



Administrative Approval Action

**Case File / Name: SUB-S-28-2019
Jade Gardens Subdivision**

**City of Raleigh
Development Services Department**
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

- LOCATION:** This 2 lot subdivision zoned Residential-4, is located on the south side of Hampton Road at 3349 Hampton Road.
- REQUEST:** Subdivision of a .84 acre lot into two single family conventional subdivision lots.
- DESIGN ADJUSTMENT(S)/ALTERNATES, ETC:** N/A
- FINDINGS:** **City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated May 24, 2019 by ALISON A POCKAT, ASLA.**

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

SITE PERMITTING REVIEW - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

Stormwater

1. These lots are exempt per UDO Section 9.2.2.A.2.b.i as a residential subdivision of one acre or less approved after May 1, 2001, but are subject to impervious limitations of subsection A.4 and subject to further review upon placement of impervious surface areas.
2. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).

LEGAL DOCUMENTS - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Utility Placement Easement Required
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<input checked="" type="checkbox"/>	Slope Easement Required
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RECORDED MAP(S) - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

General



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1. A demolition permit shall be issued and this building permit number shown on all maps for recording.

Engineering

2. A 5' utility placement easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.
3. A public infrastructure surety is provided to the City of Raleigh Development Services – Development Engineering program (UDO 8.1.3).
4. A slope easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.
5. A fee-in-lieu for 2' in pavement width and 6' wide sidewalks both across the 165' frontage of the lots is paid to the City of Raleigh (UDO 8.1.10).

Public Utilities

6. Wake County approval for any required Well or Septic Permits shall be shown on the map for recordation.

Stormwater

7. If demolition causes a land disturbance of more than 12,000 sf, a mass grading permit will be required. (UDO 9.4.6)

Urban Forestry

8. A surety for 8 street trees is required.

BUILDING PERMITS - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

Stormwater

1. Impervious restrictions for each lot must be recorded on a plat prior to building permit issuance.



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2. If total land disturbance will be over 12,000 sq. ft. for multiple houses, a separate site plan submittal & approval will be required. Site plans require an erosion control plan. (UDO 9.4.6.)

The following are required prior to issuance of building occupancy permit:

Stormwater

1. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).

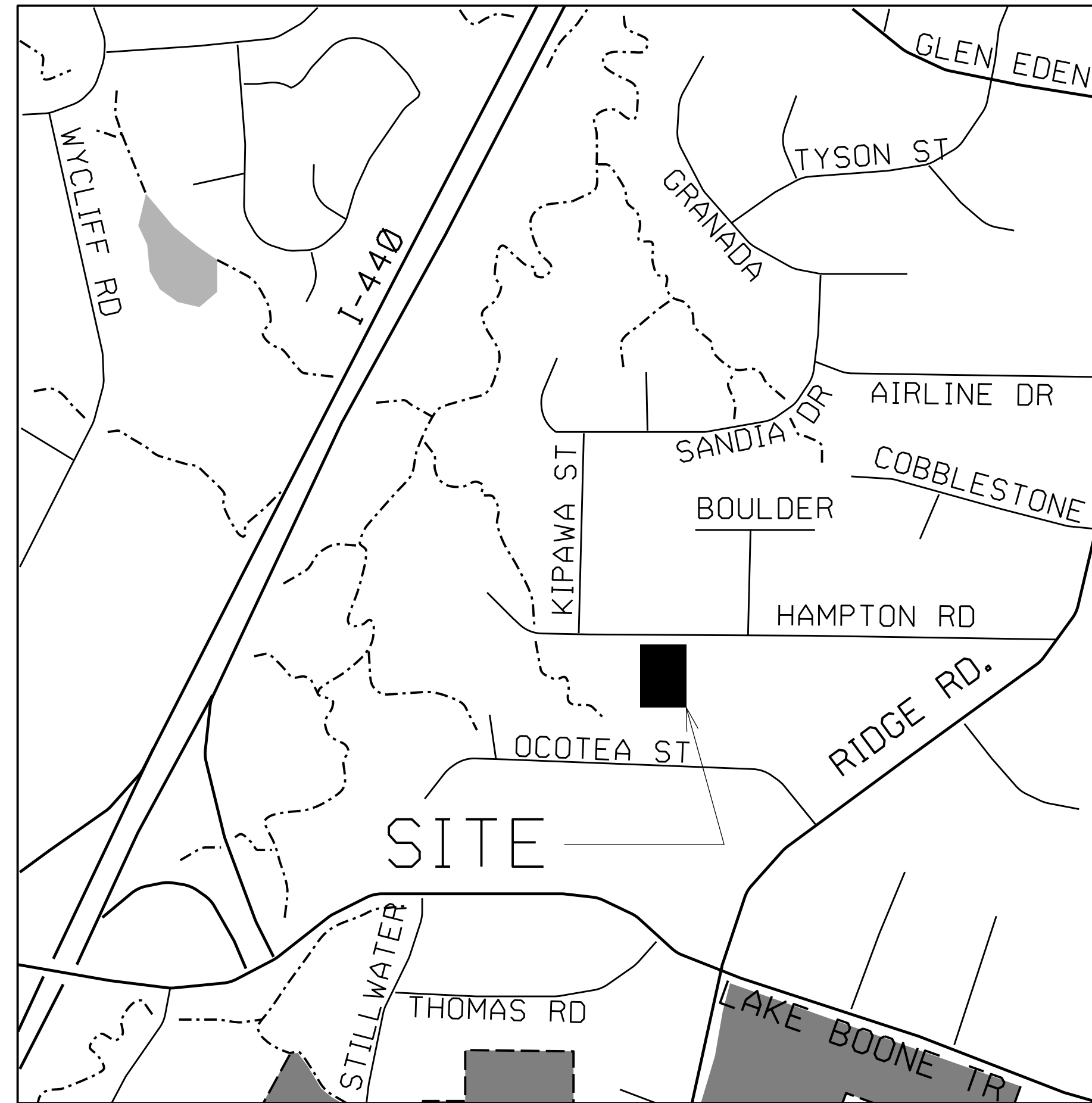
EXPIRATION DATES: If significant construction has not taken place on a project after preliminary subdivision approval, that approval may "sunset" and be declared void, requiring re-approval before permits may be issued. To avoid allowing this preliminary approval to "sunset", the following must take place by the following dates:

