



Administrative Approval Action

Case File / Name: SUB-S-49-2018
Townes at Stoneridge

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: The site is located on the north side of Buffalo Road and east side of Stone Station Drive. The site is addressed at 6501 Buffalo Rd, which is located in the City of Raleigh Extraterritorial Jurisdiction.

REQUEST: Subdivision of a vacant 17.59-acre tract zoned OX-3CU (Z-60-2004). The plans propose 92 townhome lots and 7 open lots.

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated January 24, 2020 by Morris & Ritchie Associates of NC, PC.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

Engineering

1. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to Development Services – Development Engineering prior to concurrent review approval.

Stormwater

2. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
3. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).
4. The State of North Carolina shall approve any proposed disturbance within the riparian buffer prior to the issuance of any grading or site permit (UDO 9.2.3.E).
5. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).

Urban Forestry

6. Submit a final tree conservation plan that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required (UDO 9.1.5).



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7. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.

☒ **LEGAL DOCUMENTS** - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Stormwater Maintenance Covenant Required
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☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

General

1. Street names for this development shall be approved by the Raleigh GIS Division and by Wake County.
2. The City Code Covenant shall be approved by the City and recorded with the county register of deeds office where the property is located and a copy of the recorded document shall be provided to the City by the end of the next business day following the recordation of the final plat. Further recordings and building permits will be withheld if the recorded document is not provided to the City.

Engineering

3. A 5' utility placement easements and associated deed of easements (as shown on plan along internal streets and Buffaloe) shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.
4. A fee-in-lieu for construction of 1/2 a Neighborhood Local Street within the footprint of the Perry Creek Road Extension is paid to the City of Raleigh (UDO 8.1.10).
5. The required right of way for proposed and/or existing streets (Perry Creek, Buffaloe, Internal Streets, Spring Forest) shall be dedicated to the City of Raleigh and shown on the map approved for recordation.
6. A fee-in-lieu for the remaining sidewalk and curb & gutter along Buffaloe Rd is paid to the City of Raleigh (UDO 8.1.10).



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7. Slope easements (10 to 20-ft in width) and associated deeds of easement (along Perry Creek, Buffalo, Spring Forest) shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.
8. A 15'x20' transit easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.
9. A public infrastructure surety is provided to the City of Raleigh Development Services – Development Engineering program (UDO 8.1.3) for the improvements to Buffalo Rd.
10. A fee-in-lieu for construction of the internal streets where they stop short of the property line (Streets A & B) is paid to the City of Raleigh (UDO 8.1.10).
11. A public infrastructure surety is provided to the City of Raleigh Development Services – Development Engineering program (UDO 8.1.3) for the internal infrastructure.

Public Utilities

12. A Petition for Annexation into the City limits shall be submitted in accordance with City Council policy for extension of utility service to properties currently outside of the City limits. This voluntary annexation in no way obligates the City to extend utility services to the property.
13. Infrastructure Construction Plans (concurrent submittal) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.
14. A fee-in-lieu of construction shall be paid to the City of Raleigh Public Utilities Department for the construction of a water and/or sewer main.

Stormwater

15. The flood prone areas, as approved by the City Stormwater Engineer and shown on the preliminary plan, shall be shown on the recorded map (UDO 9.3.3.G).
16. The maximum allocated impervious area for all applicable lots in the subdivision should be identified on all maps for recording.
17. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).



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18. The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office (UDO 9.2.2.G).
19. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
20. The riparian buffers, in accordance with the preliminary plan and the State of North Carolina regulations, shall be shown on plats for recording along with required buffer statement (Recorded Map Checklist).
21. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).

Urban Forestry

22. A public infrastructure surety for street trees is provided to the City of Raleigh Development Services – Development Engineering program (UDO 8.1.3).
23. A fee-in-lieu for 18 street trees is paid to the City of Raleigh (UDO 8.1.10).
24. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1). This development proposes 1.22 acres of tree conservation area.

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

Public Utilities

1. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

Urban Forestry

2. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 76 street trees along Buffalo Road, 46 street trees along 'Street A', 14 street trees along 'Street B', and 8 street trees along 'Street C' for a total of 144 street trees.

The following are required prior to issuance of building occupancy permit:

Stormwater



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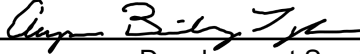
1. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).

EXPIRATION DATES: If significant construction has not taken place on a project after preliminary subdivision approval, that approval may "sunset" and be declared void, requiring re-approval before permits may be issued. To avoid allowing this preliminary approval to "sunset", the following must take place by the following dates:

3-Year Sunset Date: February 20, 2023
Record at least $\frac{1}{2}$ of the land area approved.

5-Year Sunset Date: February 20, 2025
Record entire subdivision.

I hereby certify this administrative decision.

Signed:  Date: 02/20/2020
Development Services Dir/Designee
Staff Coordinator: Ryan Boivin

Preliminary Subdivision
Plan Application



DEVELOPMENT
SERVICES
DEPARTMENT

Development Services Customer Service Center | 1 Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495 | efax 919-996-1831
Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

When submitting plans, please check the appropriate review type and include the Plan Checklist document.

Office Use Only:	Transaction #	Project Coordinator	Team Leader
PRELIMINARY APPROVALS			
<input checked="" type="checkbox"/> Subdivision * <input type="checkbox"/> Conventional Subdivision <input type="checkbox"/> Compact Development <input type="checkbox"/> Conservative Subdivision			
*May require City Council approval if in a Metro Park Overlay or Historic Overlay District			
If your project has been through the Due Diligence process, provide the transaction #:			
GENERAL INFORMATION			
Development Name Stoneridge			
Proposed Use Residential subdivision for townhome development			
Property Address(es) 6501 Buffaloe Road			
Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:			
PIN Recorded Deed 1736735856	PIN Recorded Deed	PIN Recorded Deed	PIN Recorded Deed
What is your project type?			
<input type="checkbox"/> Single family <input checked="" type="checkbox"/> Townhouse <input type="checkbox"/> Subdivision in a non-residential zoning district			
<input type="checkbox"/> Other (describe):			
OWNER/DEVELOPER INFORMATION			
Company Name Ten Oaks Realty, LLC		Owner/Developer Name Fred Sheckells	
Address P.O. Box 257, Fallston, MD 21047			
Phone 410-905-7709		Email Fred@tenoaksrealty.com	Fax
CONSULTANT/CONTACT PERSON FOR PLANS			
Company Name Morris & Ritchie Assoc., Inc.		Contact Name Jamie Guerrero	
Address 5605 Chapel Hill Road, Raleigh, NC 27607			
Phone 984-200-2103		Email jguerrero@mrakta.com	Fax

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REVISION 03.11.16

TOWNES AT STONERIDGE

PRELIMINARY SUBDIVISION PLAN - LEVEL 3

6501 BUFFALOE ROAD

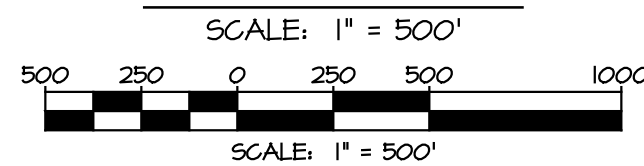
RALEIGH, NORTH CAROLINA

CASE #S-49-18 / TRANSACTION #570543

PRELIMINARY PLAN
NOT FOR CONSTRUCTION



VICINITY MAP



PROJECT TEAM

DEVELOPER: TEN OAKS REALTY, LLC
ATTN: FRED SHECKELLS
P.O. BOX 257
FALLSTON, MD 21047
(410) 905-7709

LAND PLANNERS,
CIVIL ENGINEER: MORRIS & RITCHIE ASSOCIATES, INC.
5605 CHAPEL HILL ROAD, SUITE 112
RALEIGH, NC 27607
ATTN: MR. JAMIE B. GUERRERO, PE, CPSW

SURVEYOR: MORRIS & RITCHIE ASSOCIATES, INC.
5605 CHAPEL HILL ROAD, SUITE 112
RALEIGH, NC 27607
ATTN: MR. MIKE RAY, PLS

ENVIRON.
CONSULTANT: GEO-TECHNOLOGY ASSOCIATES, INC.
5605 CHAPEL HILL ROAD, SUITE 112
RALEIGH, NC 27607
ATTN: MR. K. SHAWN SULLIVAN, PE

INDEX OF DRAWINGS

C100 COVER SHEET
C200 EXISTING CONDITIONS PLAN - WEST
C201 EXISTING CONDITIONS PLAN - EAST
C300 OVERALL SUBDIVISION PLAN
C301 SUBDIVISION PLAN - WEST (LOTS)
C302 SUBDIVISION PLAN - WEST (BUILD-TO)
C303 SUBDIVISION PLAN - EAST (LOTS)
C304 SUBDIVISION PLAN - EAST (BUILD-TO)
C305 SUBDIVISION PLAN - DETAILS
C400 GRADING AND STORMWATER PLAN - WEST
C401 GRADING AND STORMWATER PLAN - EAST
C402 AVERAGE GRADE & GROUND FLOOR ELEVATION
C403 PERRY CREEK ROAD PLAN & PROFILE
C404 SPRING FOREST ROAD PLAN & PROFILE
C405 SPRING FOREST ROAD PLAN & PROFILE
C406 PREDEVELOPMENT DRAINAGE PLAN
C500 STORMWATER MANAGEMENT PLAN - WEST
C600 STORMWATER MANAGEMENT PLAN - EAST
C601 STORMWATER MANAGEMENT PLAN - BMP PROFILES
C602 OVERALL UTILITY PLAN
C700 UTILITY PLAN - WEST
C701 UTILITY PLAN - EAST
C800 OVERALL LANDSCAPING PLAN
C801 LANDSCAPING PLAN - WEST
C802 LANDSCAPING PLAN - EAST
C900 TRANSPORTATION PLAN - WEST
C901 TRANSPORTATION PLAN - EAST
C902 TRANSPORTATION PLAN - DETAILS



Know what's below.
Call before you dig.

PROTECT YOURSELF, GIVE THREE
WORKING DAYS NOTICE

THIS DRAWING DOES NOT INCLUDE NECESSARY
COMPONENTS FOR CONSTRUCTION SAFETY. ALL
CONSTRUCTION MUST BE DONE IN COMPLIANCE
WITH THE OCCUPATIONAL SAFETY AND HEALTH
ACT OF 1970 AND ALL RULES AND REGULATIONS
THERE TO APPURTENANT.

