

Case File / Name: SUB-S-27-2018 Milltown (S-27-18)

 LOCATION:
 The site is generally located on the southeast side of Edwards Mill Road north of Glen Eden Drive with common street addresses of 4020 and 4024 Edwards Mill Road.

 REQUEST:
 Conventional subdivision of approximately 7.45 acres zoned R-10-CU (Z-9-17) to create 47 lots for development of 44 townhomes and three open lots (47 lots total)

 Administrative Alternate (AAD-21-18) approved allowing the minimum build-to for Block 1 and Block 3 to be achieved with a combination of building façade and designated amenity area along Milltown Ridge Run.

 DESIGN ADJUSTMENT(S)/ALTERNATES, ETC:
 N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated March 9, 2020 by CE GROUP.

## **CONDITIONS OF APPROVAL and NEXT STEPS:**

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☑ <u>SITE PERMITTING REVIEW</u> - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

## Engineering

- 1. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to Development Services Development Engineering prior to concurrent review approval.
- 2. A right-of-way obstruction permit must be obtained from Right-of-way Services prior to the commencement of any construction activities within the right-of-way.

## **Public Utilities**

- 3. A Downstream Sewer Capacity Study in compliance with the City of Raleigh Public Utilities Department Handbook shall be submitted by the Project Engineer for review and approval.
- 4. The Developer shall provide a letter or e-mail from any Private Utility Company authorizing new water and sewer main encroachments across existing transmission easements prior to concurrent approval.

## Stormwater



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- 5. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
- 6. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).

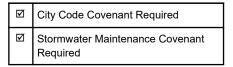
## **Urban Forestry**

- 7. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.
- 8. Submit a final tree conservation plan that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required (UDO 9.1.5).

☑ <u>LEGAL DOCUMENTS</u> - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

 ☑
 Utility Placement Easement Required

 ☑
 Slope Easement Required



☑ <u>**RECORDED MAP(S)**</u> - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

## The following items must be approved prior to recording the plat:

## General

- 1. Street names for this development shall be approved by the Raleigh GIS Division and by Wake County.
- 2. The City Code Covenant shall be approved by the City and recorded with the county register of deeds office where the property is located and a copy of the recorded document shall be provided to the City by the end of the next business day following the recordation of the final plat. Further recordings and building permits will be withheld if the recorded document is not provided to the Cit
- 3. A demolition permit shall be issued and this building permit number shown on all maps for recording.

## Engineering

4. A fee-in-lieu for 1' of sidewalk along the frontage on Edwards Mill Road is paid to the City of Raleigh (UDO 8.1.10).



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- 5. A 5' utility placement easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.
- 6. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.
- 7. A public infrastructure surety is provided to the City of Raleigh Development Services Development Engineering program (UDO 8.1.3).
- 8. A fee-in-lieu for the extension of the street and sidewalk of Emerald Green Road is paid to the City of Raleigh (UDO 8.1.10).
- 9. A fee-in-lieu for extension of the street and sidewalk of Milltown Ridge Run is paid to the City of Raleigh (UDO 8.1.10).
- 10. Slope easements and associated deeds of easement shall be approved by the City and the location of the easements shall be shown on the map approved for recordation. The deeds of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.

## **Public Utilities**

11. Infrastructure Construction Plans (concurrent submittal) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.

## Stormwater

- 12. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
- 13. The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office (UDO 9.2.2.G).
- 14. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).
- 15. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).

## **Urban Forestry**



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- 16. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1). This development proposes 0.744 acres of tree conservation area.
- 17. A public infrastructure surety for street trees is provided to the City of Raleigh Development Services Development Engineering program (UDO 8.1.3).

☑ BUILDING PERMITS - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

## The following items must be approved prior to the issuance of building permits:

## **Public Utilities**

1. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

## **Urban Forestry**

A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 8 street trees along Edwards Mill Road, 30 street trees along Milltown Ridge Run, and 7 street trees along Emerald Green Road, for a total of 45 street trees.

## The following are required prior to issuance of building occupancy permit:

## General

1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.

EXPIRATION DATES: If significant construction has not taken place on a project after preliminary subdivision approval, that approval may "sunset" and be declared void, requiring re-approval before permits may be issued. To avoid allowing this preliminary approval to "sunset", the following must take place by the following dates:

3-Year Sunset Date: April 8, 2023 Record at least  $\frac{1}{2}$  of the land area approved.

5-Year Sunset Date: April 8, 2025 Record entire subdivision.

I hereby certify this administrative decision.

ann 3 Signed:

Development Services Dir/Designee Staff Coordinator: Daniel Stegall

Date: 04/08/2020

Preliminary Subdivision Plan Application			DEVELOPMENT SERVICES DEPARTMENT			
Development Services Customer Service Center   1 Exchange Litchford Satellite Office   8320 - 130 Litc	Plaza, Suite 400   Raleigh, NC 2760 hford Road   Raleigh, NC 27601   919	1   919-996-249 9-996-4200	95   efax 919-996-1831			
When submitting plans, please check the appropriate	review type and include the P	lan Checklis	t document.			
Office Use Only: Transaction # Project Coordina PRELIMINARY		eam Leader				
Subdivision *   Conventional Subdivision	Compact Development	Co	onservative Subdivision			
*May require City Council approval if in a Ma If your project has been through the Due Diligence process, provid	and the second secon		ict .			
GENERAL IN		02				
Development Name Milltown Proposed Use Townhomes						
Property Address(es) 4020 & 4042 Edwards Mill Road,						
Wake County Property Identification Number(s) for each parcel to           PIN Recorded Deed         PIN Recorded Deed           0795-08-2452 / 16549-1360         0795-08-4504 / 12493-2455	which these guidelines will ap PIN Recorded Deed		ecorded Deed	-		
	n a non-residential zoning dis	trict				
Other (describe):	ER INFORMATION					
Company Name (Developer) Baker Residential of the Carolinas, LLC	Owner/Developer Name (Own					
Address (Owner) 3105 Carovel Ct. Raleigh, NC 27612-8017 (Description of the second sec	Developer) 401 Harrison Oa Dakerresidential.com Fax	ks Blvd, Su	lite 140 Cary, NC 27513			
CONSULTANT/CONTAC Company Name CE Group, Inc.	CT PERSON FOR PLANS	kner, RL	A			
Address 301 Glenwood Ave, Suite 220 Raleigh, Phone (919) 367-8790 Email joe@cegro		919) 322	2-0032	-		
DEVELOPMENT TYPE AND SITE DATE T	ABLE (Applicable to all d	in an				
Zoning District(s) <b>R-10-CU</b> If more than one district, provide the acreage of each:				_		
Overlay District? Yes No		9999 - 1 <sup>1</sup> 2 12 <sup>11</sup> 2 12 13 14 15 16 16 17 17 17 17		-		
CUD (Conditional Use District) Case # Z-09-17				-		
COA (Certificate of Appropriateness) Case # BOA ( Board of Adjustment) Case # A-				_ LU	-	E <b>RTY OWNER</b> ELL LIVING TRUST
STORMWATER Existing Impervious Surface 0.1 / 4,252 acres/sf	·	Yes				OURT RALEIGH, NC NDA LUE TERRELL-F
Proposed Impervious Surface 2.6 / 114,086 acres/sf	Neuse River Buffer	Yes	No	-	ASHLEY E	LIZABETH GRADY
If in a Flood Hazard Area, provide the following:	Wetlands	Yes Yes	No No	-		
Alluvial Soils Flood Study	FEMA Map Pane	#		2		
NUMBER OF LO           Total # of Townhouse Lots:         Detached	Attached 44					
Total # of Single Family Lots Overall Unit(s)/Acre Densities Per Zoning Districts 6.03	Total # of All Lots 47			-		
Total # of Open Space and/or Common Area Lots 3				-		
SIGNATURE BLOCK (Appli				In filling this plan as the property of		CK (Applicable to all developn reby agree and firmly bind ourselves,
In filing this plan as the property owner(s), I/we do hereby agree a successors and assigns jointly and severally to construct all improvide subdivision plan as approved by the City.				successors and assigns jointly and subdivision plan as approved by t	severally to constru ne City.	ct all improvements and make all ded
I hereby designate JOE Faulkner to serve as my administrative comments, to resubmit plans on my behalf, and to	agent regarding this applicat represent me in any public m				bmit plans on my be	serve as my agent regarding this app half, and to represent me in any publ
I/we have read, acknowledge, and affirm that this project is confo development use.	rming to all application requir	ements app	licable with the proposed	I/we have read, acknowledge, and development use.	affirm that this pro	ject is conforming to all application re
Signature		9		Signature	$\overline{}$	Date
Signature	Date			Signature		Date
TRANSPORTATION NOTES:						
<ol> <li>The contractor shall conduct the work in a safe manner a</li> <li>The contractor shall be responsible for all traffic control a</li> <li>Prior to the start of construction, the contractor shall sche</li> </ol>	nd shall adhere to the provis	ions of the I	MUTCD (most current add			
to review the specific components of the plan and operat Rene Haagen (919) 996-2483 or Rene Haagar Kenneth Ritchie (919) 996-2009 or Kenneth Ri	ion of these facilities during o @raleighnc.gov					
<ul> <li>Noah Otto (919) 996-6446 or Noah.Otto@ralei</li> <li>4. The contractor shall obtain a lane closure permit for any 996-2483 at least 48 hours in advance and for street closure</li> </ul>	ghnc.gov work which requires the closu					SOLID WASTE
<ul><li>closure, contact person, and fax number.</li><li>5. The contractor shall be responsible for contacting the Inst</li></ul>	pections Department at (919					<ol> <li>SOLID WASTE SERV</li> <li>THE DEVELOPER W</li> </ol>
<ol> <li>Prior to construction beginning, all signage and traffic cor</li> <li>The contractor shall repair all driveways, driveway pipes,</li> <li>Sidewalks must be accessible to persons who are blind,</li> </ol>	curb & gutter, sidewalks, and have low vision, and people vision.	with mobility	/ disabilities. Pedestrian e	existing routes and		FORTH IN THE SOLI 3. THIS PROJECT SHA WASTE AND RECYC 4. UNIFORMULE (1990)
alternate pedestrian routes during construction will be red 2010 ADA Standards for Accessible Design and the Man				Guidelines (PROWAG),		4. HOMEOWNER'S AS LANGUAGE REGAR INDIVIDUAL GARAG
STANDARD UTILITY NOTES (as applicable):         1.       All materials & construction methods shall be in accordan         2.       Utility separation requirements:						
<ul> <li>A. A distance of 100' shall be maintained between s shall be specified &amp; installed to waterline specific</li> <li>B. When installing water &amp;/or sewer mains, the hori</li> </ul>	ations. However, the minimu zontal separation between ut	m separation ilities shall l	on shall not be less than 2 be 10'. If this separation o	5' from a private well or 50' from annot be maintained due to existi	a public well ing conditions, the	
at least 18" above the top of the sewer & must be C. Where it is impossible to obtain proper separatio D. 5.0' minimum horizontal separation is required be	n, or anytime a sanitary sewe etween all sanitary sewer & s	er passes o torm sewer	ver a watermain, DIP mat facilities, unless DIP mat	erials or steel encasement extend erial is specified for sanitary sewe	ded 10' on each sid er	
<ul> <li>E. Maintain 18" min. vertical separation at all waterr cradle having 6" min. clearance (per CORPUD d</li> <li>F. All other underground utilities shall cross water 8</li> </ul>	etails W-41 & S-49) sewer facilities with 18" min	. vertical se	paration required			ings. Where adequate separations
<ol> <li>Any necessary field revisions are subject to review &amp; app</li> <li>Contractor shall maintain continuous water &amp; sewer serv</li> <li>3.0' minimum cover is required on all water mains &amp; sew</li> </ol>	ice to existing residences & b er forcemains. 4.0' minimum	ousinesses cover is rec	throughout construction o quired on all reuse mains	f project. Any necessary service i	nterruptions shall b	
<ol> <li>It is the developer's responsibility to abandon or remove service from ROW or easement per CORPUD Handbook</li> <li>Install ¾" copper* water services with meters located at F</li> </ol>	; procedure ROW or within a 2'x2' Waterli	ne Easeme	nt immediately adjacent.	NOTE: it is the applicant's respon		-
<ol> <li>Install 4" PVC* sewer services @ 1.0% minimum grade v</li> <li>Pressure reducing valves are required on all water service</li> <li>All environmental permits applicable to the project must be</li> </ol>	vith cleanouts located at ROV es exceeding 80 psi; backwa	V or easem ater valves a	ent line & spaced every 7 are required on all sanitar	5 linear feet maximum y sewer services having building o	drains lower than 1	.0' above the next upstream manh
<ol> <li>NCDOT / Railroad Encroachment Agreements are requir</li> <li>Grease Interceptor / Oil Water Separator sizing calculation</li> </ol>	ed for any utility work (includ	ing main ex	tensions & service taps) v	within state or railroad ROW prior	to construction	
<ol> <li>Cross-connection control protection devices are required American Society of Sanitary Engineering (ASSE) standa the local cross-connection control program, whichever is</li> </ol>	ards or be on the University o	of Southern	California approval list. The	he devices shall be installed and t	tested (both initial a	
		,	,			