3-Year Sunset Date: January 7, 2023
Record at least ½ of the land area approved.

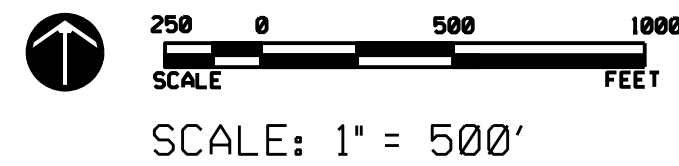
5-Year Sunset Date: January 7, 2025
Record entire subdivision.

I hereby certify this administrative decision.

Signed: _____ Date: 01/08/2020
Development Services Dir/Designee
Staff Coordinator: Michael Walters



VICINITY MAP



RALEIGH CASE NUMBER: SUB S-28-2019
TRANSACTION NUMBER: 601346

LIST OF DRAWINGS		
SEQ. NO.	DWG. NO.	TITLE
1	C0-0	COVER SHEET
2	EC-1	EXISTING CONDITIONS PLAN
3	SP-1	PROPOSED SUBDIVISION
4	D-1	UTILITY DETAILS

NOTE: ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH &/OR NCDOT STANDARDS AND SPECIFICATIONS.

SOLID WASTE COMPLIANCE STATEMENT:
DEVELOPERS HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.

A TREE IMPACT FEE IS REQUIRED WHEN PLOT PLANS ARE SUBMITTED FOR BUILDING PERMIT IN ORDER TO PLANT TREES IN THE PUBLIC RIGHT OF WAY.

JADE GARDENS SUBDIVISION

3349 HAMPTON RD.
RALEIGH, NORTH CAROLINA

OWNER:
CHILDREN OF JULIE, LLC
5580 CENTERVIEW DR.,
SUITE 115
RALEIGH, NC 27606

CONTACT: RYAN W. JOHNSON
PHONE - 919 536-2781

SITE DATA

ADDRESS: 3349 HAMPTON RD., RALEIGH
PIN #: 1705-32-9947 ACREAGE: 0.84
BM 1954, PG 120
BM 1957, PG 70
DB 8633, PG 429 - 431

ZONING: R-4
LAND CLASS: LOW DENSITY RESIDENTIAL -
LESS THAN 10 UNITS PER AC - HOMESITE
CITIZENS ADVISORY COUNCIL - GLENWOOD
WATERSHED: CRABTREE CREEK
UPPER NEUSE RIVER BASIN

PROPOSED USE - LOW DENSITY RESIDENTIAL

THE SITE IS A SUBDIVISION OF LOT NO. 8 AND PART OF 8A,
A. C. BAREFOOT SUBDIVISION

TOTAL SURFACE AREA FOR LOT = 36,564 SF, 0.84 ACRES
EXISTING IMPERVIOUS SURFACE AREA FOR LOT = 5,350 SF
PERCENT IMPERVIOUS (EXISTING COND.) FOR LOT 11 = 14.63%

PROPOSED USE - TWO RESIDENTIAL LOTS
LOT 1 - 18,282 SF - 0.42 AC
LOT 2 - 18,282 SF - 0.42 AC

SITE DENSITY = 2.38

PROJECTED WASTEWATER FLOW = 960 GPD
2 DWELLINGS X 4 BEDROOMS X 120 GRP



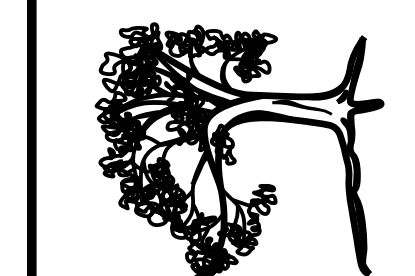
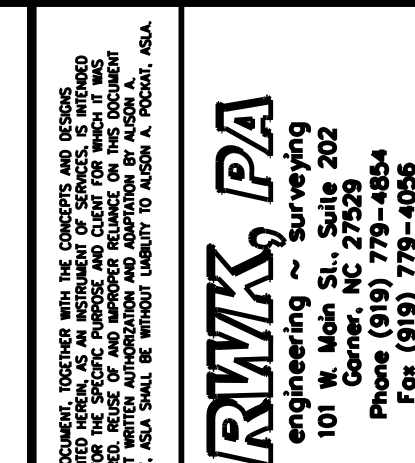
This form is used when submitting a Preliminary Subdivision (UDO Section 10.2.5.)
Please check the appropriate review type and include the plan checklist document.