SITE DATA	
OWNER	BUFFALOE ROAD WEH LP 2400 LINDEN LN, STE. 300 SILVER SPRING, MD 20910-1265 1736735856
PIN	
ZONING	OX-3-CU
GROSS SITE AREA	17.54 ACRES
NET SITE AREA	12.14 ACRES
MAX. DENSITY	10 UNITS/ACRE 10 UNITS/AC X 17.54 AC = 175 UNITS
PROPOSED DENSITY	91 UNITS/17.54 AC=5.17 UNITS/ACRE
RIVER BASIN	NEUSE
EXISTING USE	VACANT
IMPERVIOUS AREA	EXISTING: 0 SF PROPOSED: 235,631 SF (30.8%)
BUILDING SETBACKS	FRONT: 10' SIDE: 0' OR 6' REAR: 20'
PARKING SETBACK	FROM PRIMARY STREET: 20'
PARKING REQUIRED	3 SPACES/UNIT + 1 SPACE/10 UNITS 3X91 UNITS + 9.1 UNITS/10 UNITS=283
PARKING PROVIDED	3 SPACES/UNIT = 273 PARKING DAYS = 1 TOTAL SPACES = 284
BICYCLE PARKING REQUIRED	1 SPACE/ 20 UNITS = 5
BICYCLE PARKING PROVIDED	6
REQUIRED AMENITY AREA	10% OF SITE AREA = 1.22 ACRES
PROVIDED AMENITY AREA	1.22 ACRES

SOLID WASTE NOTE:

1. DEVELOPER MUST ACKNOWLEDGE THAT THEY HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.

2. SOLID WASTE COLLECTION WILL BE HANDLED BY A PRIVATE COMPANY.

3. STORAGE OF 46-GALLON WASTE CONTAINERS WILL BE STORED IN INDIVIDUAL GARAGES.

DEVELOPMENT TYPE AND SITE DATE TABLE (Applicable to all developments)	
ZONING INFORMATION	
Zoning District(s) OX-3-CU	
If more than one district, provide the acreage of each:	
Overlay District?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Inside City Limits?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
CUD (Conditional Use District) Case # Z-60-2004	
COA (Certificate of Appropriateness) Case #	
BOA (Board of Adjustment) Case # A-	
STORMWATER INFORMATION	
Existing Impervious Surface 0 acres/sf	Flood Hazard Area <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Proposed Impervious Surface 5,41/235,631 acres/sf	Neuse River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
	Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If in a Flood Hazard Area, provide the following:	
Alluvial Soils	Flood Study FEMA Map Panel #
NUMBER OF LOTS AND DENSITY	
Total # of Townhouse Lots: Detached	Attached 91
Total # of Single Family Lots	Total # of All Lots 91
Overall Unit(s)/Acre Densities Per Zoning Districts	10 units/acre = 175 units
Total # of Open Space and/or Common Area Lots	4
SIGNATURE BLOCK (Applicable to all developments)	
In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed subdivision plan as approved by the City.	
I hereby designate Morris & Ritchie Associates to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.	
I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use.	
Signature	Date 11.11.19
Signature	Date

PAGE 2 OF 3

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REVISION 03.11.16

ORDINANCE (2004) 790 ZG 567
Effective: March 15, 2005

1. Z-60-04 Buffaloe Road, north side, immediately west of the Neuse River, being various Wake County PINs. Approximately 15.2 acres rezoned to Office and Institution-I Conditional Use with amended conditions.

Conditions dated: March 1, 2005.

a. Any reimbursement for street right-of-way shall be at R-4 value.

RESPONSE: Noted.

b. The following uses otherwise permitted in the Office and Institution-I zoning district shall be prohibited:

1. Agriculture research farms, wildlife sanctuary;
2. Airfield, landing strip and heliport;
3. Correctional/penal facility;
4. Crematory;
5. Emergency Shelter Type B;
6. Landfills, above ground storage tanks except tanks used for medical purposes, storage of manufactured homes or travel trailers;
7. Monastery and convent;
8. Orphanage;
9. Outdoor stadium, outdoor theater, outdoor racetrack;
10. Rifle ranges of any type, camps;
11. Sorority house, fraternity house.

RESPONSE: The site shall be residential use only.

c. All development of the subject property shall be in conformity with unity of development standards, including signage, for the entire tract.

RESPONSE: Noted.

d. Any proposed building shall not exceed three (3) stories and 45' in height.

RESPONSE: Proposed townhomes shall not exceed three stories or 45' maximum height.

e. Residential development shall be limited to not more than ten (10) units per acre.

RESPONSE: The proposed density of this residential development is 4.95 units/acre.

f. A goal of preserving and protecting a minimum of ten (10) percent of all trees measuring twelve (12) inches or greater d.b.h. is established. A tree survey shall be provided to the Chief Zoning Inspector within 90 days following adoption of this zoning ordinance. If the goal can not be met, any deficiency shall be satisfied by planting replacement trees of the same total caliper but with a minimum caliper of four (4) inches per tree measured six (6) inches above the ground.

RESPONSE: 131 acres (10.4% of the site) of primary tree preservation is proposed on the Landscape Plan fulfilling this requirement.

g. A natural protective yard of one hundred (100) feet in width will be provided westward from the top of the bank of the Neuse River.

RESPONSE: No development shall occur within 100 feet westward from the top of bank of the Neuse River.

h. Office buildings shall be residential in character to complement the adjacent residential-zoned properties. For purposes of this condition, "residential in character" shall mean having a minimum pitch of 3:12 and having a minimum 10% and maximum 10% fenestration (window/door) coverage.

RESPONSE: There are no office buildings proposed for this site.

i. Upon the development of the subject property, improvements to Buffaloe Road (40' right-of-way and 65' back-to-back street section) shall be made according to of the following alignment:

1. If requested by the City of Raleigh, the property owner shall dedicate 30' of additional right-of-way along existing Buffaloe Road for constructing improvements on the south side of the subject property. The intent of this provision is to eliminate the need for owners on the south side of Buffaloe Road to dedicate a right-of-way for future improvements.
2. If requested by the City of Raleigh, the property owner shall provide the right-of-way, slope and construction easements for the eventual realignment of Buffaloe Road at a location approved by the Department of Public Works to connect with the eventual extension of Spring Forest Road. This condition shall not restrict the right of the City to require right-of-way and street improvements in accordance with the planning and development regulations of the City.

RESPONSE: Improvements to Buffaloe Road including the right-of-way dedication will be made as shown on plans.

j. Outside refuse containers (dumpsters) shall only be emptied between the hours of 7:00 a.m. and 7:00 p.m. on Monday through Friday, and 10:00 a.m. and 7:00 p.m. on Saturday. Access to such refuse containers shall be locked during the hours which they may not be emptied.

RESPONSE: Noted.

k. As a condition for issuing building permits or recording any lot, whichever shall occur first, the property owner shall convey 20-foot by 15-foot transit easements to support a bus stop along Buffaloe Road. The specific location of such easements shall be approved by the Transit Division of the City and may encroach upon buffers otherwise required. The City Attorney shall first approve the transit easement.

RESPONSE: A transit easement to support a bus stop along Buffaloe Road will be dedicated, and its proposed location is shown on preliminary transportation plans.

l. Vehicular access to the property from the public rights-of-way will be limited to no more than two points on Buffaloe Road, including any realignment of the same, and no more than a single point on Stone Station Drive also known as Holly Ridge Farm Road. Vehicular access to Spring Forest Road shall be limited to that approved by the City of Raleigh's Department of Public Works.

RESPONSE: Vehicular access to the property will be limited to one point on Buffaloe Road.

m. All dumpsters, compactors, and any other waste equipment; water meters, backflow preventers, RFZ valves; exposed plumbing items; heating, ventilation, and air conditioning equipment; electrical transformers and other equipment; satellite dishes and antennae shall be screened from view from ground level of Buffaloe Road, unless prohibited by the City of Raleigh.

RESPONSE: Solid waste collection will be handled by a private company.

n. All tenant identification signage and incidental signage shall conform to a uniform sign plan and criteria to be submitted to and approved by the City for the project.

RESPONSE: Noted.

o. All pole-mounted light fixtures shall be of full cut-off configuration or decorative pedestrian scale character.

RESPONSE: Noted.

p. The streetyard planting requirements in Code Section 10-20B2.5(c) along the existing Buffaloe Road shall be increased by fifty percent (50%). Tree preservation credits may be used to satisfy this higher standard.

RESPONSE: Noted.

q. Any building within fifty feet of any portion of the Buffaloe Road right-of-way designated as a residential street shall front Buffaloe Road.

RESPONSE: Noted.

r. The development of this property for any residential use at densities greater than four units per acre shall require Planning Commission site plan approval.

RESPONSE: Noted.

ALL CONSTRUCTION SHALL BE IN
ACCORDANCE WITH ALL CITY OF RALEIGH
AND/OR NCDOT STANDARDS AND
SPECIFICATIONS.



MORRIS & RITCHIE ASSOCIATES OF NC, PC
ENGINEERS, ARCHITECTS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS

5605 CHAPEL HILL RD, STE 112
RALEIGH, NC 27607
(984) 200-2103

WWW.MRAGTA.COM
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COVER SHEET

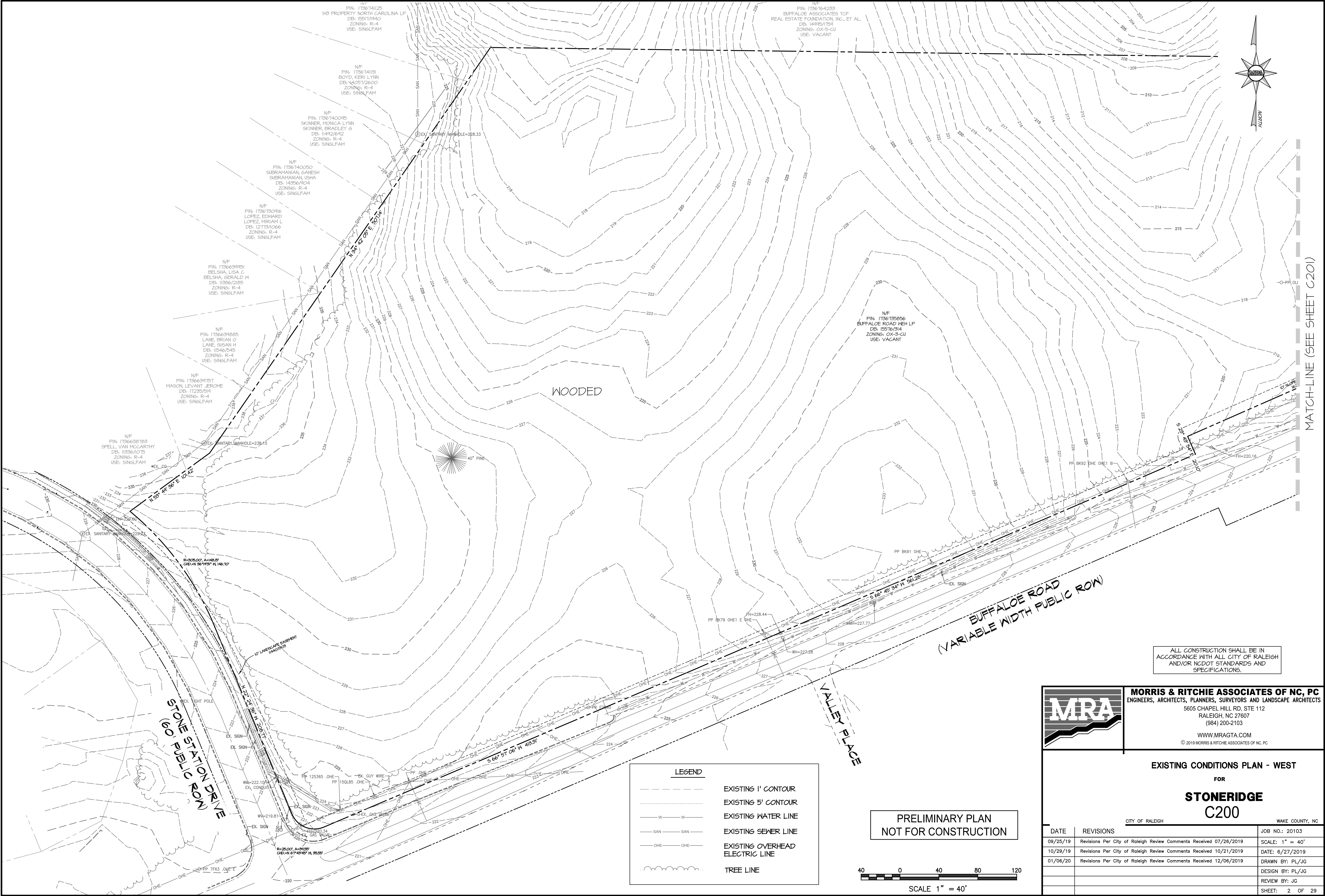
FOR
TOWNES AT STONERIDGE
C100

CITY OF RALEIGH

WAKE COUNTY, NC

DATE	REVISIONS	JOB NO.:
09/25/19	Revisions Per City of Raleigh Review Comments Received 07/26/2019	20103
10/29/19	Revisions Per City of Raleigh Review Comments Received 10/21/2019	SCALE: AS NOTED
01/06/20	Revisions Per City of Raleigh Review Comments Received 12/06/2019	DRAWN BY: PL/JG
		DESIGN BY: PL/JG
		REVIEW BY: JG
		SHEET: 1 OF 29