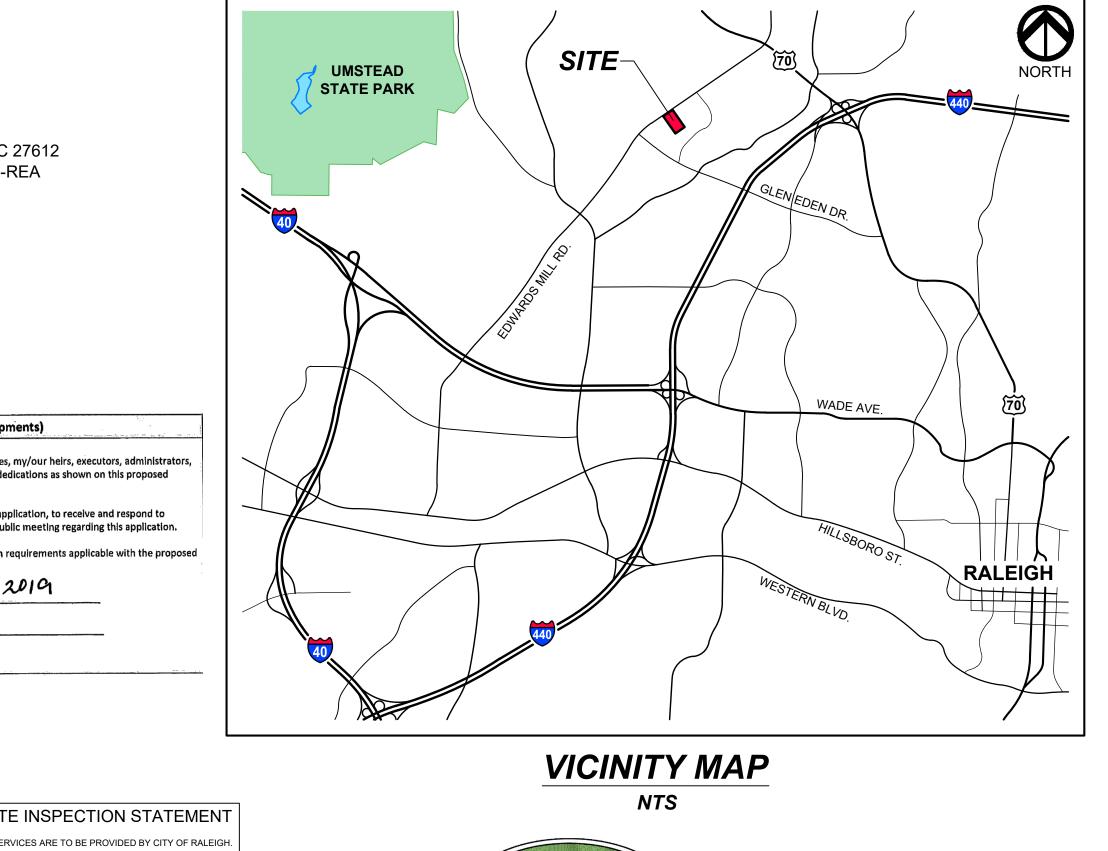
# PRELIMINARY SUBDIVISION PLANS

## FOR MILLTOWN

S-27-18 TRANSACTION 560236

RALEIGH, NORTH CAROLINA JUNE 22, 2018

REVISED: MARCH 9, 2020



COV ZON REC TRE EXIS SUBI SET PRO TRE GRA BUIL UTIL FIRE LAND AME BLOC ROA PON

RVICES ARE TO BE PROVIDED BY CITY OF RALEIGH. WILL COMPLY WITH ALL REQUIREMENTS SET LID WASTE MANUAL. IALL UTILIZE 96 GAL. ROLL-OUT CARTS FOR SOLID /CLING, AND SHALL BE STORED IN GARAGES. SSOCIATION RESTRICTED COVENANT TO INCLUDE RDING SOLID WASTE CARTS BEING STORED IN

ration cannot be achieved, ferrous sanitary sewer pipe n in a separate trench with the elevation of the water main

installed to waterline specifications

s cannot be achieved, specify DIP materials & a concrete

e notice to the City of Raleigh Public Utilities Department This includes abandoning tap at main & removal of nnection to provide adequate flow & pressure

ley at (919) 996-2334 or timothy.beasley@raleighnc.gov are the minimum requirements. The devices shall meet accordance with the manufacturer's recommendations or



01 GLENWOOD AVE. SUITE 220 RALEIGH,NC 27603 PHONE: 919-367-8790 www.cegroupinc.com PRELIMINARY DESIGN NOT RELEASED FOR CONSTRUCTION

		SITE DATA	1						0	
OWNER INFO:		ASHLEY ELIZABETH G LYNDA LUE TERRELL- LUE S. TERRELL TRUS	-REA TRUSTEE					3/9/20	2/13/20	
PINS:		0795-08-2452 & 0795-0	8-4504							
ADDRESSES:		4020 & 4024 EDWARD RALEIGH, NC 27612	S MILL RD.							
DEED BOOK:		16549 PG 1360 12493 PG 2455						MENTS	COMMENTS	
		6,301 SF / ± 0.14 Ac.						REVIEW COMMENTS	REVIEW COMMENTS	
ZONING: EXISTING USE:	R-10- S/F F	CU RESIDENTIAL & VACANT	Г					RALEIGH 5TH	RALEIGH 4TH RAI FIGH 3RD I	
SETBACKS: FRONT- SIDE- REAR-	10' 0' or 20'	6'						CITY OF	PER CITY OF RAL	
PROPOSED USE PROPOSED LOT		TOWNHOMES (3 BEDF 44 DWELLING UNITS &	ROOM MAX) & 3 OPEN LOTS - 47 LOTS TO	OTAL					REVISED PE	
DENSITY:		6.03 UNITS / AC						REV		
MAX BLDG HEIG	HT:	45' (3 STORIES)						5	4 6	
		SAREA : 0.098 Ac. \ US AREA: 2.694 Ac. \								
		AMENITY AREA: 10% AMENITY AREA: ±39	OF SITE - ± 31,813 SF ,106 SF (12.3% OF SITE)							
PARKING: REQUIRED PARI	KING:	1 SPACE / BEDROOM 44 - 2 BEDROOM UNIT 44 UNITS = 5 VISITOR TOTAL REQUIRED SPA	SPACES REQUIRED	TS						
PARKING PROVI	DED:			ACES	C	E	2 (	GF	RC	)[
REQUIRED BICY PROVIDED BICY	-		20 UNITS = 2 SPACES (4 MI	N.)		I GLI RAL PHOI	EIG	H,N	IC 27	760
SECONDARY TR		ERSATION AREA: INVERSATION AREA:	15,128 SF, 0.350 Ac. 17,160 SF, 0.394 Ac.						-307 22-0	
TOTAL TR	EE CO	NSERVATION AREA	32,403 SF, 0.744 Ac. (10.29	% OF SITE)		www	v.ceę	grou	pinc	.co

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## GENERAL NOTES

1.	EXISTING UNDERGROUND STRUCTURES AND UTILITIES SHOWN ARE BASED ON FIELD SURVEYS AND BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL FIELD VERIFY CONDITIONS, INCLUDING THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES, PRIOR TO STARTING CONSTRUCTION AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
2.	THE CONTRACTOR SHALL CONTACT NORTH CAROLINA ONE CALL AT 1-800-632-4949 AND THE CITY OF RALEIGH UTILITIES. THE CONTRACTOR SHALL CALL AT LEAST 48 HOURS PRIOR TO ANY DIGGING.
3.	ALL CONSTRUCTION SHALL BE IN CONFORMANCE TO THE CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
4.	ALL WATER AND SANITARY SEWER INSTALLATION SHALL BE IN CONFORMANCE WITH THE CITY OF RALEIGH PUBLIC UTILITY DEPARTMENT STANDARDS AND SPECIFICATIONS.
5.	ALL WORK WITHIN THE N.C.D.O.T. RIGHT-OF-WAY SHALL CONFORM TO N.C.D.O.T. STANDARDS AND SPECIFICATIONS.
6.	THE SUBJECT PROPERTY IS NOT LOCATED IN A FLOOD HAZARD AREA PER FEMA FIRM PANEL MAP NUMBER 3720079500J DATED MAY 2, 2006.
7.	BOUNDARY, TOPOGRAPHIC, AND TREE INFORMATION TAKEN FROM SURVEY PREPARED BY MATTHEW A HAYES, PLS #4516 FOR MSS LAND CONSULTANTS, DATED JUNE 22, 2018.

8. WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN 2 FEET AND 8 FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN WHOLE OR PART. OBSTRUCTIONS INCLUDE, BUT ARE NOT LIMITED TO ANY BERM, FOLIAGE, FENCE, WALL, SIGN, OR PARKED VEHICLE.