Office Use Only: Transaction #: _____		Planning Coordinator: _____	
DEVELOPMENT TYPE (UDO Section 2.1.2)			
<input checked="" type="checkbox"/> Conventional Subdivision	<input type="checkbox"/> Compact Development	<input type="checkbox"/> Conservation Development	<input type="checkbox"/> Cottage Court
NOTE: Subdivisions may require City Council approval if in a Metro Park Overlay or Historic Overlay District			
GENERAL INFORMATION			
Development name (subject to approval): Jade Gardens Subdivision			
Property Address(es): 3349 Hampton Rd.			
Recorded Deed PIN(s): 0795329947			
What is your project type?	<input checked="" type="checkbox"/> Single family <input type="checkbox"/> Apartment	<input type="checkbox"/> Townhouse <input type="checkbox"/> Non-residential	<input type="checkbox"/> Attached houses Other: _____
CURRENT PROPERTY OWNER/DEVELOPER INFORMATION			
Company: Children of Julie, LLC		Owner/Developer Name and Title: Ryan W. Johnson	
Address: 5580 Centerview Dr., Suite 115, Raleigh, NC 27606			
Phone #: 919 536-2781		Email: ryan@revolutionhomes.biz	
APPLICANT INFORMATION			
Company: Children of Julie, LLC		Contact Name and Title: Alison Pockat, Landscape Architect	
Address: 106 Steep Bank Dr., Cary, NC 27518			
Phone #: 919 363-4415		Email: aapockat@earthlink.net	
DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)			
ZONING INFORMATION			
Gross site acreage: 36,564 SF / 0.84 Ac			
Zoning districts (if more than one, provide acreage of each): R-4			
Overlay district:	Inside City limits? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Board of Adjustment (BOA) Case # A-	
Conditional Use District (CUD) Case # Z-			

Please continue to page two...

STORMWATER INFORMATION	
Existing Impervious Surface: Acres: 0.123 ac Square Feet: 5,350 SF	Proposed Impervious Surface: Acres: _____ Square Feet: _____
Neuse River Buffer <input type="checkbox"/> Yes <input type="checkbox"/> No	Wetlands <input type="checkbox"/> Yes <input type="checkbox"/> No
Is this a flood hazard area? <input type="checkbox"/> Yes <input type="checkbox"/> No	
If yes, please provide the following: Alluvial soils: _____ Flood study: _____ FEMA Map Panel #: _____	
NUMBER OF LOTS AND DENSITY	
Total # of townhouse lots: Detached _____ Attached _____	Total # of all lots: 2
Total # of single-family lots: 2	Proposed density for each zoning district (UDO 1.5.2.F): 2.38
Total # of open space and/or common area lots: 0	

SIGNATURE BLOCK	
In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors, and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City of Raleigh.	
I hereby designate Alison A. Pockat, ASLA to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.	
I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.	
Signature: <i>Ryan Wade Johnson</i>	Date: May 28, 2019
Printed Name: Ryan Wade Johnson, Manager	
Signature: _____	Date: _____
Printed Name: _____	



ALISON A. POCKAT, ASLA
LANDSCAPE ARCHITECT
LAND PLANNER
(919) 363-4415
106 STEEPBANK DRIVE
CARY, NC 27518

DESIGNED: AAP
DRAWN:
APPROVED:

JADE GARDENS SUBDIVISION
3349 HAMPTON RD., RALEIGH NC
REVOLUTION HOMES LLC
5580 CENTERVIEW DR.,
SUITE 115, RALEIGH, NC 27606

NO.	DATE	REVISIONS

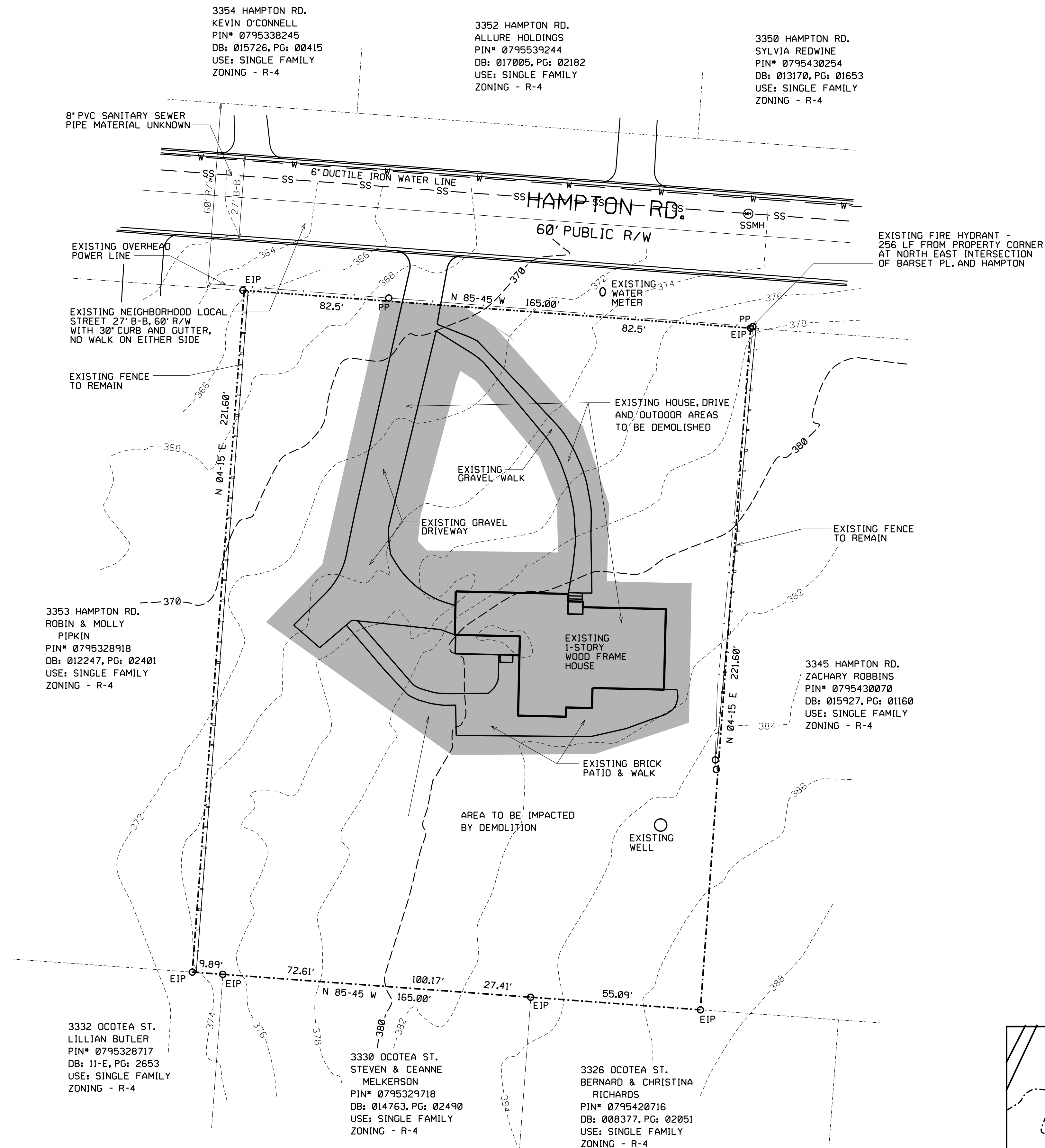
SCALE: NTS
DATE: MAY 24, 2019
SHEET NO.:
COVER SHEET
CO-1