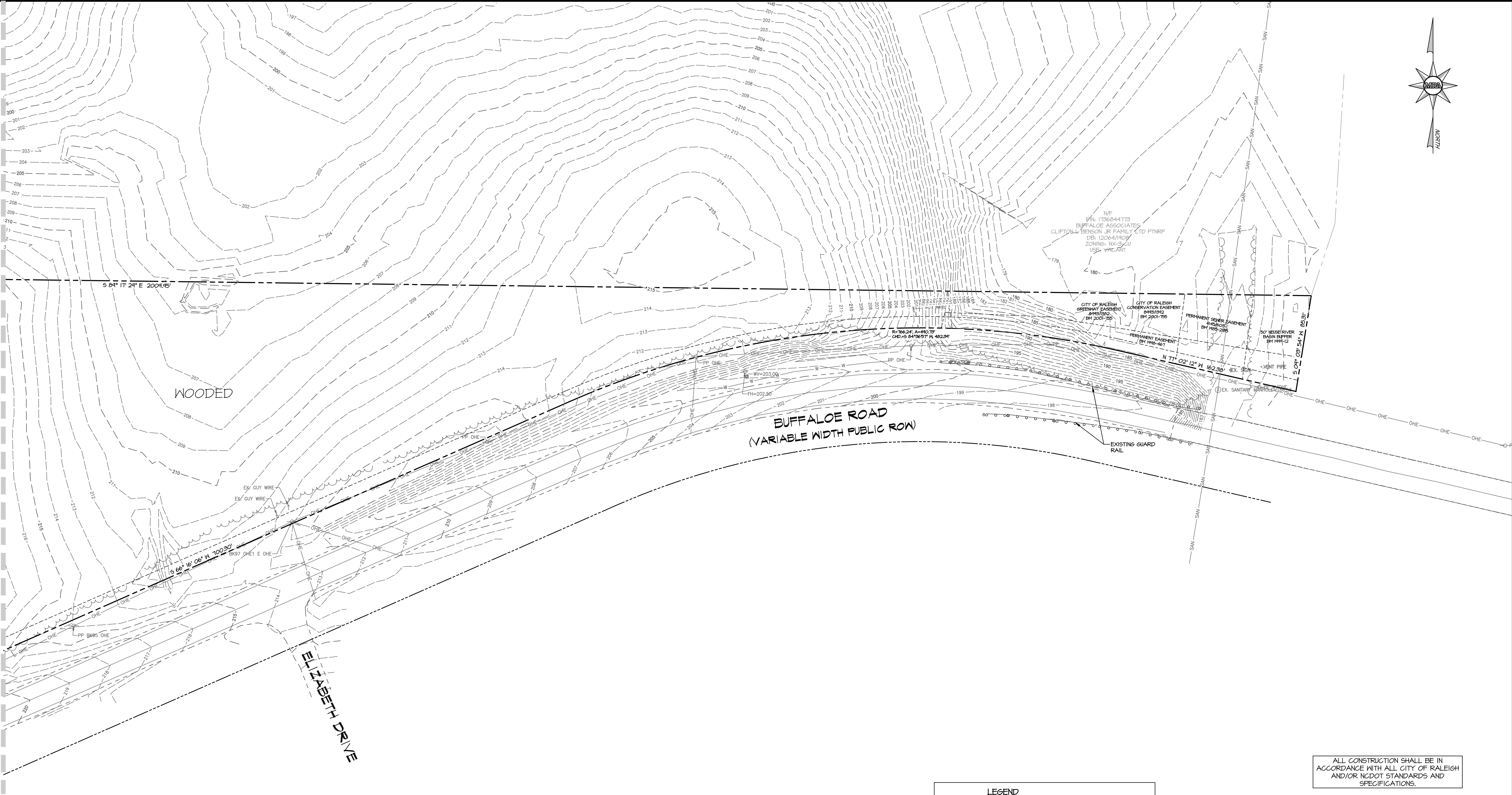
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MATCH-LINE (SEE SHEET C201)

S:\PROJECTS\CY 2018\200933_STONERIDGE\LOVE\LOT\0103_EXCOND.dwg, 12/30/2019 2:25:36 PM, Rowson, 1:1, Copyright 2019 Morris & Ritchie Associates, Inc.

MATCH-LINE (SEE SHEET C200)



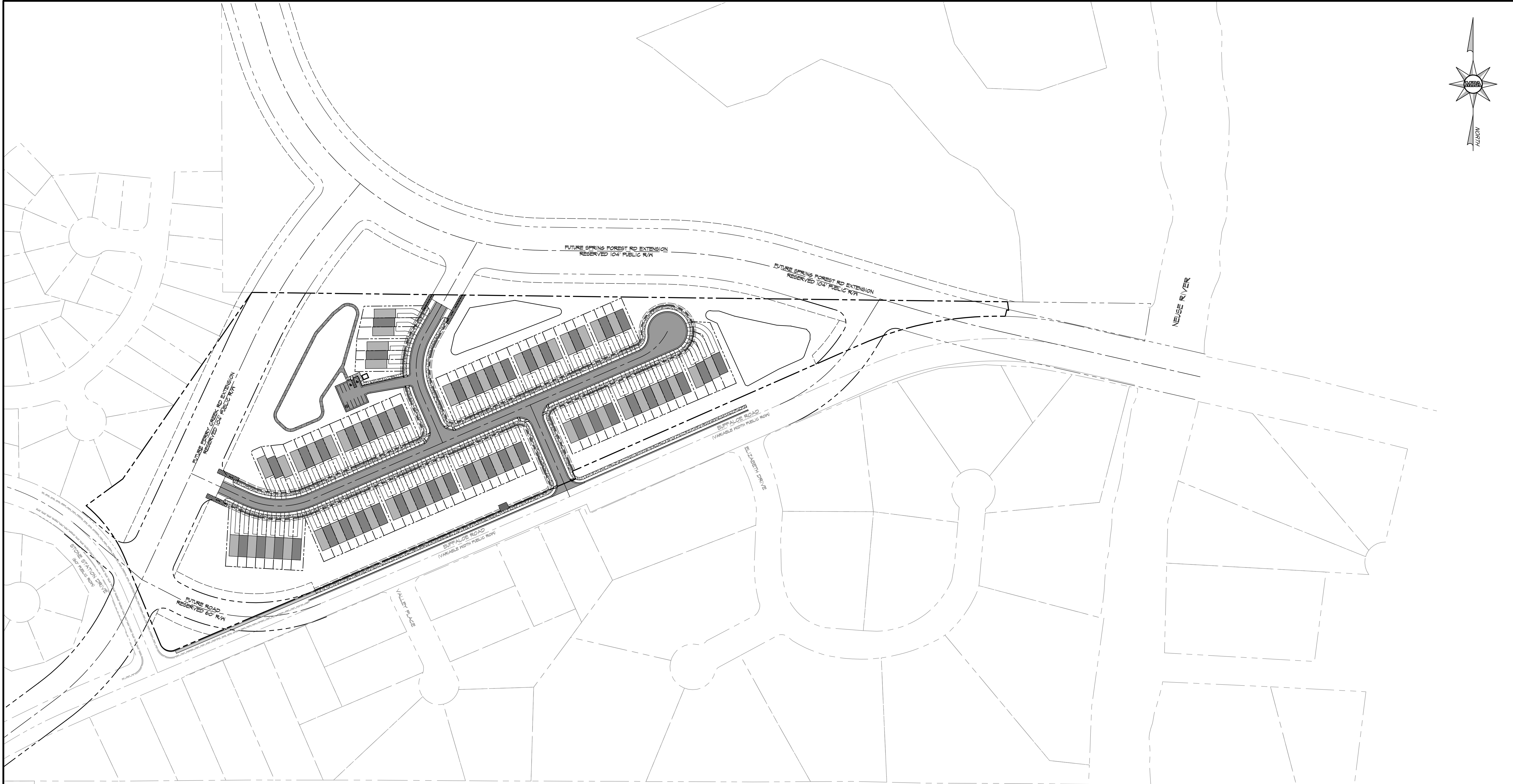
LEGEND	
	EXISTING 1' CONTOUR
	EXISTING 5' CONTOUR
	EXISTING WATER LINE
	EXISTING SEWER LINE
	EXISTING OVERHEAD ELECTRIC LINE
	TREE LINE

PRELIMINARY PLAN
NOT FOR CONSTRUCTION



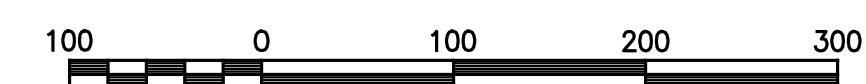
ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

		MORRIS & RITCHIE ASSOCIATES OF NC, PC ENGINEERS, ARCHITECTS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS 5605 CHAPEL HILL RD, STE 112 RALEIGH, NC 27607 (984) 200-2103 WWW.MRAGTA.COM © 2019 MORRIS & RITCHIE ASSOCIATES OF NC, PC	
		EXISTING CONDITIONS PLAN - EAST FOR STONERIDGE C201 CITY OF RALEIGHWAKE COUNTY, NC	
DATE	REVISIONS	JOB NO.: 20103	
09/25/19	Revisions Per City of Raleigh Review Comments Received 07/26/2019	SCALE: 1" = 40'	
10/29/19	Revisions Per City of Raleigh Review Comments Received 10/21/2019	DATE: 6/27/2019	
01/06/20	Revisions Per City of Raleigh Review Comments Received 12/06/2019	DRAWN BY: PL/JG	
		DESIGN BY: PL/JG	
		REVIEW BY: JG	
		SHEET: 3 OF 29	