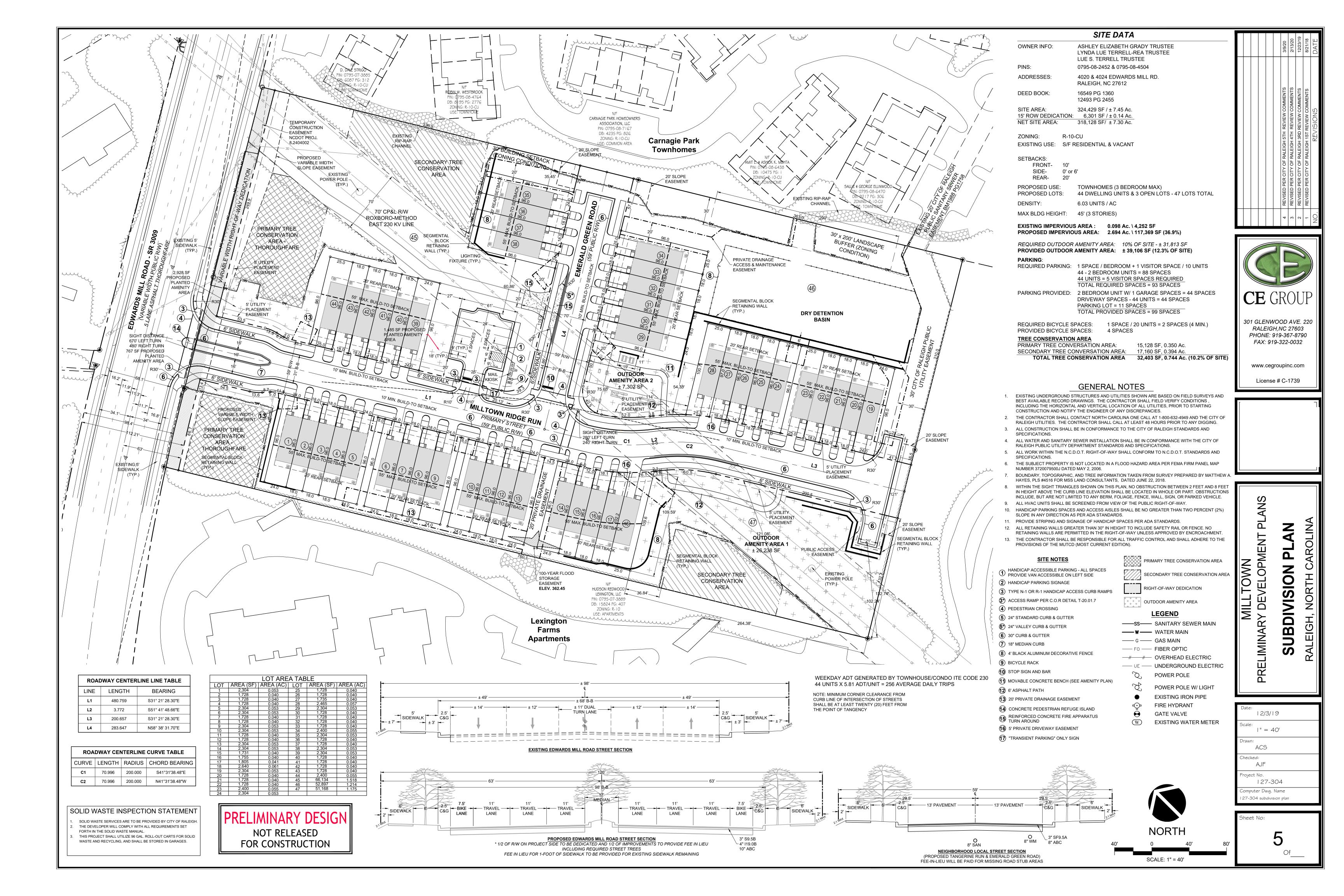
 ALL HVAC UNITS SHALL BE SCREENED FROM VIEW OF THE PUBLIC RIGHT-OF-WAY.
 HANDICAP PARKING SPACES AND ACCESS AISLES SHALL BE NO GREATER THAN TWO PERCENT (2%) SLOPE IN ANY DIRECTION AS PER ADA STANDARDS.

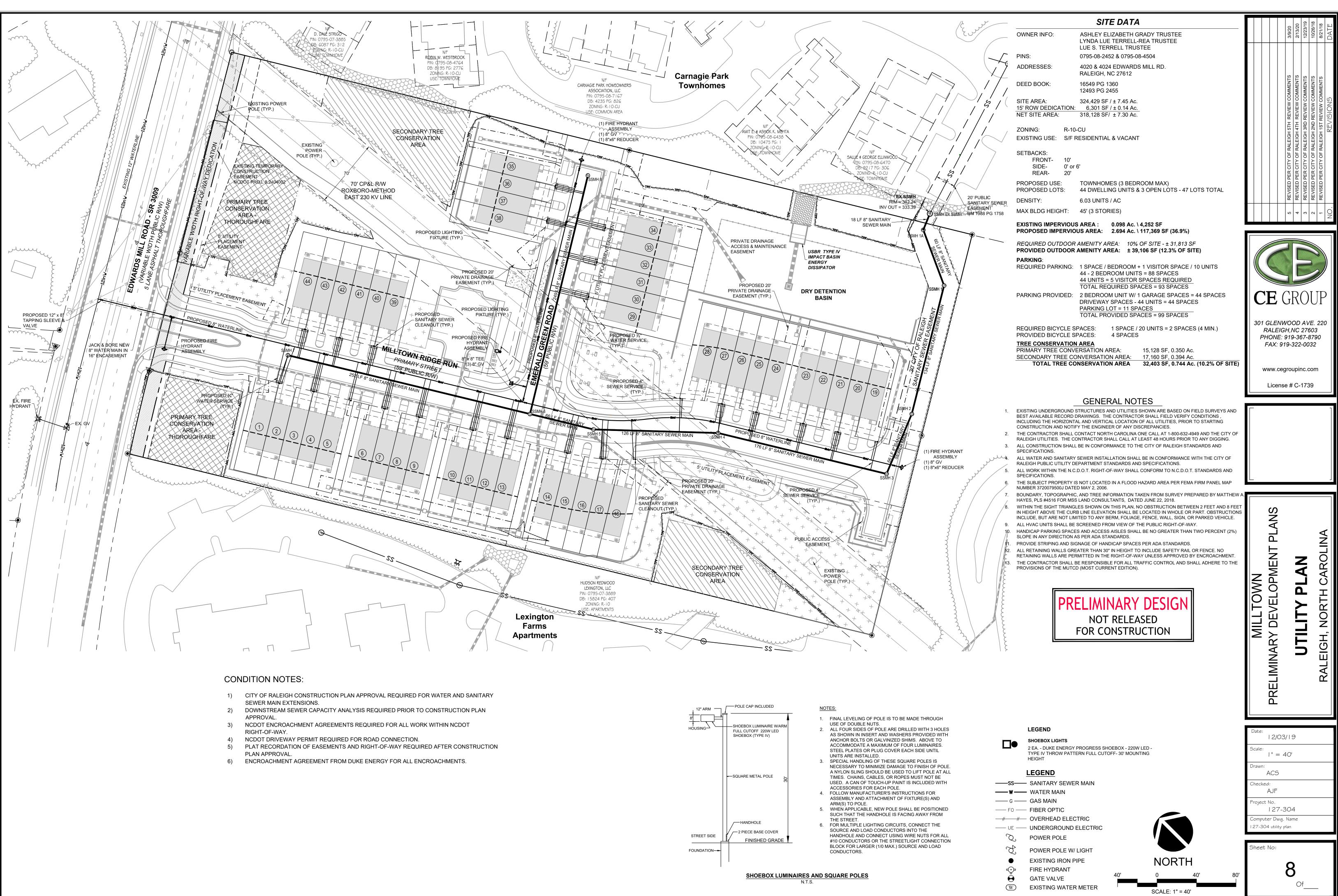
11. PROVIDE STRIPING AND SIGNAGE OF HANDICAP SPACES PER ADA STANDARDS.

