DOWNSTREAM SEWER CAPACITY ANALYSIS REQUIRED PRIOR TO CONSTRUCTION PLAN APPROVAL.

3) NCDOT ENCROACHMENT AGREEMENTS REQUIRED FOR ALL WORK WITHIN NCDOT RIGHT-OF-WAY.

4) NCDOT DRIVEWAY PERMIT REQUIRED FOR ROAD CONNECTION.

5) PLAT RECORDATION OF EASEMENTS AND RIGHT-OF-WAY REQUIRED AFTER CONSTRUCTION PLAN APPROVAL.

6) ENCROACHMENT AGREEMENT FROM DUKE ENERGY FOR ALL ENCROACHMENTS.

NOTES:

1. FINAL LEVELING OF POLE IS TO BE MADE THROUGH USE OF DOUBLE NUTS.

2. ALL FOUR SIDES OF POLE ARE DRILLED WITH 3 HOLES AS SHOWN IN INSERT AND WASHERS PROVIDED WITH ANCHOR BOLTS OR GALVANIZED SHIMS. ABOVE TO ACCOMMODATE A MAXIMUM OF FOUR LUMINAIRES. STEEL PLATES OR PLUG COVER EACH SIDE UNTIL UNITS ARE INSTALLED.

3. SPECIAL HANDLING OF THESE SQUARE POLES IS NECESSARY TO MINIMIZE DAMAGE TO FINISH OF POLE. A NYLON SLING SHOULD BE USED TO LIFT POLE AT ALL TIMES. CHAINS, CABLES, OR ROPES MUST NOT BE USED. A CAN OF TOUCH-UP PAINT IS INCLUDED WITH ACCESSORIES FOR EACH POLE.

4. FOLLOW MANUFACTURER'S INSTRUCTIONS FOR ASSEMBLY AND ATTACHMENT OF FIXTURE(S) AND ARM(S) TO POLE.

5. WHEN APPLICABLE, NEW POLE SHALL BE POSITIONED SUCH THAT THE HANDHOLE IS FACING AWAY FROM THE STREET.

6. FOR MULTIPLE LIGHTING CIRCUITS, CONNECT THE SOURCE AND LOAD CONDUCTORS INTO THE HANDHOLE AND CONNECT USING WIRE NUTS FOR ALL #10 CONDUCTORS OR THE STREETLIGHT CONNECTION BLOCK FOR LARGER (10 MAX.) SOURCE AND LOAD CONDUCTORS.

LEGEND

SS

W

G

FO

OE

UE

PO

PI

FI

WM

SANITARY SEWER MAIN

WATER MAIN

GAS MAIN

FIBER OPTIC

OVERHEAD ELECTRIC

UNDERGROUND ELECTRIC

POWER POLE

POWER POLE W/ LIGHT

EXISTING IRON PIPE

FIRE HYDRANT

GATE VALVE

EXISTING WATER METER

SHOEBOX LIGHTS

2 EA - DUKE ENERGY PROGRESS SHOEBOX - 220W LED - TYPE IV THROW PATTERN FULL CUTOFF- 30" MOUNTING HEIGHT

LEGEND

SS

W

G

FO

OE

UE

PO

PI

FI

WM

SANITARY SEWER MAIN

WATER MAIN

GAS MAIN

FIBER OPTIC

OVERHEAD ELECTRIC

UNDERGROUND ELECTRIC

POWER POLE

POWER POLE W/ LIGHT

EXISTING IRON PIPE

FIRE HYDRANT

GATE VALVE

EXISTING WATER METER

NORTH

40' 0 40' 80'

SCALE: 1" = 40'

MILLTOWN

PRELIMINARY DEVELOPMENT PLANS

UTILITY PLAN

RALEIGH, NORTH CAROLINA

Date:

12/03/19

Scale:

1" = 40'

Drawn:

ACS

Checked:

AJF

Project No:

127-304

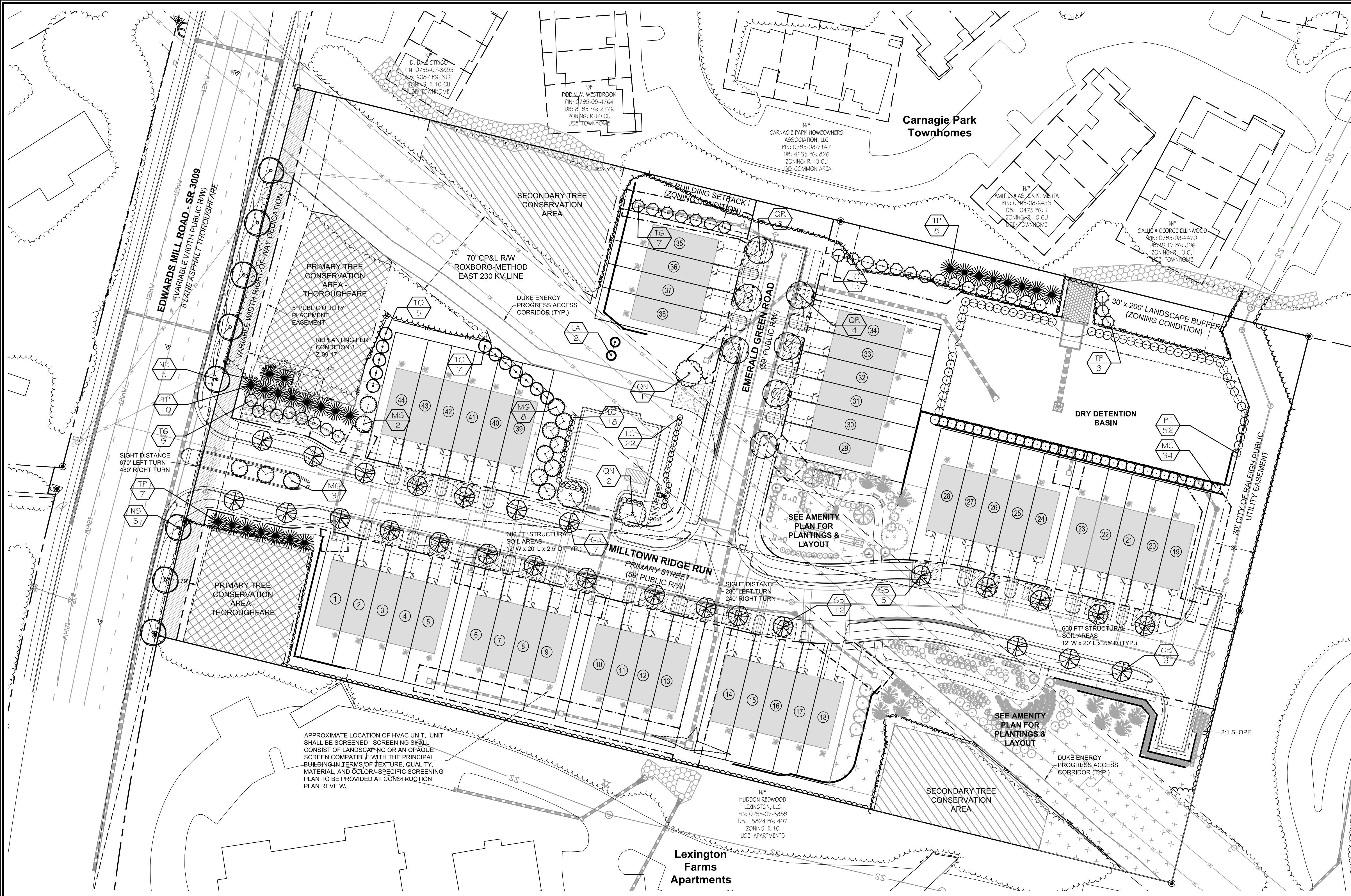
Computer Dwg. Name:

127-304 utility plan

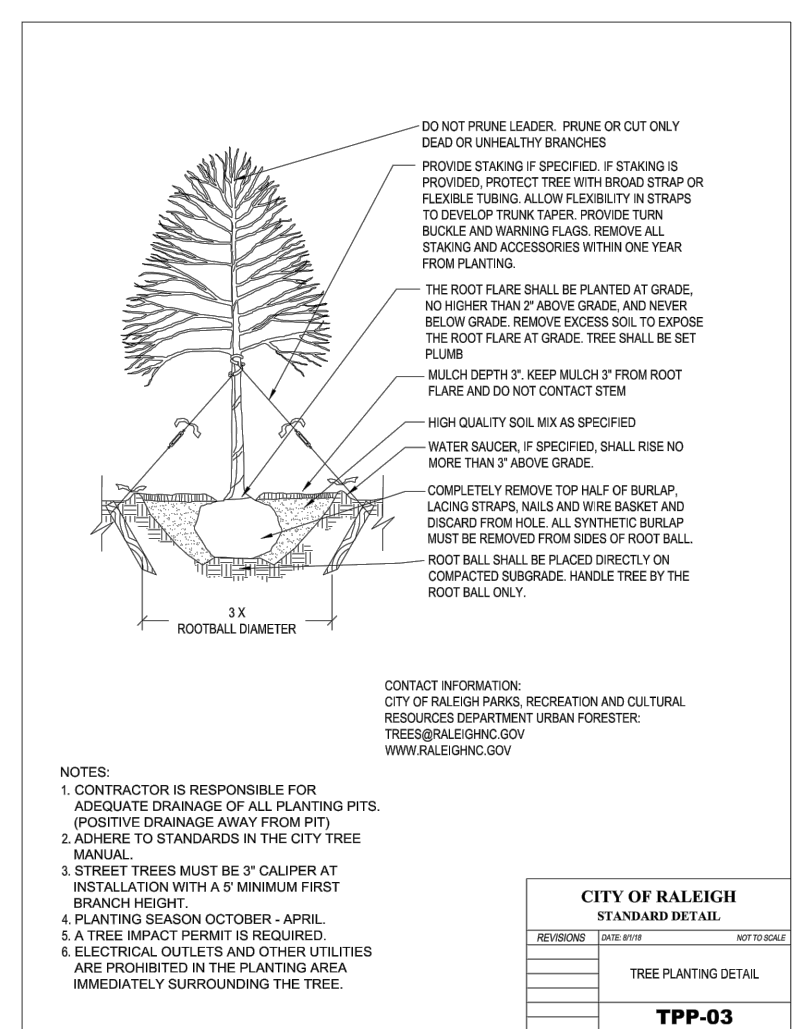
Sheet No:

8

Of



SITE DATA	
OWNER INFO:	ASHLEY ELIZABETH GRADY TRUSTEE LYNDA LUE TERRELL-REA TRUSTEE LUE S. TERRELL TRUSTEE
PINS:	0795-08-2452 & 0795-08-4504
ADDRESSES:	4020 & 4024 EDWARDS MILL RD. RALEIGH, NC 27612
DEED BOOK:	16549 PG 1360 12493 PG 2455
SITE AREA:	324,429 SF / ± 7.45 Ac.
15' ROW DEDICATION:	6,301 SF / ± 0.14 Ac.
NET SITE AREA:	318,128 SF / ± 7.30 Ac.
ZONING:	R-10-CU
EXISTING USE:	S/F RESIDENTIAL & VACANT
SETBACKS:	FRONT- 10' SIDE- 0' or 6' REAR- 20'
PROPOSED USE:	TOWNHOMES (3 BEDROOM MAX)
PROPOSED LOTS:	44 DWELLING UNITS & 3 OPEN LOTS - 47 LOTS TOTAL
DENSITY:	6.03 UNITS / AC
MAX BLDG HEIGHT:	45' (3 STORIES)
EXISTING IMPERVIOUS AREA :	0.098 Ac. \ 4,252 SF
PROPOSED IMPERVIOUS AREA :	2.694 Ac. \ 117,369 SF (36.9%)
REQUIRED OUTDOOR AMENITY AREA :	10% OF SITE - ± 31,813 SF
PROVIDED OUTDOOR AMENITY AREA :	± 39,106 SF (12.3% OF SITE)
PARKING:	REQUIRED PARKING: 1 SPACE / BEDROOM + 1 VISITOR SPACE / 10 UNITS 44 - 2 BEDROOM UNITS = 88 SPACES 44 UNITS = 5 VISITOR SPACES REQUIRED TOTAL REQUIRED SPACES = 93 SPACES
PARKING PROVIDED:	2 BEDROOM UNIT W/ 1 GARAGE SPACES = 44 SPACES DRIVEWAY SPACES - 44 UNITS = 44 SPACES PARKING LOT = 11 SPACES TOTAL PROVIDED SPACES = 99 SPACES
REQUIRED BICYCLE SPACES:	1 SPACE / 20 UNITS = 2 SPACES (4 MIN.)
PROVIDED BICYCLE SPACES:	4 SPACES
TREE CONSERVATION AREA	
PRIMARY TREE CONSERVATION AREA:	15,128 SF, 0.350 Ac.
SECONDARY TREE CONSERVATION AREA:	17,160 SF, 0.394 Ac.
TOTAL TREE CONSERVATION AREA	32,403 SF, 0.744 Ac. (10.2% OF SITE)