PRELIMINARY PLAN
NOT FOR CONSTRUCTION

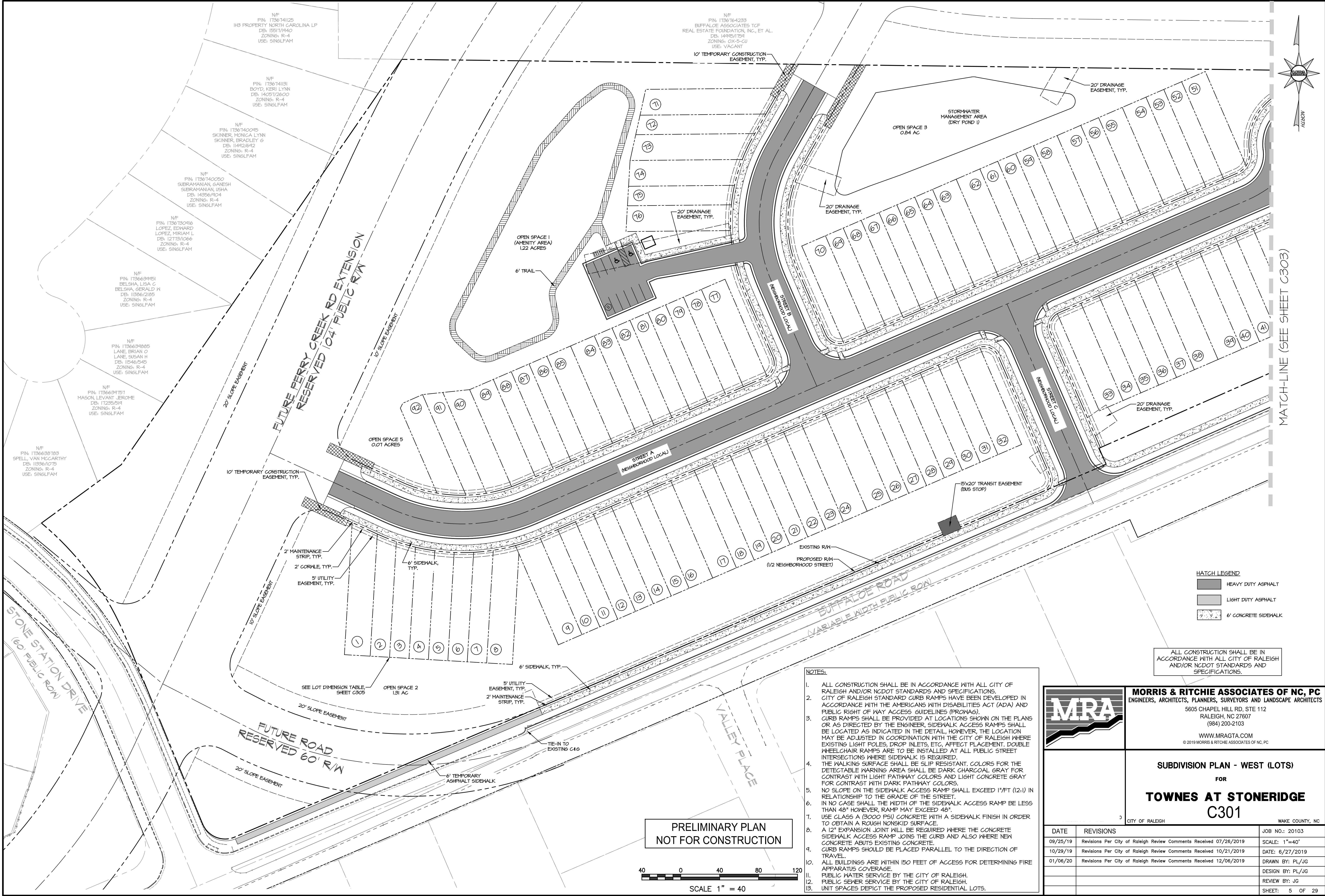
SCALE 1" = 100'



20 CITY OF RALEIGH WAKE COUNTY, NC

DATE	REVISIONS	JOB NO.: 20103
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		DESIGN BY: PL/JG
		REVIEW BY: JG
		SHEET: 4 OF 29

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PRELIMINARY PLAN
NOT FOR CONSTRUCTION

40 0 40 80 120
SCALE 1" = 40'

NOTES:

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.
- CITY OF RALEIGH STANDARD CURB RAMP HAVE BEEN DEVELOPED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND PUBLIC RIGHT OF WAY ACCESS GUIDELINES (PROWAG).
- CURB RAMP SHALL BE PROVIDED AT LOCATIONS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER. SIDEWALK ACCESS RAMP SHALL BE LOCATED AS INDICATED IN THE DETAIL, HOWEVER, THE LOCATION MAY BE ADJUSTED IN COORDINATION WITH THE CITY OF RALEIGH WHERE EXISTING LIGHT POLES, DROP INLETS, ETC., AFFECT PLACEMENT. DOUBLE WHEELCHAIR RAMP ARE TO BE INSTALLED AT ALL PUBLIC STREET INTERSECTIONS WHERE SIDEWALK IS REQUIRED.
- THE WALKING SURFACE SHALL BE SLIP RESISTANT. COLORS FOR THE DETECTABLE WARNING AREA SHALL BE DARK CHARCOAL GRAY FOR CONTRAST WITH LIGHT PATHWAY COLORS AND LIGHT CONCRETE GRAY FOR CONTRAST WITH DARK PATHWAY COLORS.
- NO SLOPE ON THE SIDEWALK ACCESS RAMP SHALL EXCEED 1"/FT (12:1) IN RELATIONSHIP TO THE GRADE OF THE STREET.
- IN NO CASE SHALL THE WIDTH OF THE SIDEWALK ACCESS RAMP BE LESS THAN 48" HOWEVER, RAMP MAY EXCEED 48".
- USE CLASS A (3000 PSI) CONCRETE WITH A SIDEWALK FINISH IN ORDER TO OBTAIN A ROUGH NONSKID SURFACE.
- A 12" EXPANSION JOINT WILL BE REQUIRED WHERE THE CONCRETE SIDEWALK ACCESS RAMP JOINS THE CURB AND ALSO WHERE NEW CONCRETE ABUTS EXISTING CONCRETE.
- CURB RAMP SHALL BE PLACED PARALLEL TO THE DIRECTION OF TRAVEL.
- ALL BUILDINGS ARE WITHIN 150 FEET OF ACCESS FOR DETERMINING FIRE APPARATUS COVERAGE.
- PUBLIC WATER SERVICE BY THE CITY OF RALEIGH.
- PUBLIC SEWER SERVICE BY THE CITY OF RALEIGH.
- UNIT SPACES DEPICT THE PROPOSED RESIDENTIAL LOTS.

HATCH LEGEND

- HEAVY DUTY ASPHALT
- LIGHT DUTY ASPHALT
- 6' CONCRETE SIDEWALK

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

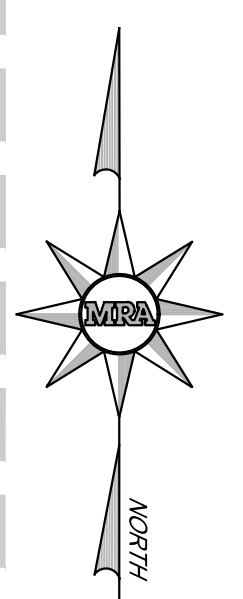


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SUBDIVISION PLAN - WEST (LOTS)
FOR
TOWNES AT STONERIDGE
C301

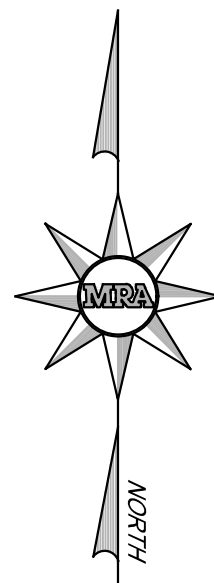
CITY OF RALEIGH WAKE COUNTY, NC

DATE	REVISIONS	JOB NO.: 20103
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		DESIGN BY: PL/JG
		REVIEW BY: JG
		SHEET: 5 OF 29



NOTES:

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDDT STANDARDS AND SPECIFICATIONS.
2. CITY OF RALEIGH STANDARD CURB RAMPS HAVE BEEN DEVELOPED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND PUBLIC RIGHT OF WAY ACCESS GUIDELINES (PROWAG).
3. CURB RAMPS SHALL BE PROVIDED AT LOCATIONS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER. SIDEWALK ACCESS RAMPS SHALL BE LOCATED AS INDICATED IN THE DETAIL, HOWEVER, THE LOCATION MAY BE ADJUSTED IN COORDINATION WITH THE CITY OF RALEIGH WHERE EXISTING LIGHT POLES, DRAIN INLETS, ETC, AFFECT PLACEMENT. DOUBLE WHEEL CHAIR RAMPS ARE TO BE INSTALLED AT ALL PUBLIC STREET INTERSECTIONS WHERE SIDEWALK IS REQUIRED.
4. THE WALKING SURFACE SHALL BE SLIP RESISTANT. COLORS FOR THE DETECTABLE WARNING AREA SHALL BE DARK CHARCOAL GRAY FOR CONTRAST WITH LIGHT PATHWAY COLORS AND LIGHT CONCRETE GRAY FOR CONTRAST WITH DARK PATHWAY COLORS.
5. NO SLOPE ON THE SIDEWALK ACCESS RAMP SHALL EXCEED 1"/FT (12:1) IN RELATIONSHIP TO THE GRADE OF THE STREET.
6. IN NO CASE SHALL THE WIDTH OF THE SIDEWALK ACCESS RAMP BE LESS THAN 48" HOWEVER, RAMP MAY EXCEED 48".
7. USE CLASS A (3000 PSI) CONCRETE WITH A SIDEWALK FINISH IN ORDER TO OBTAIN A ROUGH NONSLIP SURFACE.
8. A 12" EXPANSION JOINT WILL BE REQUIRED WHERE THE CONCRETE SIDEWALK ACCESS RAMP JOINS THE CURB AND ALSO WHERE NEW CONCRETE ABUTS EXISTING CONCRETE.
9. CURB RAMPS SHOULD BE PLACED PARALLEL TO THE DIRECTION OF TRAVEL.
10. ALL BUILDINGS ARE WITHIN 150 FEET OF ACCESS FOR DETERMINING FIRE APPARATUS COVERAGE.
11. PUBLIC WATER SERVICE BY THE CITY OF RALEIGH.
12. PUBLIC SEWER SERVICE BY THE CITY OF RALEIGH.
13. UNIT SPACES DEPICT THE PROPOSED RESIDENTIAL LOTS.



N/F
PIN: 1736844773
BUFFALOE ASSOCIATES
CLIFTON L BENSON JR FAMILY LTD P/NRP
DB: 12064/1408
ZONING: NK-3-CU
USE: VACANT

ADDITIONAL R/W
TO BE DEDICATED
SEE DETAIL, SHEET C304

PROPOSED R/W

EXISTING R/W

FUTURE SPRING FOREST RD EXTENSION
RESERVED 104' PUBLIC R/W

20' SLOPE EASEMENT

OPEN SPACE 4
1.48 AC

20' DRAINAGE
EASEMENT, TYP.
STORMWATER
MANAGEMENT AREA
(NET POND 2)

SEE LOT DIMENSION TABLE,
SHEET C305

N/F
PIN: 1736837847
ENGLISH, DONNA W
RYPDAHL, DWAYNE L
DB: 13600/2051
ZONING: R-4
USE: SINGLFAM

N/F
PIN: 1736834483
RALEIGH CITY OF
DB: 6751/1423
ZONING: R-4
USE: SINGLFAM

N/F
PIN: 1736430737
RALEIGH CITY OF
DB: 4571/145
ZONING: R-4
USE: SINGLFAM

N/F
PIN: 1736836745
6604 BUFFALOE ROAD LLC
DB: 16474/2532
ZONING: R-4
USE: SINGLFAM

N/F
PIN: 1736835714
URIBE, LEONEL RUIZ
DB: 17114/2616
ZONING: R-4
USE: SINGLFAM

N/F
PIN: 1736831674
GRIFFIN, TIMOTHY
DB: 16871/2054
ZONING: R-4
USE: SINGLFAM

MATCH-LINE (SEE SHEET C301)

BUFFALOE ROAD
(VARIABLE WIDTH PUBLIC ROW)

ELIZABETH DRIVE

HATCH LEGEND

- HEAVY DUTY ASPHALT
- 6' CONCRETE SIDEWALK
- ADDITIONAL R/W DEDICATION

PRELIMINARY PLAN
NOT FOR CONSTRUCTION

ALL CONSTRUCTION SHALL BE IN
ACCORDANCE WITH ALL CITY OF RALEIGH
AND/OR NCDOT STANDARDS AND
SPECIFICATIONS.