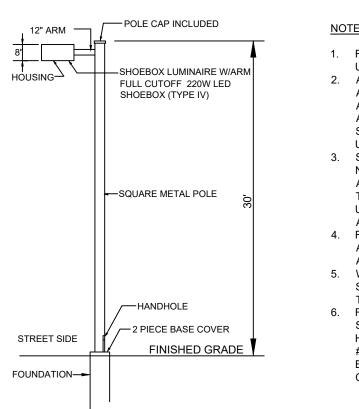
12. ALL RETAINING WALLS GREATER THAN 30" IN HEIGHT TO INCLUDE SAFETY RAIL OR FENCE. NO

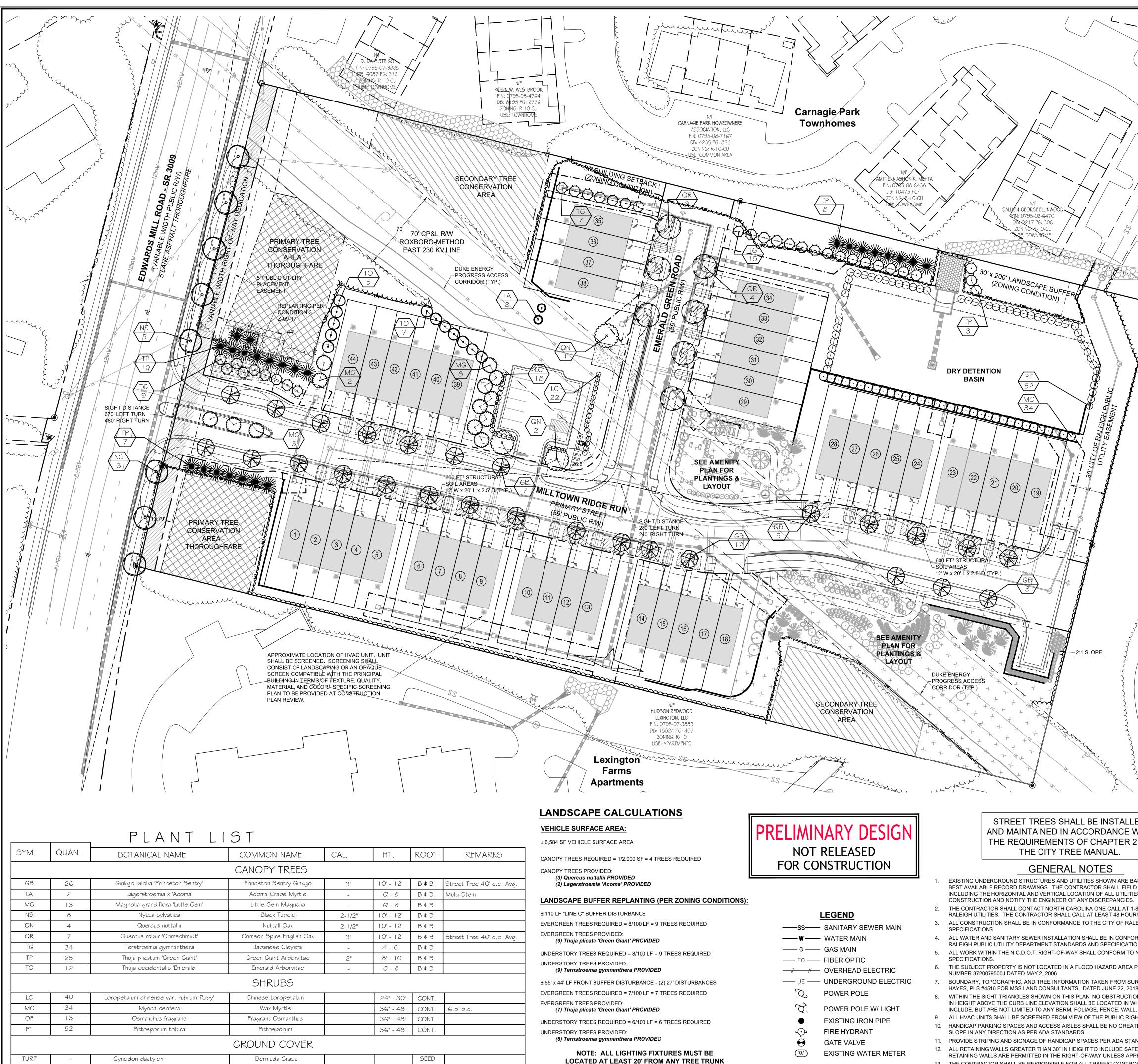
RETAINING WALLS ARE PERMITTED IN THE RIGHT-OF-WAY UNLESS APPROVED BY ENCROACHMENT.13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION).