PLANT LIST							
SYM.	QUAN.	BOTANICAL NAME	COMMON NAME	CAL.	HT.	ROOT	REMARKS
CANOPY TREES							
GB	26	Ginkgo biloba 'Princeton Sentry'	Princeton Sentry Ginkgo	3"	10' - 12'	B # B	Street Tree 40' o.c. Avg.
LA	2	Lagerstroemia x 'Acoma'	Acoma Crape Myrtle	-	6' - 8'	B # B	Multi-Stem
MG	13	Magnolia grandiflora 'Little Gem'	Little Gem Magnolia	-	6' - 8'	B # B	
NS	8	Nyssa sylvatica	Black Tupelo	2-1/2"	10' - 12'	B # B	
QN	4	Quercus nuttallii	Nuttall Oak	2-1/2"	10' - 12'	B # B	
GR	7	Quercus robur 'Crimmschmidt'	Crimson Spire English Oak	3"	10' - 12'	B # B	Street Tree 40' o.c. Avg.
TG	34	Terstroemia gymnanthera	Japanese Clethera	-	4' - 6'	B # B	
TP	25	Thuja plicatum 'Green Giant'	Green Giant Arborvitae	2"	8' - 10'	B # B	
TO	12	Thuja occidentalis 'Emerald'	Emerald Arborvitae	-	6' - 8'	B # B	
SHRUBS							
LC	40	Loropetalum chinense var. rubrum 'Ruby'	Chinese Loropetalum		24" - 30"	CONT.	
MC	34	Myrica cefera	Wax Myrtle		36" - 48"	CONT.	6.5' o.c.
OF	13	Osmanthus fragrans	Fragrant Osmanthus		36" - 48"	CONT.	
PT	52	Pittosporum tobira	Pittosporum		36" - 48"	CONT.	
GROUND COVER							
TURF	-	Cynodon dactylon	Bermuda Grass			SEED	

LANDSCAPE CALCULATIONS

VEHICLE SURFACE AREA:

± 6,584 SF VEHICLE SURFACE AREA

CANOPY TREES REQUIRED = 1/2,000 SF = 4 TREES REQUIRED

CANOPY TREES PROVIDED:
(3) Quercus nuttallii PROVIDED
(2) Lagerstroemia 'Acoma' PROVIDED

LANDSCAPE BUFFER REPLANTING (PER ZONING CONDITIONS):