40 0 40 80 120
SCALE 1" = 40'



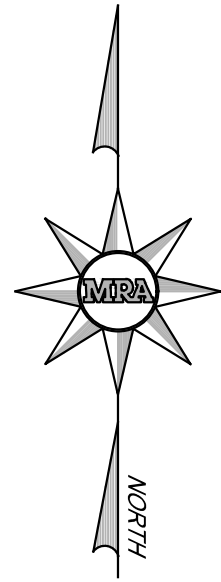
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SUBDIVISION PLAN - EAST (LOTS)
FOR
TOWNES AT STONERIDGE
C303

CITY OF RALEIGH

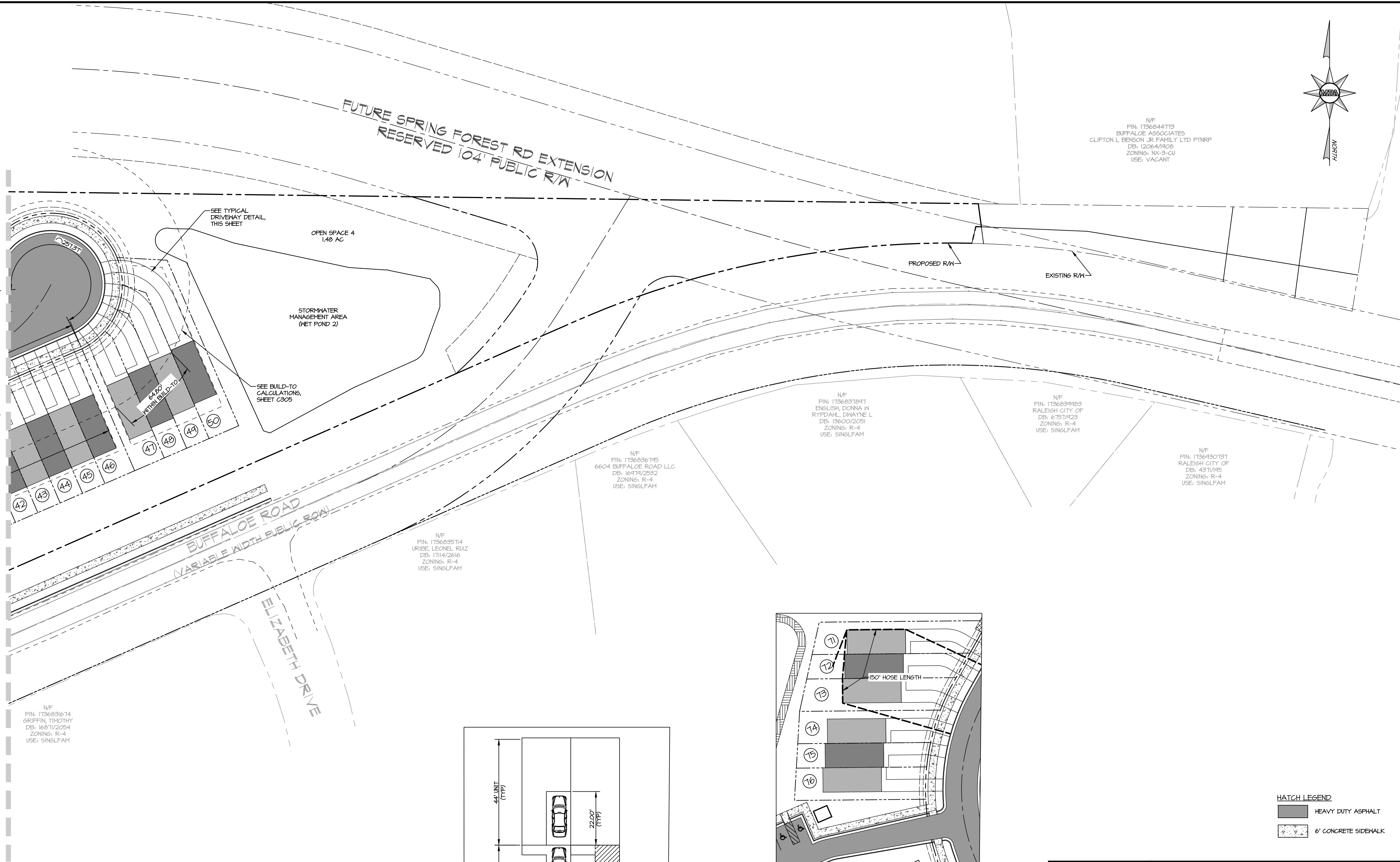
WAKE COUNTY, NC

DATE	REVISIONS	JOB NO.: 20103
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		DESIGN BY: PL/JG
		REVIEW BY: JG
		SHEET: 7 OF 29



N/F
PIN: 1736844773
BUFFALO ASSOCIATES
CLIFTON L BENSON JR FAMILY LTD PTNRP
DB: 12064/1908
ZONING: NK-3-CU
USE: VACANT

MATCH-LINE (SEE SHEET C302)



N/F
PIN: 1736835714
URIBE, LEONEL RUIZ
DB: 17114/2616
ZONING: R-4
USE: SINGLFAM

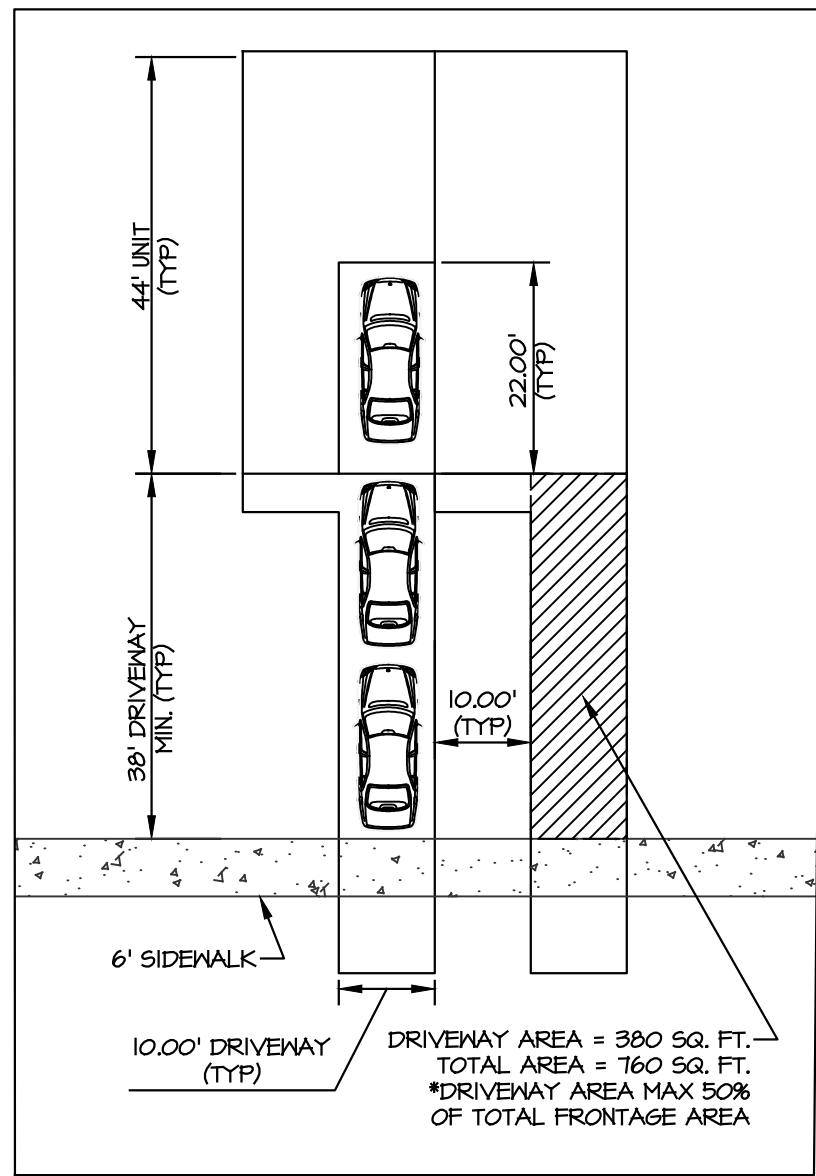
N/F
PIN: 1736836745
6604 BUFFALO ROAD LLC
DB: 16474/2532
ZONING: R-4
USE: SINGLFAM

N/F
PIN: 1736837847
ENGLISH, DONNA W
RYPDARL, DWAYNE L
DB: 13600/2051
ZONING: R-4
USE: SINGLFAM

N/F
PIN: 1736834403
RALEIGH CITY OF
DB: 6757/1923
ZONING: R-4
USE: SINGLFAM

N/F
PIN: 1736830737
RALEIGH CITY OF
DB: 4571/145
ZONING: R-4
USE: SINGLFAM

N/F
PIN: 1736831674
GRIFFIN, TIMOTHY
DB: 16871/2054
ZONING: R-4
USE: SINGLFAM



TYPICAL VEHICULAR PARKING EXHIBIT

NOTE: THIS EXHIBIT REPRESENTS THE LOTS WHERE DRIVEWAY COVERAGE IS GREATEST AND DRIVEWAY LENGTH IS SHORTEST



FIRE ACCESS EXHIBIT

PRELIMINARY PLAN
NOT FOR CONSTRUCTION

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.



SCALE 1" = 40'

HATCH LEGEND	
	HEAVY DUTY ASPHALT
	6' CONCRETE SIDEWALK



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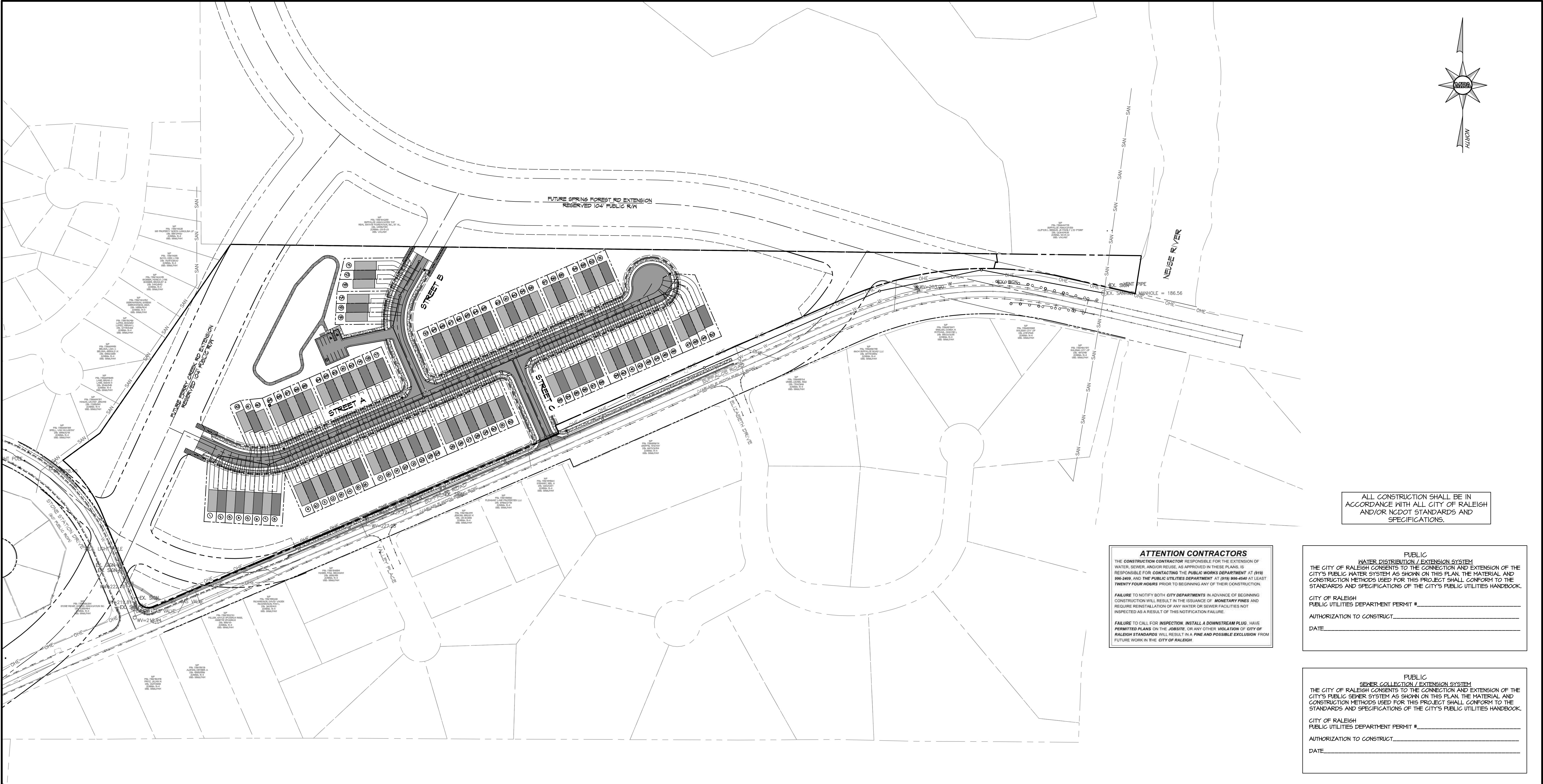
SUBDIVISION PLAN - EAST (BUILD-TO)
FOR
TOWNES AT STONERIDGE
C304