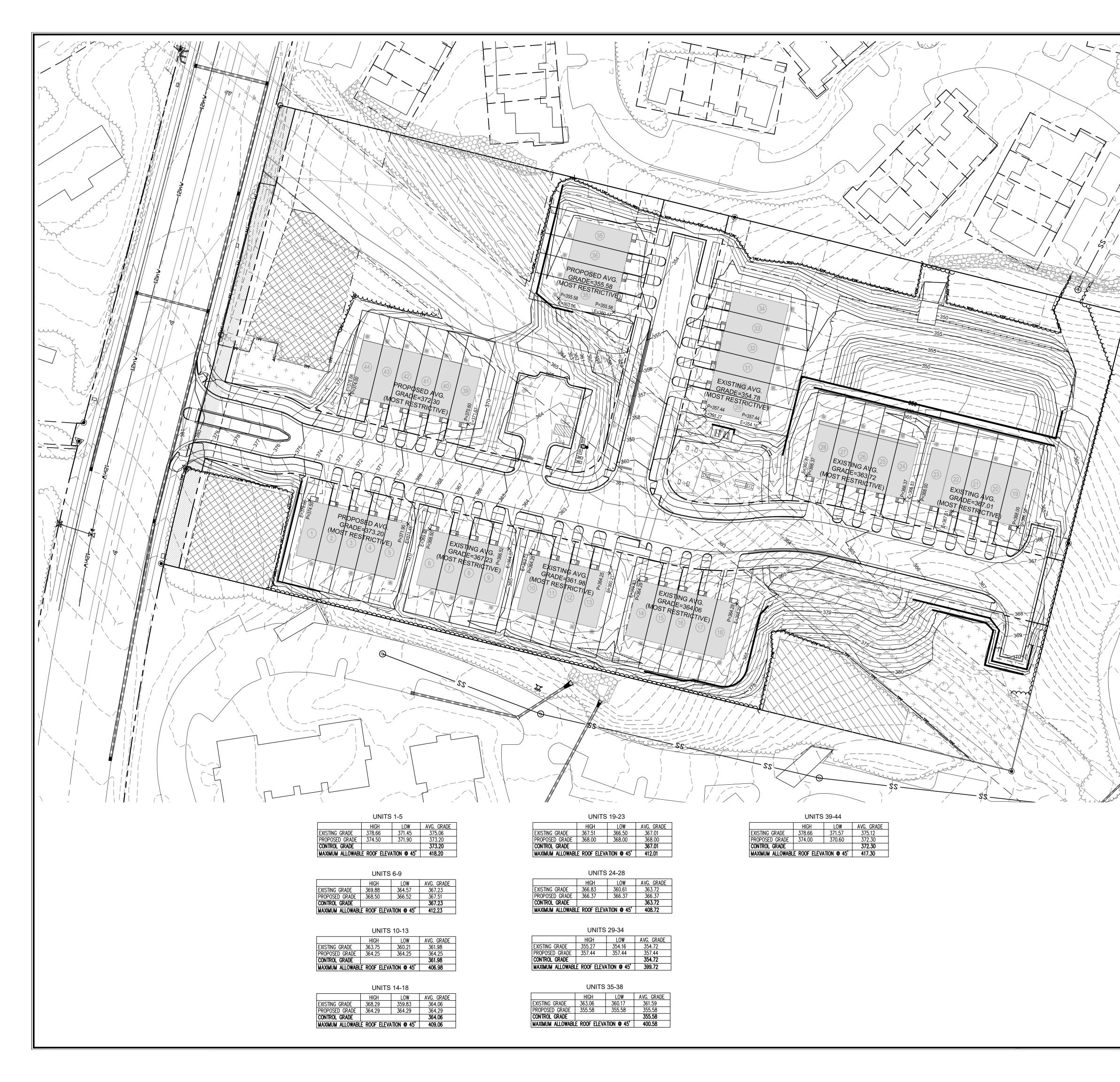




PLANT L	15	Т
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SYM.	QUAN.	BOTANICAL NAME	COMMON NAME	CAL.	HT.	ROOT	REMARKS
			CANOPY TREES				
GB	26	Ginkgo biloba 'Princeton Sentry'	Princeton Sentry Ginkgo	3"	0' -  2'	B≰B	Street Tree 40' o.c. Avg.
LA	2	Lagerstroemia x 'Acoma'	Acoma Crape Myrtle	-	6' - 8'	B¢B	Multı-Stem
MG	13	Magnolia grandiflora 'Little Gem'	Little Gem Magnolia	-	6' - 8'	B¢B	
NS	8	Nyssa sylvatica	Black Tupelo	2-1/2"	0' -  2'	B¢B	
QN	4	Quercus nuttallı	Nuttall Oak	2-1/2"	10' - 12'	B¢B	
QR	7	Quercus robur 'Crimschmidt'	Crimson Spire English Oak	3"	10' - 12'	B¢B	Street Tree 40' o.c. Avg.
TG	34	Terstroemia gymnanthera	Japanese Cleyera	-	4' - 6'	B¢B	
TP	25	Thuja plicatum 'Green Giant'	Green Giant Arborvitae	2"	8' - 10'	B¢B	
TO	12	Thuja occidentalis 'Emerald'	Emerald Arborvitae	-	6' - 8'	B¢B	
			SHRUBS				
LC	40	Loropetalum chinense var. rubrum 'Ruby'	Chinese Loropetalum		24" - 30"	CONT.	
MC	34	Myrıca cerifera	Wax Myrtle		36" - 48"	CONT.	6.5' <i>o.c.</i>
OF	13	Osmanthus fragrans	Fragrant Osmanthus		36" - 48"	CONT.	
PT	52	Pittosporum tobira	Pittosporum		36" - 48"	CONT.	
			GROUND COVER			·	
TURF	-	Cynodon dactylon	Bermuda Grass			SEED	