± 110 LF "LINE C" BUFFER DISTURBANCE

EVERGREEN TREES REQUIRED = 8/100 LF = 9 TREES REQUIRED

EVERGREEN TREES PROVIDED:
(9) Thuja plicata 'Green Giant' PROVIDED

UNDERSTORY TREES REQUIRED = 8/100 LF = 9 TREES REQUIRED

UNDERSTORY TREES PROVIDED:
(9) Terstroemia gymnanthera PROVIDED

± 55' x 44' LF FRONT BUFFER DISTURBANCE - (2) 27' DISTURBANCES

EVERGREEN TREES REQUIRED = 7/100 LF = 7 TREES REQUIRED

EVERGREEN TREES PROVIDED:
(7) Thuja plicata 'Green Giant' PROVIDED

UNDERSTORY TREES REQUIRED = 6/100 LF = 6 TREES REQUIRED

UNDERSTORY TREES PROVIDED:
(6) Terstroemia gymnanthera PROVIDED

NOTE: ALL LIGHTING FIXTURES MUST BE LOCATED AT LEAST 20' FROM ANY TREE TRUNK

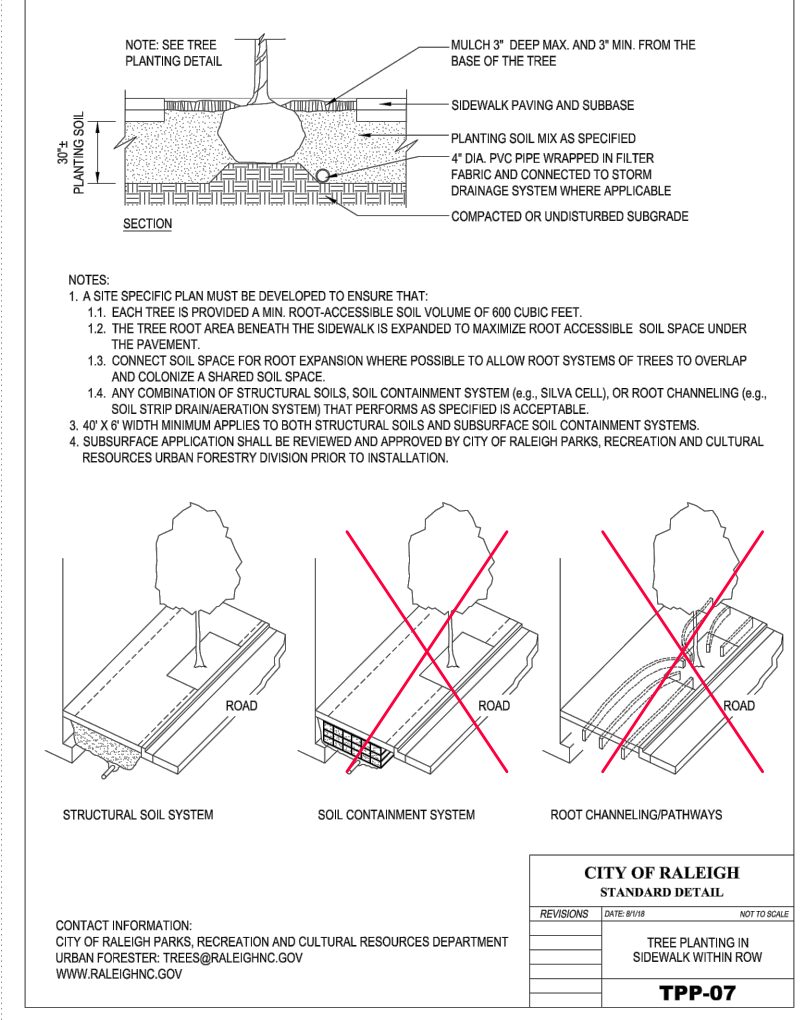
PRELIMINARY DESIGN
NOT RELEASED
FOR CONSTRUCTION

LEGEND	
SS	SANITARY SEWER MAIN
W	WATER MAIN
G	GAS MAIN
FO	FIBER OPTIC
OE	OVERHEAD ELECTRIC
UE	UNDERGROUND ELECTRIC
PP	POWER POLE
PL	POWER POLE W/ LIGHT
IP	EXISTING IRON PIPE
FD	FIRE HYDRANT
GV	GATE VALVE
WM	EXISTING WATER METER

STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY TREE MANUAL.

GENERAL NOTES

- EXISTING UNDERGROUND STRUCTURES AND UTILITIES SHOWN ARE BASED ON FIELD SURVEYS AND BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL FIELD VERIFY CONDITIONS, INCLUDING THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES, PRIOR TO STARTING CONSTRUCTION AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
- THE CONTRACTOR SHALL CONTACT NORTH CAROLINA ONE CALL AT 1-800-632-4949 AND THE CITY OF RALEIGH UTILITIES. THE CONTRACTOR SHALL CALL AT LEAST 48 HOURS PRIOR TO ANY DIGGING.
- ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
- ALL WATER AND SANITARY SEWER INSTALLATION SHALL BE IN CONFORMANCE WITH THE CITY OF RALEIGH PUBLIC UTILITY DEPARTMENT STANDARDS AND SPECIFICATIONS.
- ALL WORK WITHIN THE N.C.D.O.T. RIGHT-OF-WAY SHALL CONFORM TO N.C.D.O.T. STANDARDS AND SPECIFICATIONS.
- THE SUBJECT PROPERTY IS NOT LOCATED IN A FLOOD HAZARD AREA PER FEMA FIRM MAP NUMBER 372007950J DATED MAY 2, 2006.
- BOUNDARY, TOPOGRAPHIC, AND TREE INFORMATION TAKEN FROM SURVEY PREPARED BY MATTHEW A. HAYES, PLS #4516 FOR M&S LAND CONSULTANTS, DATED JUNE 22, 2018.
- WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN 2 FEET AND 8 FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN WHOLE OR PART. OBSTRUCTIONS INCLUDE, BUT ARE NOT LIMITED TO ANY BERM, FOLIAGE, FENCE, WALL, SIGN, OR PARKED VEHICLE.
- ALL HVAC UNITS SHALL BE SCREENED FROM VIEW OF THE PUBLIC RIGHT-OF-WAY.
- HANDICAP PARKING SPACES AND ACCESS AISLES SHALL BE NO GREATER THAN TWO PERCENT (2%) SLOPE IN ANY DIRECTION AS PER ADA STANDARDS.
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- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION).



