



Administrative Approval Action

Case File / Name: SUB-S-54-2018
300 ST AUGUSTINE SUBDIVISION

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located south of Oakwood Avenue at the northeast corner of St. Augustine Avenue and Pender Street at 300 St. Augustine Ave (PIN #1714-30-1014). This site is inside the city limits.

REQUEST: Development of a 0.324 acre/14,100 SF tract zoned R-10 into a proposed 3 lot subdivision with right-of-way dedication. Proposed New Lot 1 being .092 acres/4,022 SF; proposed lot 2 being .093 acres/4,040 SF; proposed lot 3 being .093 acres/4,038 SF. The subdivision is proposing right-of-way dedication along both St. Augustine Ave. and Pender Street totalling 2,000 SF/.046 acres.

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated January 8, 2020 by Crumpler Consulting Services.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

Stormwater

1. These lots are exempt per UDO Section 9.2.2.A.2.b.i as a residential subdivision of one acre or less approved after May 1, 2001, but are subject to impervious limitations of subsection A.4 and subject to further review upon placement of impervious surface areas.
2. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).

☒ **LEGAL DOCUMENTS** - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

☒ Slope Easement Required

☒ Utility Placement Easement Required



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☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

General

1. A note is placed on all plat recordings stating: "Per TC-5A-18, both St. Augustine Ave. & Pender St. may be designated as the Primary Street Designation for Lot 2."
2. A demolition permit shall be issued and this building permit number shown on all maps for recording.

Engineering

3. A fee-in-lieu for 6' sidewalks across both frontages for the length of the proposed subdivision is paid to the City of Raleigh (UDO 8.1.10).
4. A public infrastructure surety is provided to the City of Raleigh Development Services – Development Engineering program (UDO 8.1.3).
5. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.
6. A 5' utility placement easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.
7. The required slope easements as shown on the preliminary plan shall be shown on the map approved for recordation.

Public Utilities

8. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

Stormwater

9. The maximum allocated impervious area for all applicable lots in the subdivision should be identified on all maps for recording.
10. If demolition causes a land disturbance of more than 12,000 sf, a mass grading permit will be required. (UDO 9.4.6)



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Urban Forestry

11. A public infrastructure surety for the street trees is provided to the City of Raleigh Development Services – Development Engineering program (UDO 8.1.3).

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

Stormwater

1. These lots are exempt per UDO Section 9.2.2.A.2.b.i as a residential subdivision of one acre or less approved after May 1, 2001, but are subject to impervious limitations of subsection A.4 and subject to further review upon placement of impervious surface areas.
2. Impervious restrictions for each lot must be recorded on a plat prior to building permit issuance.
3. If total land disturbance will be over 12,000 sq. ft. for multiple houses, a separate site plan submittal & approval will be required. Site plans require an erosion control plan. (UDO 9.4.6.)

Urban Forestry

4. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 2 street trees along St. Augustine Avenue and 5 street trees along Pender Street for a total of 7 street trees.

The following are required prior to issuance of building occupancy permit:

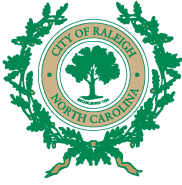
Stormwater

1. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).

EXPIRATION DATES: If significant construction has not taken place on a project after preliminary subdivision approval, that approval may "sunset" and be declared void, requiring re-approval before permits may be issued. To avoid allowing this preliminary approval to "sunset", the following must take place by the following dates:

3-Year Sunset Date: February 25, 2023
Record at least ½ of the land area approved.

5-Year Sunset Date: February 25, 2025
Record entire subdivision.