	OWNER INFO:		<b>DATA</b> ABETH GRADY TRUSTEE			3/9/20 2/13/20 12/23/19 10/26/18 8/21/18 DATE
te stra			ERRELL-REA TRUSTEE			3% 3% 0/ 0/
( E UU	PINS: ADDRESSES:	0795-08-2452 8 4020 & 4024 E	& 0795-08-4504 DWARDS MILL RD.			
	DEED BOOK:	RALEIGH, NC 2 16549 PG 1360	27612			NTS NTS TTS TS
	SITE AREA:	12493 PG 2455 324,429 SF / ±	i .			COMMEN COMMEN COMMEN OMMEN
7 \ / 7		ATION: 6,301 SF / ±	0.14 Ac.			REVIEW COMMENTS REVIEW COMMENTS REVIEW COMMENTS REVIEW COMMENTS ISIONS
	ZONING:	R-10-CU				5TH REV 4TH REV 3RD REV 2ND REV 1ST REV REV ISI
		S/F RESIDENTIAL &	VACANT			OF RALEIGH 5TH REVIEW COMMENTS OF RALEIGH 4TH REVIEW COMMENTS OF RALEIGH 3RD REVIEW COMMENTS OF RALEIGH 2ND REVIEW COMMENTS OF RALEIGH 1ST REVIEW COMMENTS REVISIONS
	SETBACKS: FRONT- SIDE-	10' 0' or 6'				
	REAR-	20'	(3 BEDROOM MAX)			
	PROPOSED LOT DENSITY:		UNITS & 3 OPEN LOTS -	47 LOTS TOTAL		REVISED   REVISED   REVISED   REVISED   REVISED
	MAX BLDG HEIG					- μ m m m m m m m m m m m m m m m m m m
			098 Ac. \ 4,252 SF 694 Ac. \ 117,369 SF (36.9	9%)		
Charles .			.: 10% OF SITE - ± 31,8 A: ± 39,106 SF (12.3% C			
	PARKING:	KING: 1 SPACE / BEE	ROOM + 1 VISITOR SPA			
		44 - 2 BEDROO 44 UNITS = 5 \	OM UNITS = 88 SPACES /ISITOR SPACES REQUI	RED		
, /	PARKING PROV	IDED: 2 BEDROOM L	RED SPACES = 93 SPAC INIT W/ 1 GARAGE SPAC ACES - 44 UNITS = 44 SI	ES = 44 SPACES	CE	GROUP
¥		PARKING LOT				
ŧ.	REQUIRED BICY PROVIDED BICY	CLE SPACES: 1 S	SPACE / 20 UNITS = 2 SP SPACES			WOOD AVE. 220 GH,NC 27603
t	TREE CONSERV			50 Ac.	PHONE:	919-367-8790 19-322-0032
	SECONDARY TR	REE CONVERSATION AREA REE CONVERSATION A REE CONSERVATION A	REA: 17,160 SF, 0.39			
					www.ce	groupinc.com
					Licens	se # C-1739
			DO NOT PRUNE LEADER. PRUNE OR CUT ONLY DEAD OR UNHEALTHY BRANCHES			7
			PROVIDE STAKING IF SPECIFIED. IF STAKING IS PROVIDED, PROTECT TREE WITH BROAD STRAP FLEXIBLE TUBING. ALLOW FLEXIBILITY IN STRAPS TO DEVELOP TRUNK TAPER. PROVIDE TURN BUCKLE AND WARNING FLAGS. REMOVE ALL			
			STAKING AND ACCESSORIES WITHIN ONE YEAR FROM PLANTING. THE ROOT FLARE SHALL BE PLANTED AT GRADE NO HIGHER THAN 2" ABOVE GRADE, AND NEVER			
			BELOW GRADE. REMOVE EXCESS SOIL TO EXPO THE ROOT FLARE AT GRADE. TREE SHALL BE SE PLUMB MULCH DEPTH 3". KEEP MULCH 3" FROM ROOT FLARE AND DO NOT CONTACT STEM			
ريلىر			HIGH QUALITY SOIL MIX AS SPECIFIED WATER SAUCER, IF SPECIFIED, SHALL RISE NO MORE THAN 3" ABOVE GRADE.			
مر من من			COMPLETELY REMOVE TOP HALF OF BURLAP, LACING STRAPS, NAILS AND WIRE BASKET AND DISCARD FROM HOLE. ALL SYNTHETIC BURLAP MUST BE REMOVED FROM SIDES OF ROOT BALL ROOT BALL SHALL BE PLACED DIRECTLY ON			
2 <sup>30</sup> ////////////////////////////////////			COMPACTED SUBGRADE. HANDLE TREE BY THE ROOT BALL ONLY.		<u>v</u>	
3			CONTACT INFORMATION: CITY OF RALEIGH PARKS, RECREATION AND CULTURAL RESOURCES DEPARTMENT URBAN FORESTER:		AN	_
3		NTRACTOR IS RESPONSIBLE FOR	WWW.RALEIGHNC.GOV			
	(PO 2. ADF MAN	EQUATE DRAINAGE OF ALL PLANTING PITS. SITIVE DRAINAGE AWAY FROM PIT) IERE TO STANDARDS IN THE CITY TREE NUAL. XEET TREES MUST BE 3" CALIPER AT				
	INS BR4 4. PL4 5. A TI	TALLATION WITH A 5' MINIMUM FIRST INCH HEIGHT. INTING SEASON OCTOBER - APRIL. REE IMPACT PERMIT IS REQUIRED. ICTRICAL OUTLETS AND OTHER UTILITIES	CITY OF RAL STANDARD DE REVISIONS DATE: 691/18		NN DPME	<b>D</b>
	ARE	EROHIBITED IN THE PLANTING AREA EDIATELY SURROUNDING THE TREE.		TING DETAIL P-03	N N	
		NOTE: SEE TREE	MULCH 3" DEEP MAX. AND 3" MIN. FROM TH BASE OF THE TREE	E		<b>A</b> TX
			SIDEWALK PAVING AND SUBBASE			SC NO
	30"± 501		4" DIA, PVC PIPE WRAPPED IN FILTER		ΣY	
		SITE SPECIFIC PLAN MUST BE DEVELOPED TO ENSUR	RE THAT:		NA N	<b>AN</b>
	12 13 13	<ol> <li>EACH TREE IS PROVIDED A MIN. ROOT-ACCESSIB 2. THE TREE ROOT AREA BENEATH THE SIDEWALK I THE PAVEMENT. 3. CONNECT SOIL SPACE FOR ROOT EXPANSION WH AND COLONIZE A SHARED SOIL SPACE.</li> </ol>	LE SOIL VOLUME OF 600 CUBIC FEET. S EXPANDED TO MAXIMIZE ROOT ACCESSIBLE SOIL SPA IERE POSSIBLE TO ALLOW ROOT SYSTEMS OF TREES TO	OVERLAP		L RAI
LED WITH	3. 40' 4. SU	SOIL STRIP DRAIN/AERATION SYSTEM) THAT PERF X 6' WIDTH MINIMUM APPLIES TO BOTH STRUCTURA	L SOILS AND SUBSURFACE SOIL CONTAINMENT SYSTEM APPROVED BY CITY OF RALEIGH PARKS, RECREATION AN	S	ŘE	
2 OF				~,	<b>C</b>	
					Data	
BASED ON FIELD SURVEYS AND LD VERIFY CONDITIONS ,		ROAD	ROAD	ROAD	Date:   2/3/	19
TIES, PRIOR TO STARTING S. 1-800-632-4949 AND THE CITY OF					Scale:	40'
URS PRIOR TO ANY DIGGING. ALEIGH STANDARDS AND	STRUC	STURAL SOIL SYSTEM SOIL CONT/	INMENT SYSTEM ROOT CHANNELING/PATH		Drawn: ACS	
FORMANCE WITH THE CITY OF TIONS.	CITY OF	2T INFORMATION: RALEIGH PARKS, RECREATION AND CULTURAL RES		TAIL NOT TO SOLE ANTING IN	Checked: AJF	
O N.C.D.O.T. STANDARDS AND A PER FEMA FIRM PANEL MAP	URBAN	TALEION FARAS, RECRENTION AND COLLONAL RES FORESTER: TREES@RALEIGHNC.GOV ALEIGHNC.GOV	SIDEWALK	Antino in Within Row P-07	Project No.   27-	304
SURVEY PREPARED BY MATTHEW / 018.	۹.		R		Computer Dwg I 27-304 landso	. Name
010.					<b>I</b>	
TION BETWEEN 2 FEET AND 8 FEET WHOLE OR PART. OBSTRUCTIONS						
TION BETWEEN 2 FEET AND 8 FEET					Sheet No:	
TION BETWEEN 2 FEET AND 8 FEET WHOLE OR PART. OBSTRUCTIONS LL, SIGN, OR PARKED VEHICLE. IGHT-OF-WAY. ATER THAN TWO PERCENT (2%) TANDARDS.		4	NOR 0' 0	TH 40' 80'	Sheet No:	10
TION BETWEEN 2 FEET AND 8 FEET WHOLE OR PART. OBSTRUCTIONS LL, SIGN, OR PARKED VEHICLE. IGHT-OF-WAY. FATER THAN TWO PERCENT (2%)		4		40' 80'	Sheet No:	10 <sub>Of</sub>