40' 0 40' 80'
SCALE: 1" = 40'

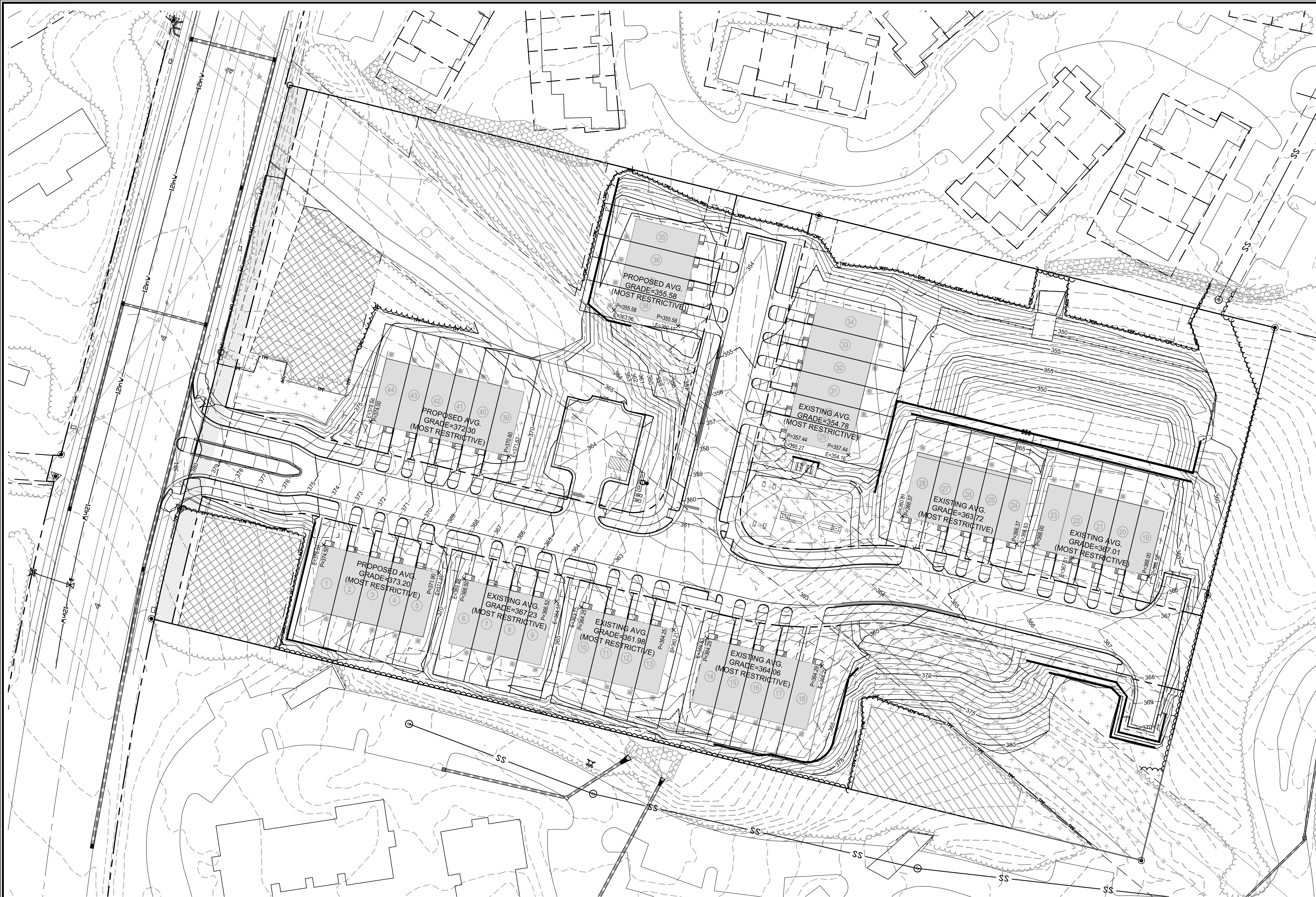
MILLTOWN
PRELIMINARY DEVELOPMENT PLANS
LANDSCAPE PLAN
RALEIGH, NORTH CAROLINA

Date: 1/23/19
Scale: 1" = 40'
Drawn: ACS
Checked: AJF
Project No: 127-304
Computer: Dwg. Name
127-304 Landscape plan

Sheet No:
10
Of

CE GROUP
301 GLENWOOD AVE. 220
RALEIGH, NC 27603
PHONE: 919-367-8790
FAX: 919-322-0032
www.cegroupinc.com
License # C-1739

REVISIONS	
NO.	DATE
1	08/21/18
2	10/26/18
3	12/23/18
4	2/13/20
5	3/30/20



UNITS 1-5			
	HIGH	LOW	AVG. GRADE
EXISTING GRADE	378.66	371.45	375.06
PROPOSED GRADE	374.50	371.90	373.20
CONTROL GRADE			373.20
MAXIMUM ALLOWABLE ROOF ELEVATION @ 45°			

UNITS 6-9			
	HIGH	LOW	AVG. GRADE
EXISTING GRADE	369.88	364.57	367.23
PROPOSED GRADE	368.50	366.52	367.51
CONTROL GRADE			367.23
MAXIMUM ALLOWABLE ROOF ELEVATION @ 45°			

UNITS 10-13			
	HIGH	LOW	AVG. GRADE
EXISTING GRADE	363.75	360.21	361.98
PROPOSED GRADE	364.25	364.25	364.25
CONTROL GRADE			361.98
MAXIMUM ALLOWABLE ROOF ELEVATION @ 45°			

UNITS 14-18			
	HIGH	LOW	AVG. GRADE
EXISTING GRADE	368.29	359.83	364.06
PROPOSED GRADE	364.29	364.29	364.29
CONTROL GRADE			364.06
MAXIMUM ALLOWABLE ROOF ELEVATION @ 45°			