RALEIGH CASE NUMBER: SUB S-28-2019
TRANSACTION NUMBER: 601346

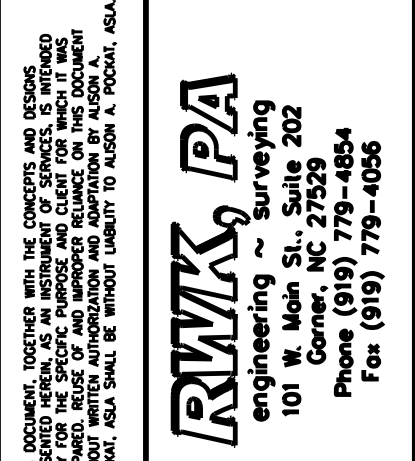
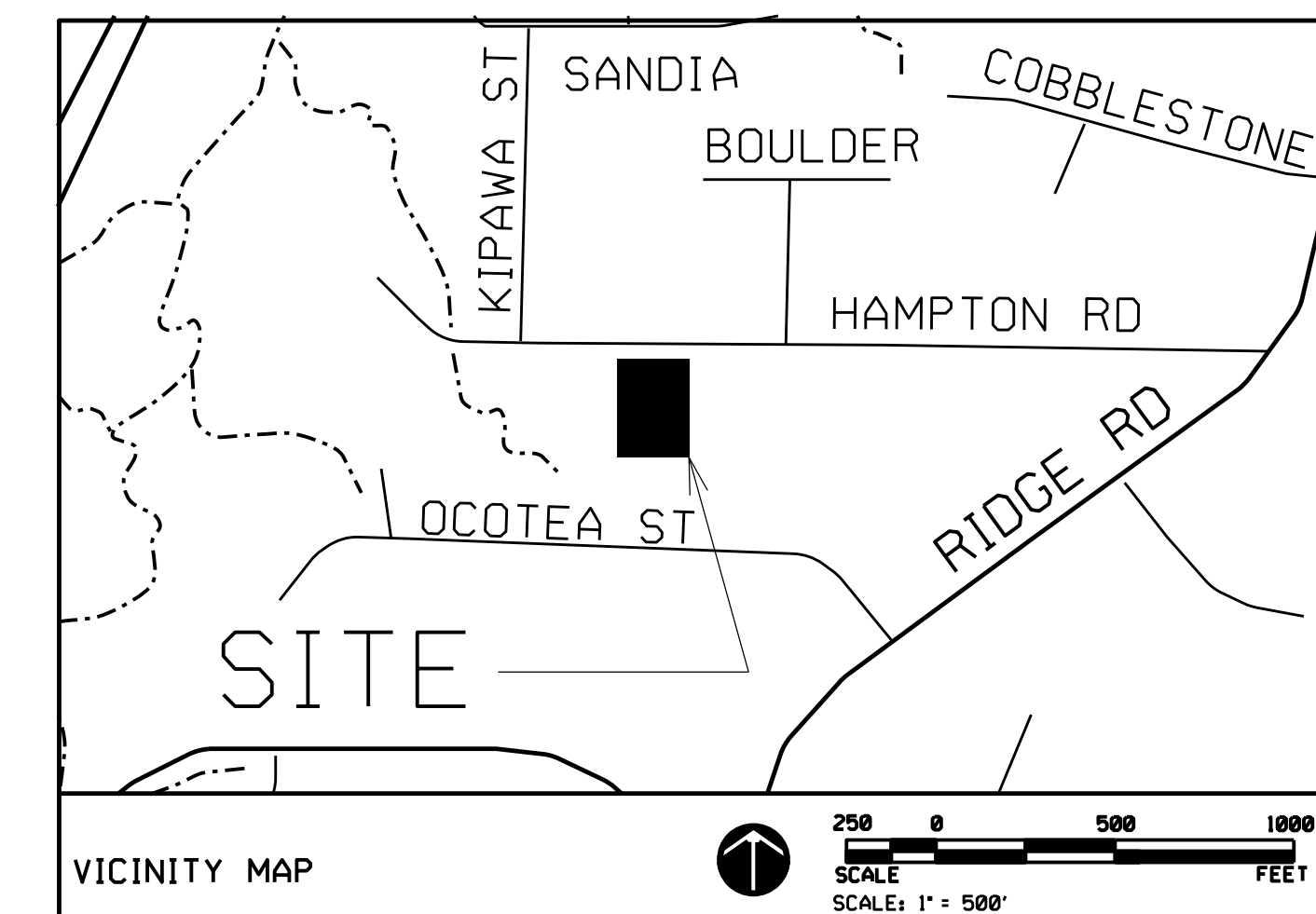
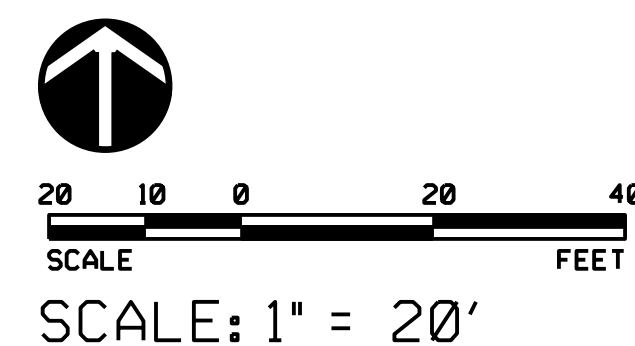
SITE DATA:

PIN NUMBER - 1705329947
 ADDRESS: 3349 HAMPTON RD., RALEIGH
 LOT 8, PART OF LOT 8A A.C. BAREFOOT SUBDIVISION
 BOM 1954, PAGE 120
 BOM 1957, PAGE 70
 DB 8633, PAGE 429 - 431
 TOTAL ACREAGE - 36,564 SF - 0.84 AC
 EXISTING IMPERVIOUS AREA - 5,350 SF - 0.123 AC
 HOUSE / GARAGE - 1,830 SF,
 DRIVE / WALK - 2,360 SF, PATIO / DECK - 1,160 SF
 EXISTING HOUSE / WALK / DRIVE TO BE DEMOLISHED

ZONING - R-4
 CITIZENS ADVISORY COUNCIL -
 GLENWOOD CAC



- LEGEND:**
- EXISTING TOPOGRAPHY
 - 18" STORMWATER DRAIN LINE
 - SANITARY SEWER LINE
 - PROPERTY LINE
 - CLEANOUT
 - WATER METER
 - WATER VALVE
 - MAN HOLE
 - EXISTING RIGHT OF WAY



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DESIGNED: AAP
DRAWN:
APPROVED:

JADE GARDENS SUBDIVISION
 SUBDIVISION & PLANTING PLAN
 3349 HAMPTON RD., RALEIGH, NC
 REVOLUTION HOMES LLC
 5580 CENTERVIEW DR.
 SUITE 115, RALEIGH, NC 27606

NO.	DATE	REVISIONS
1	B.12.19	RALEIGH COMMENTS

SCALE: NTS
 DATE: MAY 24, 2019

EXISTING CONDITIONS
 EC-1

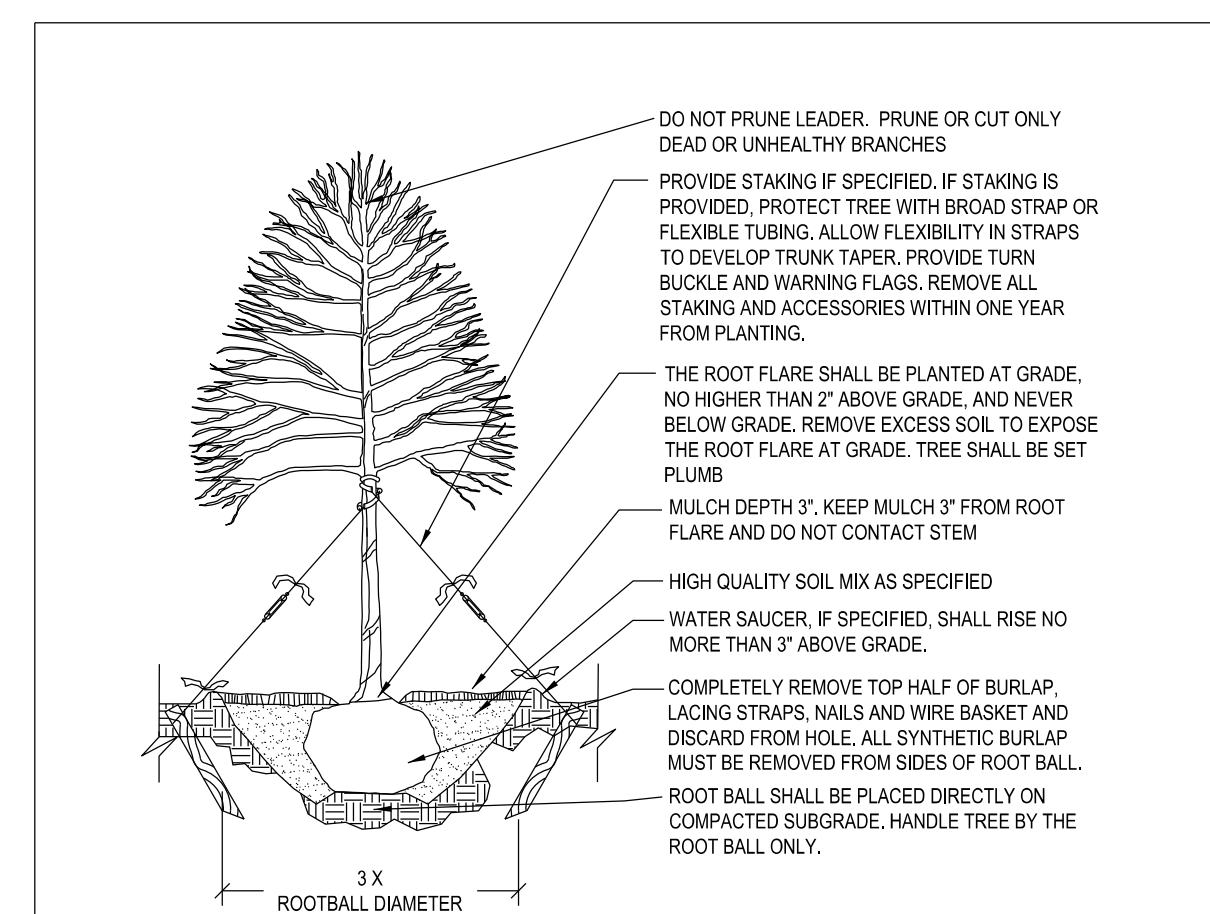
SITE NOTES:

1. THE TOTAL AREA FOR DEVELOPMENT OF THE TWO LOTS EQUALS 36,564 SF - 0.84 AC. PER SECTION 9.2.2.A.2.b.1 SUBJECT TO 4.0 OF PART 10A OF THE RALEIGH UNIFIED DEVELOPMENT ORDINANCE, THESE LOTS ARE EXEMPT OF ACTIVE STORMWATER MEASURES AND SUBJECT TO FURTHER REVIEW UPON PLACEMENT OF IMPERVIOUS SURFACE.
2. THE SITE IS 0.84 ACRES. UNDER SECTION 9.1.3 OF THE UDO NO TREE CONSERVATION PLAN WILL BE REQUIRED.
3. EXISTING HOUSE, WALK AND DRIVEWAY STRUCTURES ARE TO BE REMOVED. A DEMOLITION PERMIT IS REQUIRED PRIOR TO THE APPROVAL OF A RECORDED PLAT, DEMO PERMIT NUMBER SHALL BE SHOWN ON ALL MAPS FOR RECORDING.
4. ALL CONSTRUCTION IS TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS.
5. THE DEVELOPER IS RESPONSIBLE FOR THE INSTALLATION OF ALL UTILITY LINES NECESSARY TO PROVIDE SERVICE TO THESE SITES.
6. A TREE IMPACT PERMIT FEE IS REQUIRED WHEN PLOT PLANS ARE SUBMITTED FOR BUILDING PERMIT IN ORDER TO PLANT TREES IN THE PUBLIC RIGHT-OF-WAY.
7. STREET TREES SHALL BE INSTALLED AND MAINTAINED PER CHAPTER 2 OF THE RALEIGH CITY TREE MANUAL.
8. A FEE-IN-LIEU FOR 6' OF SIDEWALK IS REQUIRED FOR THE ENTIRE FRONTAGE OF HAMPTON RD. AND A SURETY BOND FOR THE PROPOSED STREET TREES INDICATED ON THE PLAN.
9. A SURETY BOND IS REQUIRED FOR ALL PUBLIC INFRASTRUCTURE IMPROVEMENTS PRIOR TO MAP RECORDATION. SEE RALEIGH STREET DESIGN MANUAL SECTION 5.3.4. THE BOND LETTER OF CREDIT OR CERTIFIED CHECK IS REQUIRED FOR ALL INCOMPLETE PUBLIC IMPROVEMENTS BASED ON 125% OF ESTIMATED CONSTRUCTION COSTS PRIOR TO MAP RECORDATION. SEE RSDM SECTION 5.6.
10. SUBDIVISION PLAN CREATES TWO LOTS.
11. INFILL SUBDIVISION RULES MAY APPLY TO THIS DEVELOPMENT AS PER UDO SEC. 2.2.7.
12. ANY EXISTING WATER OR SEWER COMPONENTS THAT ARE TO BE ABANDONED SHALL BE ABANDONED AS PER CORPUD STANDARDS - PUBLIC UTILITY HANDBOOK, PAGES 67 AND 125.

IMPERVIOUS SURFACE AREA LIMITS:

LOT 1 -
 82.5 LF ALONG STREET
 6' FUTURE WALK = 495 SF
 (18,282 X .38) - 495 = 6,452 SF
 MAXIMUM IMPERVIOUS SURFACE ALLOWED FOR LOT 1 = 6,452 SF

LOT 2 -
 82.5 LF ALONG STREET
 6' FUTURE WALK = 495 SF
 (18,282 X .38) - 495 = 6,452 SF
 MAXIMUM IMPERVIOUS SURFACE ALLOWED FOR LOT 2 = 6,452 SF



CONTACT INFORMATION:
 CITY OF RALEIGH PARKS, RECREATION AND CULTURAL RESOURCES DEPARTMENT URBAN FORESTER:
 TREES@RALEIGHNC.GOV
 WWW.RALEIGHNC.GOV

- NOTES:**
1. CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITS. (POSITIVE DRAINAGE AWAY FROM PIT)
 2. ADHERE TO STANDARDS IN THE CITY TREE MANUAL.
 3. STREET TREES MUST BE 3" CALIPER AT INSTALLATION WITH A 5' MINIMUM FIRST BRANCH HEIGHT.
 4. PLANTING SEASON OCTOBER - APRIL.
 5. A TREE IMPACT PERMIT IS REQUIRED.
 6. ELECTRICAL OUTLETS AND OTHER UTILITIES ARE PROHIBITED IN THE PLANTING AREA IMMEDIATELY SURROUNDING THE TREE.