ENGINEER'S SEAL CITY OF RALEIGH

WAKE COUNTY, NC

DATE	REVISIONS	JOB NO.: 20103
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		REVIEW BY: JG
		SHEET: 8 OF 29

S:\PROJECTS\CY 2018\20093_STONERIDGE\DWG\PLAN\UTILITY\0103_PEL_UTILITY.dwg, 12/31/2019 10:13:07 AM, Plawson, 1:1, Copyright 2019 Morris & Ritchie Associates, Inc.



ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

ATTENTION CONTRACTORS
THE CONSTRUCTION CONTRACTOR RESPONSIBLE FOR THE EXTENSION OF WATER, SEWER, AND/OR REUSE, AS APPROVED IN THESE PLANS, IS RESPONSIBLE FOR CONTACTING THE PUBLIC WORKS DEPARTMENT AT (919) 996-2409, AND THE PUBLIC UTILITIES DEPARTMENT AT (919) 996-4540 AT LEAST TWENTY FOUR HOURS PRIOR TO BEGINNING ANY OF THEIR CONSTRUCTION.

FAILURE TO NOTIFY BOTH CITY DEPARTMENTS IN ADVANCE OF BEGINNING CONSTRUCTION WILL RESULT IN THE ISSUANCE OF MONETARY FINES AND REQUIRE REINSTALLATION OF ANY WATER OR SEWER FACILITIES NOT INSPECTED AS A RESULT OF THIS NOTIFICATION FAILURE.

FAILURE TO CALL FOR INSPECTION, INSTALL A DOWNSTREAM PLUG, HAVE PERMITTED PLANS ON THE JOBSITE, OR ANY OTHER VIOLATION OF CITY OF RALEIGH STANDARDS WILL RESULT IN A FINE AND POSSIBLE EXCLUSION FROM FUTURE WORK IN THE CITY OF RALEIGH.

PUBLIC WATER DISTRIBUTION / EXTENSION SYSTEM
THE CITY OF RALEIGH CONSENTS TO THE CONNECTION AND EXTENSION OF THE CITY'S PUBLIC WATER SYSTEM AS SHOWN ON THIS PLAN. THE MATERIAL AND CONSTRUCTION METHODS USED FOR THIS PROJECT SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY'S PUBLIC UTILITIES HANDBOOK.

CITY OF RALEIGH
PUBLIC UTILITIES DEPARTMENT PERMIT # _____
AUTHORIZATION TO CONSTRUCT _____
DATE _____

PUBLIC SEWER COLLECTION / EXTENSION SYSTEM
THE CITY OF RALEIGH CONSENTS TO THE CONNECTION AND EXTENSION OF THE CITY'S PUBLIC SEWER SYSTEM AS SHOWN ON THIS PLAN. THE MATERIAL AND CONSTRUCTION METHODS USED FOR THIS PROJECT SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY'S PUBLIC UTILITIES HANDBOOK.

CITY OF RALEIGH
PUBLIC UTILITIES DEPARTMENT PERMIT # _____
AUTHORIZATION TO CONSTRUCT _____
DATE _____

LEGEND

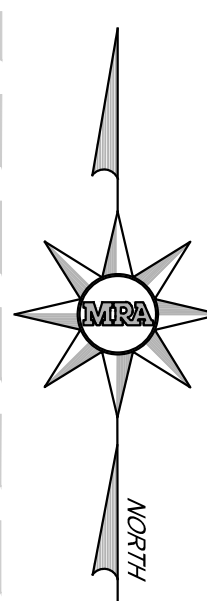
— W — W —	EXISTING WATER LINE
— SAN — SAN —	EXISTING SEWER LINE
— OHE — OHE —	EXISTING OVERHEAD ELECTRIC LINE

- CITY OF RALEIGH UTILITY NOTES:
- ALL MATERIALS AND CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS, AND SPECIFICATIONS (REFERENCE: CORRID HANDBOOK, CURRENT EDITION).
 - UTILITY SEPARATION REQUIREMENTS:
 - A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER AND ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, PERFORATED SANITARY SEWER PIPE SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - WHEN INSTALLING WATER AND/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER AND MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSINGS MUST BE SPECIFIED AND INSTALLED TO WATERLINE SPECIFICATIONS.
 - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER AND STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - MAINTAIN 18" MINIMUM VERTICAL SEPARATION AT ALL WATERMAIN AND RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MINIMUM VERTICAL SEPARATION AT ALL SANITARY SEWER AND RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS AND A CONCRETE GRADE HAVING 6" MINIMUM CLEARANCE (PER CORRID DETAILS W-41 AND S-44).
 - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER AND SEWER FACILITIES WITH 18" MINIMUM VERTICAL SEPARATION REQUIRED.
 - ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW AND APPROVAL OF AN AMENDED PLAN AND/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER AND SEWER SERVICE TO EXISTING RESIDENCES AND BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
 - 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS AND SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
 - IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER AND SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN AND REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORRID HANDBOOK PROCEDURE.
 - INSTALL 3/4" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW AND PRESSURE.
 - INSTALL 8" DI SEWER SERVICES AT 0.8% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE AND SPACED EVERY 75' LINEAR FEET MAXIMUM.
 - PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
 - ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDNR, USACE, AND/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND, AND/OR FLOODPLAINS IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
 - NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS AND SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION. CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 946-5423 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION.

**PRELIMINARY PLAN
NOT FOR CONSTRUCTION**

100 0 100 200 300
SCALE 1" = 100'

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OVERALL UTILITY PLAN FOR TOWNES AT STONERIDGE C700			
ENGINEER'S SEAL 01/06/20 CITY OF RALEIGH		WAKE COUNTY, NC	
DATE	REVISIONS	JOB NO.: 20103	
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		DESIGN BY: PL/JG	
		REVIEW BY: JG	
		SHEET: 21 OF 29	



ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

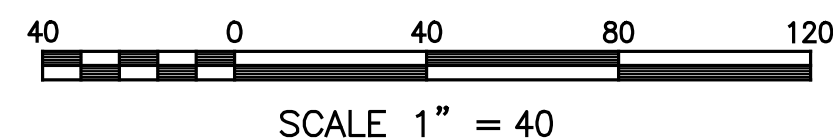


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UTILITY PLAN
FOR
TOWNES AT STONERIDGE
C701

ENGINEER'S SEAL		CITY OF RALEIGH	WAKE COUNTY, NC
DATE		REVISIONS	JOB NO.: 20103
09/25/19	Revisions Per City of Raleigh Review Comments Received 07/26/2019		SCALE: 1"=40'
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			DESIGN BY: PL/JG
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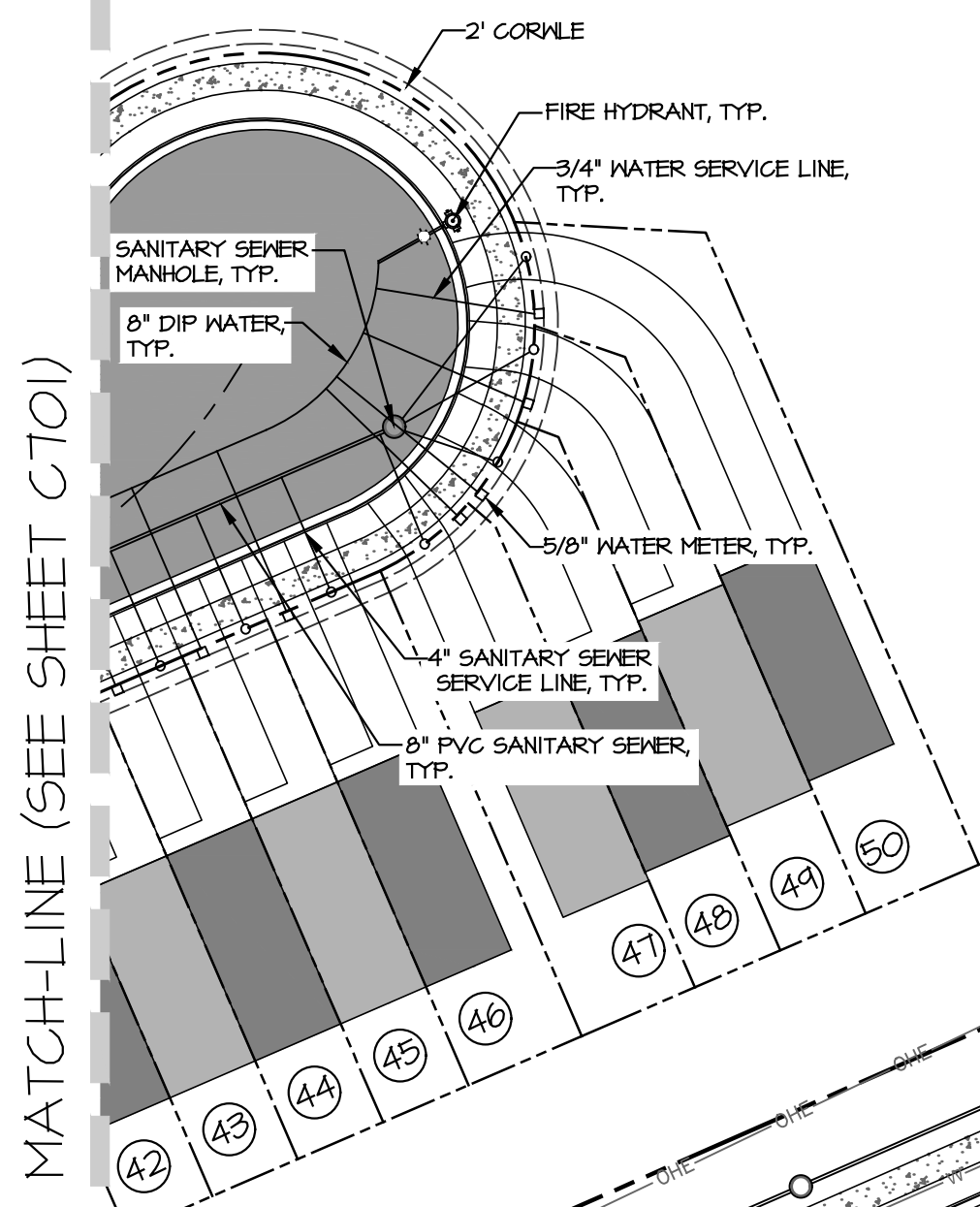
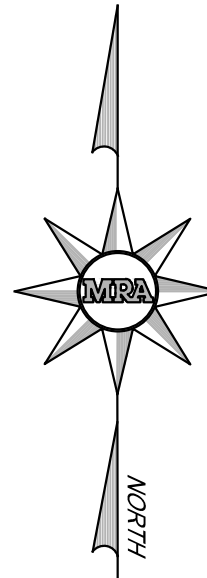
PRELIMINARY PLAN
NOT FOR CONSTRUCTION