UNITS 19-23			
	HIGH	LOW	AVG. GRADE
EXISTING GRADE	367.51	366.50	367.01
PROPOSED GRADE	368.00	368.00	368.00
CONTROL GRADE			367.01
MAXIMUM ALLOWABLE ROOF ELEVATION @ 45°			

UNITS 24-28			
	HIGH	LOW	AVG. GRADE
EXISTING GRADE	366.83	360.61	363.72
PROPOSED GRADE	366.37	366.37	366.37
CONTROL GRADE			363.72
MAXIMUM ALLOWABLE ROOF ELEVATION @ 45°			

UNITS 29-34			
	HIGH	LOW	AVG. GRADE
EXISTING GRADE	355.27	354.16	354.72
PROPOSED GRADE	357.44	357.44	357.44
CONTROL GRADE			354.72
MAXIMUM ALLOWABLE ROOF ELEVATION @ 45°			

UNITS 35-38			
	HIGH	LOW	AVG. GRADE
EXISTING GRADE	363.06	360.17	361.59
PROPOSED GRADE	355.58	355.58	355.58
CONTROL GRADE			355.58
MAXIMUM ALLOWABLE ROOF ELEVATION @ 45°			

UNITS 39-44			
	HIGH	LOW	AVG. GRADE
EXISTING GRADE	378.66	371.57	375.12
PROPOSED GRADE	374.00	370.60	372.30
CONTROL GRADE			372.30
MAXIMUM ALLOWABLE ROOF ELEVATION @ 45°			

OWNER INFO:

ASHLEY ELIZABETH GRADY TRUSTEE
LYNDA LUE TERRELL-REA TRUSTEE
LUE S. TERRELL TRUSTEE
0795-08-2452 & 0795-08-4504

ADDRESSES:

4020 & 4024 EDWARDS MILL RD.
RALEIGH, NC 27612

DEED BOOK:

16549 PG 1360
12493 PG 2455

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324,429 SF / ± 7.45 Ac.