Le L'	OWNER INFO: ASHLEY ELIZABETH GRADY TRUSTEE	3/9/20 2/13/20 12/23/19 10/26/18 8/21/18
	LYNDA LUE TERRELL-REA TRUSTEE LUE S. TERRELL TRUSTEE PINS: 0795-08-2452 & 0795-08-4504	D, 8/
	ADDRESSES: 4020 & 4024 EDWARDS MILL RD. RALEIGH, NC 27612	
	DEED BOOK: 16549 PG 1360 12493 PG 2455	AMENTS AMENTS AMENTS MENTS MENTS MENTS
	SITE AREA:       324,429 SF / ± 7.45 Ac.         15' ROW DEDICATION:       6,301 SF / ± 0.14 Ac.         NET SITE AREA:       318,128 SF/ ± 7.30 Ac.	REVIEW COMMENTS REVIEW COMMENTS REVIEW COMMENTS REVIEW COMMENTS REVIEW COMMENTS REVIEW COMMENTS
5-1	ZONING: R-10-CU EXISTING USE: S/F RESIDENTIAL & VACANT	OF RALEIGH 5TH OF RALEIGH 4TH OF RALEIGH 4TH OF RALEIGH 3RD I OF RALEIGH 2nd F OF RALEIGH 1ST F
	SETBACKS: FRONT- 10' SIDE- 0' or 6' REAR- 20'	CITY OF RA CITY OF RA CITY OF RA CITY OF RA CITY OF RA
	PROPOSED USE: TOWNHOMES (3 BEDROOM MAX) PROPOSED LOTS: 44 DWELLING UNITS & 3 OPEN LOTS - 47 LOTS TOTAL DENSITY: 6.03 UNITS / AC MAX BLDG HEIGHT: 45' (3 STORIES)	REVISED PER CITY OF RALEIGH 5TH REVIEW COMMENTS REVISED PER CITY OF RALEIGH 4TH REVIEW COMMENTS REVISED PER CITY OF RALEIGH 4TH REVIEW COMMENTS REVISED PER CITY OF RALEIGH 3RD REVIEW COMMENTS REVISED PER CITY OF RALEIGH 2nd REVIEW COMMENTS REVISED PER CITY OF RALEIGH 1ST REVIEW COMMENTS REVISED PER CITY OF RALEIGH 1ST REVIEW COMMENTS REVISED PER CITY OF RALEIGH 1ST REVIEW COMMENTS
	EXISTING IMPERVIOUS AREA : 0.098 Ac. \ 4,252 SF	
	PROPOSED IMPERVIOUS AREA: 2.694 Ac. \ 117,369 SF (36.9%) REQUIRED OUTDOOR AMENITY AREA: 10% OF SITE - ± 31,813 SF	
	PROVIDED OUTDOOR AMENITY AREA:       ± 39,106 SF (12.3% OF SITE)         PARKING:       REQUIRED PARKING:       1 SPACE / BEDROOM + 1 VISITOR SPACE / 10 UNITS         44 - 2 BEDROOM UNITS = 88 SPACES       44 UNITS = 5 VISITOR SPACES REQUIRED         TOTAL REQUIRED SPACES = 93 SPACES	
	PARKING PROVIDED: 2 BEDROOM UNIT W/ 1 GARAGE SPACES = 44 SPACES DRIVEWAY SPACES - 44 UNITS = 44 SPACES PARKING LOT = 11 SPACES TOTAL PROVIDED SPACES = 99 SPACES	<b>CE</b> GROUP
	REQUIRED BICYCLE SPACES:1 SPACE / 20 UNITS = 2 SPACES (4 MIN.)PROVIDED BICYCLE SPACES:4 SPACESTREE CONSERVATION AREA	301 GLENWOOD AVE. 220 RALEIGH,NC 27603 PHONE: 919-367-8790 FAX: 919-322-0032
	PRIMARY TREE CONVERSATION AREA:15,128 SF, 0.350 Ac.SECONDARY TREE CONVERSATION AREA:17,160 SF, 0.394 Ac.TOTAL TREE CONSERVATION AREA32,403 SF, 0.744 Ac. (10.2% OF SITE)	www.cegroupinc.com
		License # C-1739
	1. EXISTING UNDERGROUND STRUCTURES AND UTILITIES SHOWN ARE BASED ON FIELD SURVEYS AND BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL FIELD VERIFY CONDITIONS .	
	<ol> <li>BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL FIELD VERIFY CONDITIONS, INCLUDING THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES, PRIOR TO STARTING CONSTRUCTION AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.</li> <li>THE CONTRACTOR SHALL CONTACT NORTH CAROLINA ONE CALL AT 1-800-632-4949 AND THE CITY OF RALEIGH UTILITIES. THE CONTRACTOR SHALL CALL AT LEAST 48 HOURS PRIOR TO ANY DIGGING.</li> <li>ALL CONSTRUCTION SHALL BE IN CONFORMANCE TO THE CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.</li> </ol>	
	<ol> <li>ALL WATER AND SANITARY SEWER INSTALLATION SHALL BE IN CONFORMANCE WITH THE CITY OF RALEIGH PUBLIC UTILITY DEPARTMENT STANDARDS AND SPECIFICATIONS.</li> <li>ALL WORK WITHIN THE N.C.D.O.T. RIGHT-OF-WAY SHALL CONFORM TO N.C.D.O.T. STANDARDS AND SPECIFICATIONS.</li> </ol>	
- John Starte	<ol> <li>THE SUBJECT PROPERTY IS NOT LOCATED IN A FLOOD HAZARD AREA PER FEMA FIRM PANEL MAP NUMBER 3720079500J DATED MAY 2, 2006.</li> <li>BOUNDARY, TOPOGRAPHIC, AND TREE INFORMATION TAKEN FROM SURVEY PREPARED BY MATTHEW A. HAYES, PLS #4516 FOR MSS LAND CONSULTANTS, DATED JUNE 22, 2018.</li> <li>WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN 2 FEET AND 8 FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN WHOLE OR PART. OBSTRUCTIONS INCLUDE, BUT ARE NOT LIMITED TO ANY BERM, FOLIAGE, FENCE, WALL, SIGN, OR PARKED VEHICLE.</li> <li>ALL HVAC UNITS SHALL BE SCREENED FROM VIEW OF THE PUBLIC RIGHT-OF-WAY.</li> <li>HANDICAP PARKING SPACES AND ACCESS AISLES SHALL BE NO GREATER THAN TWO PERCENT (2%) SLOPE IN ANY DIRECTION AS PER ADA STANDARDS.</li> <li>PROVIDE STRIPING AND SIGNAGE OF HANDICAP SPACES PER ADA STANDARDS.</li> <li>ALL RETAINING WALLS GREATER THAN 30" IN HEIGHT TO INCLUDE SAFETY RAIL OR FENCE. NO RETAINING WALLS ARE PERMITTED IN THE RIGHT-OF-WAY UNLESS APPROVED BY ENCROACHMENT.</li> <li>THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION).</li> </ol>	NT PLANS <b>GRADE</b> DLINA
`-{\///	LEGEND	N PMEN CARO
	+ E= EXISTING GROUND ELEVATION ALONG FRONTAGE + P= PROPOSED GROUND ELEVATION ALONG FRONTAGE	MILLTOW RY DEVELO <b>3 AVERA</b> EXHBI BH, NORTH (
	PRELIMINARY DESIGN	RELIMINA UILDIN( RALEIC
	NOT RELEASED FOR CONSTRUCTION	<b>B</b> B
	FOR CONSTRUCTION	Date:   2/3/19 Scale:
	FOR CONSTRUCTION	Date:   2/3/19 Scale:  " = 40' Drawn:
	FOR CONSTRUCTION         LEGEND        SSSANITARY SEWER MAIN        WWATER MAIN        GGAS MAIN	Date: 12/3/19 Scale: 1" = 40' Drawn: ACS Checked:
	FOR CONSTRUCTION     LEGEND  SSSANITARY SEWER MAIN  WWATER MAIN	Date:  2/3/19 Scale:  " = 40' Drawn: ACS Checked: AJF Project No.
	FOR CONSTRUCTION         LEGEND         SS       SANITARY SEWER MAIN         W       WATER MAIN         G       GAS MAIN         FO       FIBER OPTIC         #       OVERHEAD ELECTRIC         UE       UNDERGROUND ELECTRIC         Q       POWER POLE	Date: I 2/3/I9 Scale: I'' = 40' Drawn: ACS Checked: AJF Project No. I 27-304 Computer Dwg. Name
	FOR CONSTRUCTION         LEGEND        SSSANITARY SEWER MAIN        WWATER MAIN        WWATER MAIN        GGAS MAIN        OVERHEAD ELECTRIC        UUDERGROUND ELECTRIC	Date:  2/3/19  Scale:  " = 40' Drawn: ACS Checked: AJF Project No.  27-304  Computer Dwg. Name  27-304  building spot grades exhibit