CITY OF RALEIGH STANDARD DETAIL		
REVISIONS	DATE	NOTES

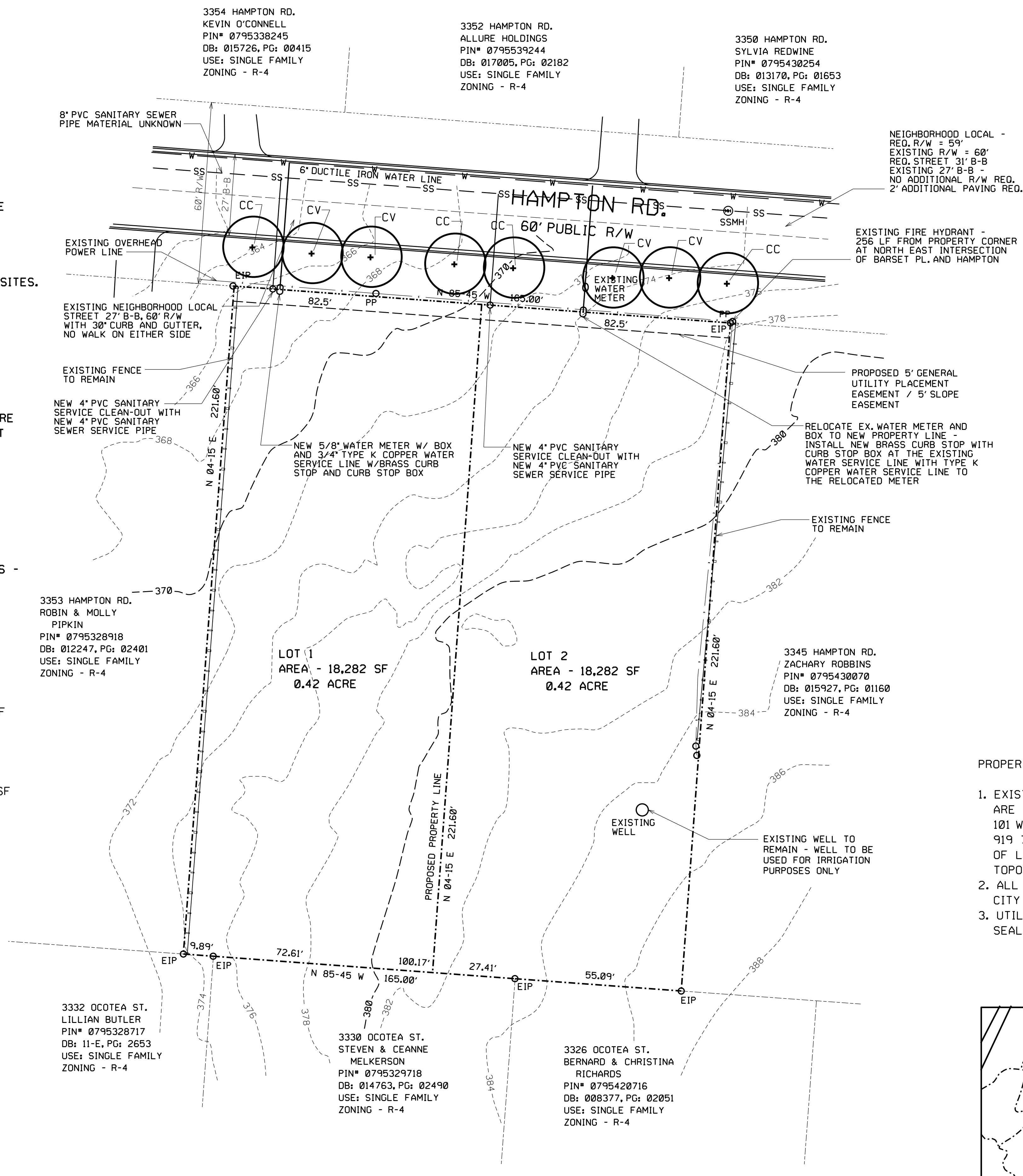
TREE PLANTING DETAIL

TPP-03

STREET TREE PLANTING

KEY	COUNT	PLANT NAME	O/C SPACE	SIZE
CC	4	CERCIS CANADENSIS, REDBUD	20'	1.5" CAL, 8-10' HT
CV	4	CHIONANTHUS VIRGINICUS, FRINGE TREE	20'	1.5" CAL, 8-10' HT

ALL TREES PROPOSED ARE LARGE MATURING TREES.



SITE DATA:

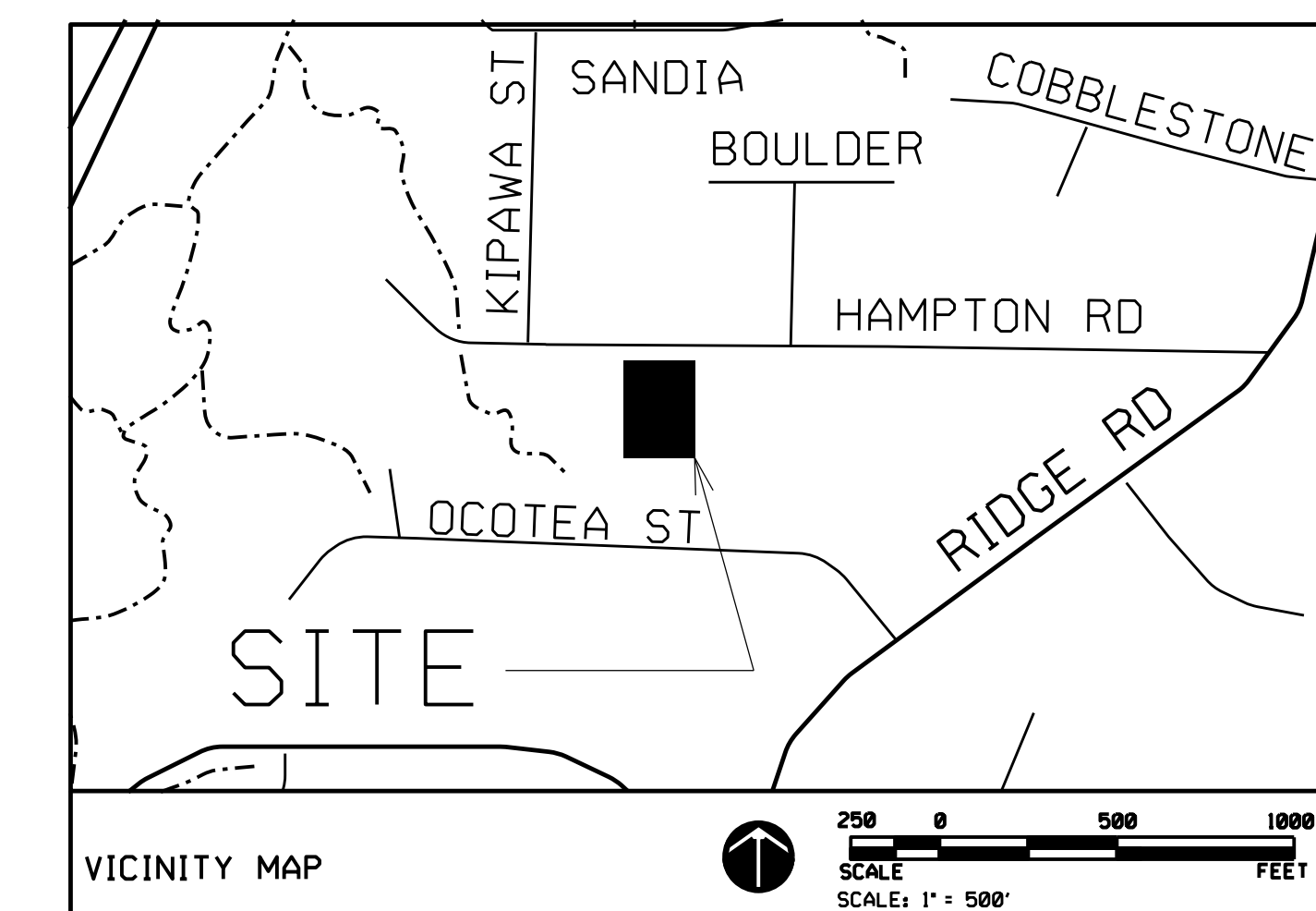
PIN NUMBER - 1705329947
 ADDRESS: 3349 HAMPTON RD., RALEIGH
 TOTAL ACREAGE - 36,564 SF - 0.84 AC
 AREA OF RIGHT OF WAY DEDICATION - 0 SF
 LOT 1 - 18,282 SF - 0.42 AC
 LOT 2 - 18,282 SF - 0.42 AC
 PROPOSED SITE DENSITY - 2.38 UNITS / ACRE
 EXISTING IMPERVIOUS AREA - 5,350 SF - 0.123 AC
 HOUSE, GARAGE - 1,830 SF, DECK - 130 SF
 DRIVE, WALK - 2,360 SF, PATIO - 1,030 SF
 ZONING - R-4
 CITIZENS ADVISORY COUNCIL - GLENWOOD CAC

LEGEND:

- EXISTING TOPOGRAPHY
- 18" STORMWATER DRAIN LINE
- SANITARY SEWER LINE
- PROPERTY LINE
- CLEANOUT
- WATER METER
- WATER VALVE
- MAN HOLE
- EXISTING RIGHT OF WAY

PROPERTY NOTES:

1. EXISTING BOUNDARY AND SITE ELEMENTS AND INFORMATION ARE BASED ON AN EXISTING CONDITIONS SURVEY BY RWK, PA 101 W. MAIN ST., SUITE 202, GARNER, NC 27529, PHONE NUMBER: 919 779-4854, ENTITLED '3349 HAMPTON ROAD, LOT 8 AND PART OF LOT 8A, SUBDIVISION OF A. C. BAREFOOT, JR' AND DATED 4-11-19. TOPOGRAPHIC INFORMATION IS BASED ON WAKE COUNTY GIS.
2. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH &/OR NCDOT STANDARDS AND SPECIFICATIONS.
3. UTILITY DESIGN IS TAKEN FROM A DOCUMENT ISSUED AND SEALED BY SEAN MCLEAN, NC PE 027840 AND DATED MAY 29, 2019.



RWK PA
 engineering - surveying
 101 W. Main St., Suite 202
 Garner, NC 27529
 Phone (919) 779-4854
 Fax (919) 779-4854

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 LANDSCAPE ARCHITECT
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DESIGNED: AAP
 DRAWN:
 APPROVED:

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 SUBDIVISION & PLANTING PLAN
 3349 HAMPTON RD., RALEIGH, NC

REVOLUTION HOMES LLC
 5580 CENTERVIEW DR.
 SUITE 115, RALEIGH, NC 27606

SCALE: NTS
 DATE: MAY 24, 2019

SHEET NO. 1
 PROPOSED SUBDIVISION & PLANTING PLAN
 SP-1

SEQUENCE NO. 3 OF 4