15' ROW DEDICATION:

6,301 SF / ± 0.14 Ac.

NET SITE AREA:

318,128 SF / ± 7.30 Ac.

ZONING:

R-10-CU

EXISTING USE:

S/F RESIDENTIAL & VACANT

SETBACKS:

FRONT- 10'
SIDE- 0' or 6'
REAR- 20'

PROPOSED USE:

TOWNHOMES (3 BEDROOM MAX)

PROPOSED LOTS:

44 DWELLING UNITS & 3 OPEN LOTS - 47 LOTS TOTAL

DENSITY:

6.03 UNITS / AC

MAX BLDG HEIGHT:

45' (3 STORIES)

EXISTING IMPERVIOUS AREA :

0.098 Ac. \ 4,252 SF

PROPOSED IMPERVIOUS AREA :

2.694 Ac. \ 117,369 SF (36.9%)

REQUIRED OUTDOOR AMENITY AREA :

10% OF SITE - ± 31,813 SF

PROVIDED OUTDOOR AMENITY AREA :

± 39,106 SF (12.3% OF SITE)

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REQUIRED PARKING: 1 SPACE / BEDROOM + 1 VISITOR SPACE / 10 UNITS
44 - 2 BEDROOM UNITS = 88 SPACES
44 UNITS = 5 VISITOR SPACES REQUIRED
TOTAL REQUIRED SPACES = 93 SPACES

PARKING PROVIDED: 2 BEDROOM UNIT W/ 1 GARAGE SPACES = 44 SPACES
DRIVEWAY SPACES - 44 UNITS = 44 SPACES
PARKING LOT = 11 SPACES
TOTAL PROVIDED SPACES = 99 SPACES

REQUIRED BICYCLE SPACES:

1 SPACE / 20 UNITS = 2 SPACES (4 MIN.)

PROVIDED BICYCLE SPACES:

4 SPACES

TREE CONSERVATION AREA

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SECONDARY TREE CONSERVATION AREA: 17,160 SF, 0.394 Ac.
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GENERAL NOTES

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6. THE SUBJECT PROPERTY IS NOT LOCATED IN A FLOOD HAZARD AREA PER FEMA FIRM PANEL MAP NUMBER 3720079500J DATED MAY 2, 2006.

7. BOUNDARY, TOPOGRAPHIC, AND TREE INFORMATION TAKEN FROM SURVEY PREPARED BY MATTHEW A. HAYES, PLS #4516 FOR MSS LAND CONSULTANTS, DATED JUNE 22, 2018.

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LEGEND

+ E=

EXISTING GROUND ELEVATION ALONG FRONTAGE

+ P=

PROPOSED GROUND ELEVATION ALONG FRONTAGE

PRELIMINARY DESIGN

NOT RELEASED

FOR CONSTRUCTION

LEGEND

SS

SANITARY SEWER MAIN

W

WATER MAIN

G

GAS MAIN

FO

FIBER OPTIC

///

OVERHEAD ELECTRIC

UE

UNDERGROUND ELECTRIC

PP

POWER POLE

PL

POWER POLE W/ LIGHT

IP

EXISTING IRON PIPE

FD

FIRE HYDRANT

GV

GATE VALVE

WM

EXISTING WATER METER

NO.	REVISIONS	DATE
5	REVISED PER CITY OF RALEIGH 5TH REVIEW COMMENTS	3/9/20
4	REVISED PER CITY OF RALEIGH 4TH REVIEW COMMENTS	2/13/20
3	REVISED PER CITY OF RALEIGH 3RD REVIEW COMMENTS	12/23/19
2	REVISED PER CITY OF RALEIGH 2ND REVIEW COMMENTS	10/26/19
1	REVISED PER CITY OF RALEIGH 1ST REVIEW COMMENTS	8/21/18

CE GROUP

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RALEIGH, NC 27603
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FAX: 919-322-0032

www.cegroupinc.com

License # C-1739

MILLTOWN

PRELIMINARY DEVELOPMENT PLANS

BUILDING AVERAGE GRADE

EXHIBIT

RALEIGH, NORTH CAROLINA

Date:

1/23/19

Scale:

1" = 40'

Drawn:

ACS

Checked:

AJF

Project No.

127-304

Computer Dwg. Name

127-304 building spot grades exhibit

Sheet No:

7A

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