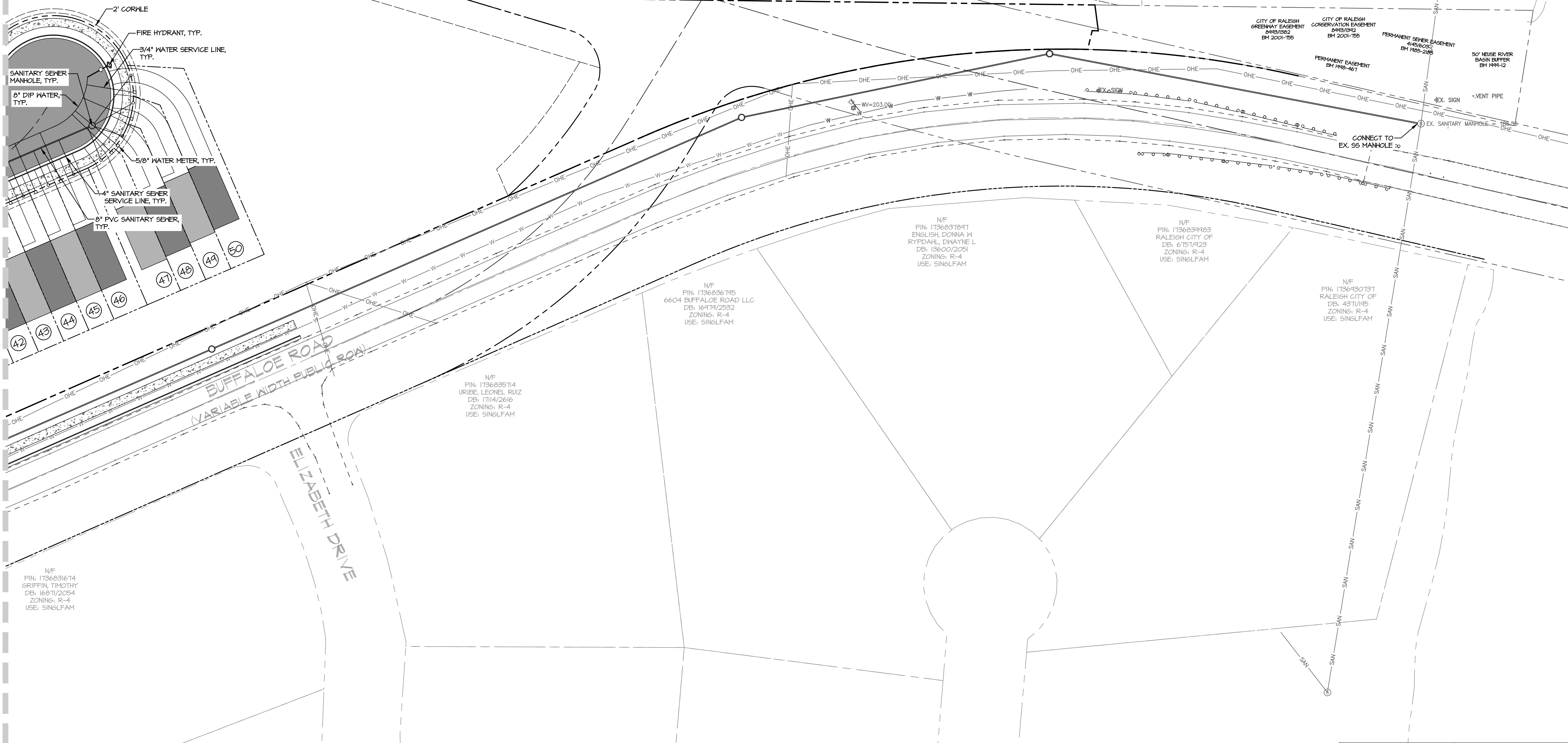
LEGEND

—— W —— W ——	EXISTING WATER LINE
—— SAN —— SAN ——	EXISTING SEWER LINE
—— OHE —— OHE ——	EXISTING OVERHEAD ELECTRIC LINE

\\projects\cy 2018\20093_STONERIDGE\LDE\LOT\20103_PREL_UTILITY.dwg, 12/31/2019 2:29:44 PM, Plawson,
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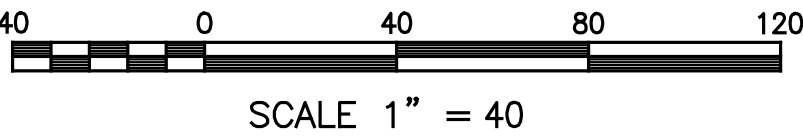
MATCH-LINE (SEE SHEET C701)




LEGEND	
— W — W —	EXISTING WATER LINE
— SAN — SAN —	EXISTING SEWER LINE
— OHE — OHE —	EXISTING OVERHEAD ELECTRIC LINE

PRELIMINARY PLAN
NOT FOR CONSTRUCTION

ALL CONSTRUCTION SHALL BE IN
ACCORDANCE WITH ALL CITY OF RALEIGH
AND/OR NCDOT STANDARDS AND
SPECIFICATIONS.



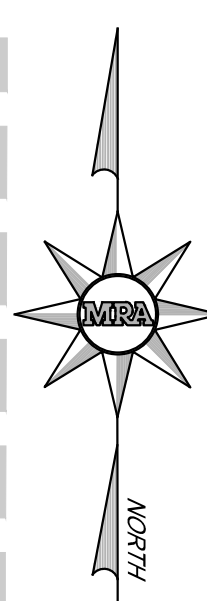


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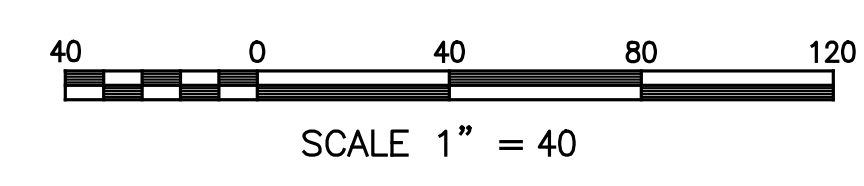
UTILITY PLAN
FOR
**TOWNES AT STONERIDGE
C702**

ENGINEER'S SEAL
CITY OF RALEIGH
WAKE COUNTY, NC

DATE	REVISIONS	JOB NO.: 20103
09/25/19	Revisions Per City of Raleigh Review Comments Received 07/26/2019	SCALE: 1"=40'
10/29/19	Revisions Per City of Raleigh Review Comments Received 10/21/2019	DATE: 6/27/2019
01/06/20	Revisions Per City of Raleigh Review Comments Received 12/06/2019	DRAWN BY: PL/JG
		DESIGN BY: PL/JG
		REVIEW BY: JG
		SHEET: 23 OF 29




MATCH-LINE (SEE SHEET C801)



PRELIMINARY PLAN
NOT FOR CONSTRUCTION

ALL CONSTRUCTION SHALL BE IN
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LANDSCAPING PLAN
FOR
TOWNES AT STONERIDGE
C800

DATE	REVISIONS	JOB NO.: 20103
09/25/19	Revisions Per City of Raleigh Review Comments Received 07/26/2019	SCALE: 1"=40'
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01/06/20	Revisions Per City of Raleigh Review Comments Received 12/06/2019	DRAWN BY: PL/JG
		DESIGN BY: PL/JG
		REVIEW BY: JG
		SHEET: 24 OF 29

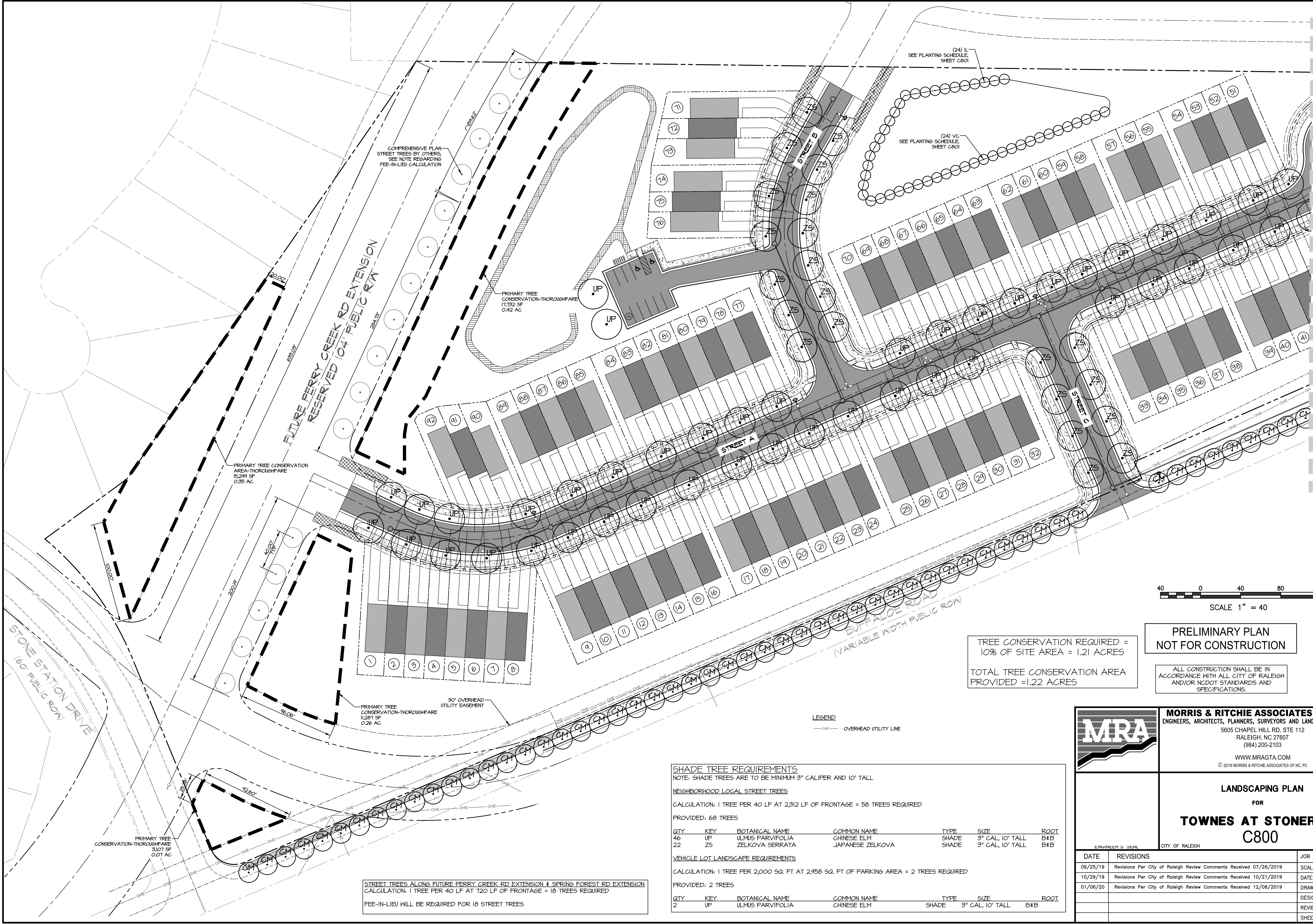
SHADE TREE REQUIREMENTS						
NOTE: SHADE TREES ARE TO BE MINIMUM 3" CALIPER AND 10' TALL						
NEIGHBORHOOD LOCAL STREET TREES						
CALCULATION: 1 TREE PER 40 LF AT 2,312 LF OF FRONTAGE = 58 TREES REQUIRED						
PROVIDED: 68 TREES						
QTY	KEY	BOTANICAL NAME	COMMON NAME	TYPE	SIZE	ROOT
46	UP	ULMUS PARVIFOLIA	CHINESE ELM	SHADE	3" CAL, 10' TALL	B4B
22	ZS	ZELKOVA SERRATA	JAPANESE ZELKOVA	SHADE	3" CAL, 10' TALL	B4B
VEHICLE LOT LANDSCAPE REQUIREMENTS						
CALCULATION: 1 TREE PER 2,000 SQ. FT AT 2,450 SQ. FT OF PARKING AREA = 2 TREES REQUIRED						
PROVIDED: 2 TREES						
QTY	KEY	BOTANICAL NAME	COMMON NAME	TYPE	SIZE	ROOT
2	UP	ULMUS PARVIFOLIA	CHINESE ELM	SHADE	3" CAL, 10' TALL	B4B

STREET TREES ALONG FUTURE PERRY CREEK RD EXTENSION & SPRING FOREST RD EXTENSION
CALCULATION: 1 TREE PER 40 LF AT 120 LF OF FRONTAGE = 18 TREES REQUIRED
FEE-IN-LIEU WILL BE REQUIRED FOR 18 STREET TREES

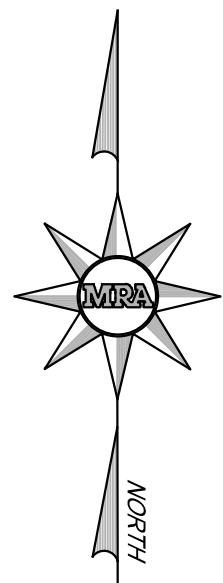
TREE CONSERVATION REQUIRED =
10% OF SITE AREA = 1.21 ACRES

TOTAL TREE CONSERVATION AREA
PROVIDED = 1.22 ACRES

LEGEND
—OHE— OVERHEAD UTILITY LINE

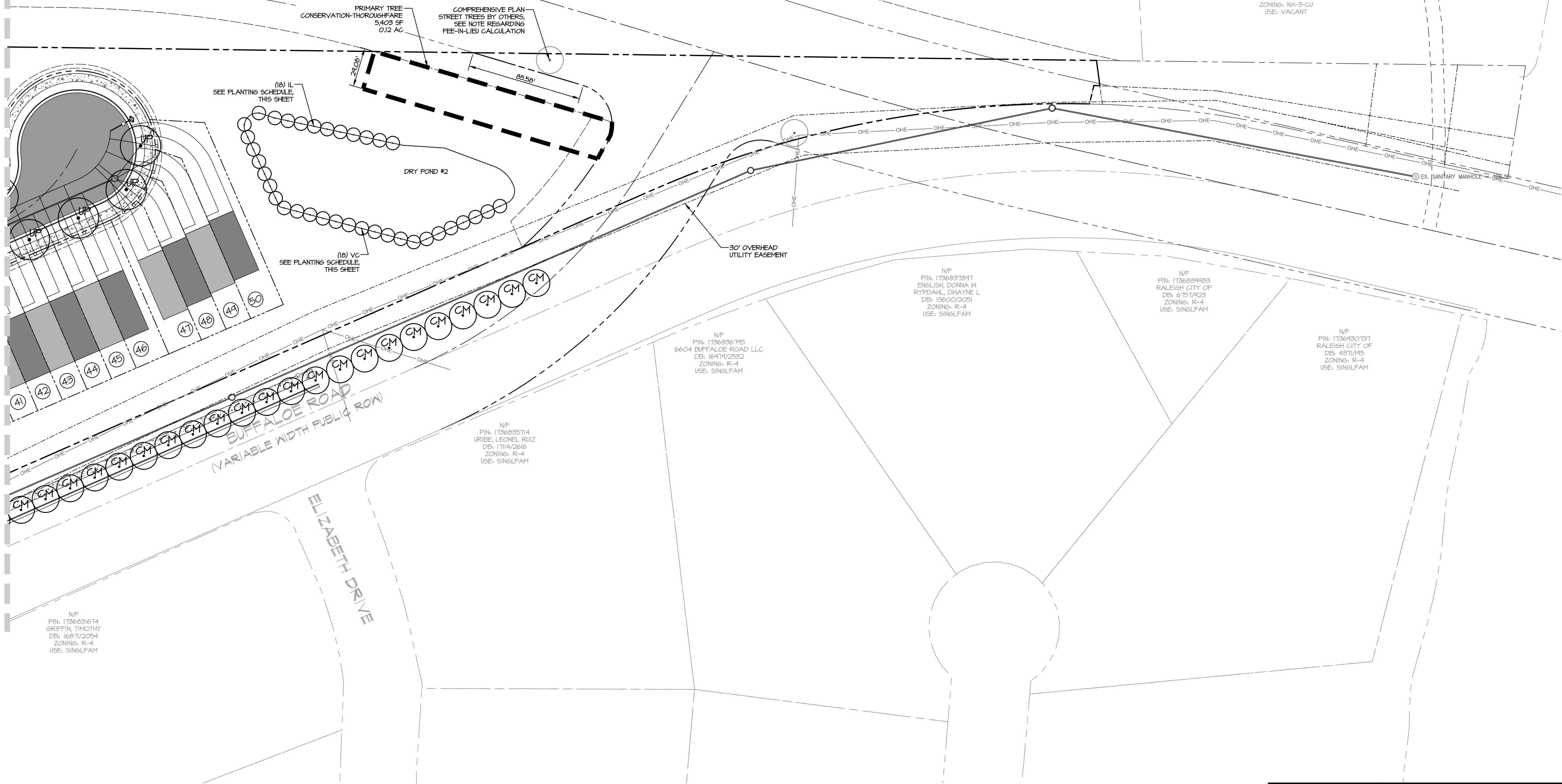


S:\PROJECTS\CY 2018\20093-STONERIDGE\DWG\PLANT\LANDSCAPING.dwg, 12/31/2019 2:28:28 PM, Plowman, 1:1, Copyright 2019 Morris & Ritchie Associates, Inc.



N/F
PIN: IT36844173
BUFFALO ASSOCIATES
CLIFTON L BENSON JR FAMILY LTD PTNRP
DB: 12064/1909
ZONING: RX-3-CU
USE: VACANT

MATCH-LINE (SEE SHEET C800)



N/F
PIN: IT36836795
6604 BUFFALO ROAD LLC
DB: 16414/2532
ZONING: R-4
USE: SINGLFAM

N/F
PIN: IT36837847
ENGLISH, DONNA W
RTTPDAHL, DWAYNE L
DB: 13600/2051
ZONING: R-4
USE: SINGLFAM

N/F
PIN: IT36839483
RALEIGH CITY OF
DB: 67571423
ZONING: R-4
USE: SINGLFAM

N/F
PIN: IT36830737
RALEIGH CITY OF
DB: 4371/185
ZONING: R-4
USE: SINGLFAM

N/F
PIN: IT36835714
URIBE, LEONEL RUIZ
DB: 17114/2616
ZONING: R-4
USE: SINGLFAM

N/F
PIN: IT36831674
GRIFFIN, TIMOTHY
DB: 168712/254
ZONING: R-4
USE: SINGLFAM

SCREENING REQUIREMENTS FOR STORMWATER CONTROL FACILITIES

DRY POND 1:
541.5 FT PERIMETER
75% X 541.5' = 443.6' VEGETATIVE SCREENING REQUIRED; 480.6' SCREENING PROVIDED

WET POND 2:
478.6 FT PERIMETER
75% X 478.6' = 354.0' VEGETATIVE SCREENING REQUIRED; 368.4' SCREENING PROVIDED

QTY	KEY	BOTANICAL NAME	COMMON NAME	TYPE	SIZE	ROOT
42	IL	ILEX X 'CONY'	LIBERTY HOLLY	SHRUB	6' TALL	CONTAINER
42	VC	VIBURNUM AWABUKI 'CHINDO'	CHINDO VIBURNUM	SHRUB	6' TALL	CONTAINER

LANDSCAPE REQUIREMENTS

NOTE: UNDERSTORY TREES ARE TO BE SINGLE STEM AND 1.5" CALIPER MINIMUM

BUFFALO ROAD STREET TREES

CALCULATION: 1 SMALL SHADE TREE PER 20 LF AT 1,480 LF OF FRONTAGE = 74 TREES REQUIRED

PROVIDED: 76 TREES

QTY	KEY	BOTANICAL NAME	COMMON NAME	TYPE	SIZE	ROOT
76	CM	LAGERSTROEMIA INDICA	CREPE MYRTLE	UNDERSTORY	1.5" CAL, 10' TALL	B&B

LEGEND

—OHE— OVERHEAD UTILITY LINE

PRELIMINARY PLAN
NOT FOR CONSTRUCTION

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AND/OR NCDOT STANDARDS AND
SPECIFICATIONS.

40 0 40 80 120
SCALE 1" = 40'

NOTES:

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.
2. ALL STREET TREES PLANTED ON THE PUBLIC RIGHT-OF-WAY SHALL BE PLANTED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY TREE MANUAL.
3. A TREE IMPACT PERMIT IS REQUIRED TO PLANT STREET TREES ON THE PUBLIC RIGHT-OF-WAY PRIOR TO ISSUANCE OF BUILDING PERMITS.
4. VEGETATIVE SCREENING OF BOTH PONDS SHALL BE PROVIDED WITH LOCALLY-ADAPTED EVERGREEN SPECIES.
5. TREES, BUSHES, AND VEGETATION WITHIN THE PRIMARY TREE CONSERVATION AREA SHALL BE PROTECTED FROM REMOVAL DURING CONSTRUCTION. CONTRACTOR SHALL EXERCISE DILIGENCE TO REMOVE ONLY THE TREES, BUSHES, AND VEGETATION ESSENTIAL FOR CONSTRUCTION.
6. HIGH QUALITY STRUCTURAL SOIL SHALL BE USED UNDERNEATH DRIVEWAYS TO ACCOMPLISH THE MINIMUM 600 CUBIC FEET SOIL VOLUME REQUIREMENT.
7. VEGETATIVE AREAS SURROUNDING POND 1 SHALL MAINTAIN SLOPES OF 4:1
8. HVAC UNITS WILL BE GROUND-MOUNTED. SCREENING FOR HVAC UNITS WILL BE AS HIGH AS THE HIGHEST POINT OF THE EQUIPMENT BEING SCREENED AND SHALL CONSIST OF LANDSCAPING OR AN OPAQUE SCREEN COMPATIBLE WITH THE PHYSICAL BUILDING IN TERMS OF TEXTURE, QUALITY, MATERIAL AND COLOR.



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ENGINEER'S SEAL 01/06/20 CITY OF RALEIGH

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