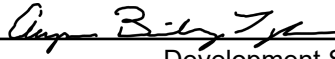


Administrative Approval Action

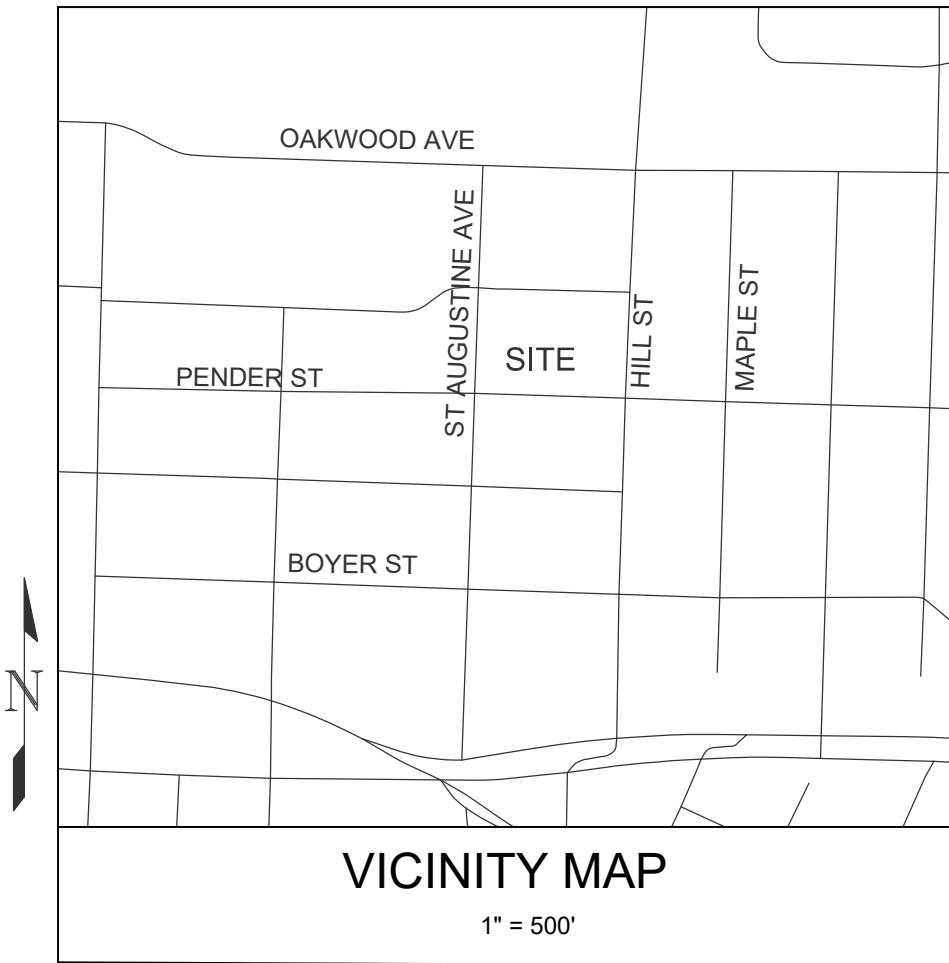
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I hereby certify this administrative decision.

Signed:  Date: 02/26/2020
Development Services Dir/Designee
Staff Coordinator: Jermont Purifoy

CAD FILE: D:\CDS\Projects\2018\18028-Motaparthi St. Augustine\Bases\ LAYOUT: Cover PLOTTED: 08-Jan-2020, 2:07pm, jcrumpler



SUBDIVISION PLANS FOR 300 ST. AUGUSTINE-3 LOT SUBDIVISION 300 ST. AUGUSTINE AVE RALEIGH, NORTH CAROLINA

CITY OF RALEIGH FILE: SUB-S-54-18
CITY OF RALEIGH TRANSACTION #: 571977

PREPARED FOR:
NEAL MOTAPARTHY
105 CASHWELL DRIVE
GOLDSBORO, NORTH CAROLINA 27534

PREPARED BY:
CRUMPLER
Consulting Services, PLLC

2308 Ridge Road
Raleigh, North Carolina 27612
Ph. 919-413-1704
P-1533

NOTES

- BOUNDARY SURVEY PROVIDED BY CHANCE SURVEYING CO., P.A. DATED 09-06-2018. THE LOT WAS RECORDED IN MAP BOOK 17296 ON PAGE 989.
- PROPERTY IS LOCATED IN ZONES X (AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE AND FUTURE 1% ANNUAL CHANCE FLOODPLAIN) BASED ON THE FEMA MAP NUMBERS 3720171300J AND 3720171400J DATED MAY 2, 2006.
- NO ONSITE STREAMS OR WETLANDS HAVE BEEN IDENTIFIED WITHIN THE PROJECT OR PARCEL AS SHOWN.
- THIS DRAWING IS NOT FOR RECORDATION.
- EXISTING DRIVEWAY WILL BE ABANDONED AND REPLACED WITH STANDARD CITY OF RALEIGH CURB AND GUTTER. NEW DRIVEWAYS WILL CONFIRM TO CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
- DEVELOPERS HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.
- RESIDENTIAL INFILL RULES MAY APPLY PER UDO SECTIONS 2.2.1, 2.2.7, AND TC-7-17.

SOLID WASTE SERVICES NOTE:

DEVELOPERS HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.

SITE EXEMPTION NOTES:

-THE SITE WILL BE CONFORMING TO THE EXEMPTION OF TREE CONSERVATION REQUIREMENTS THROUGH THE CITY OF RALEIGH'S UNIFIED DEVELOPMENT CODE SECTION 9.1.2 FOR PARCELS LESS THAN 2 ACRES IN SIZE.

-PER SECTION 9.2.2.A.2.B.I SUBJECT TO 4.A.OF THE PART 10A RALEIGH UNIFIED DEVELOPMENT ORDINANCE, THESE LOTS ARE EXEMPT FROM ACTIVE STORMWATER MEASURES AND SUBJECT TO FURTHER REVIEW UPON PLACEMENT OF IMPERVIOUS SURFACE AREAS.

SHEET	DESCRIPTION
C-1	COVER
C-2	EXISTING CONDITIONS
C-3	PROPOSED SUBDIVISION PLAN
C-4	PROPOSED GRADING PLAN
C-5	PROPOSED UTILITY PLAN
C-6	PROPOSED LANDSCAPING PLAN
D-1	DETAILS

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.

CALL 48 HOURS
BEFORE YOU DIG



NORTH CAROLINA
ONE-CALL CENTER
1-800-632-4949

CRUMPLER
Consulting Services, PLLC
2308 Ridge Road
Raleigh, North Carolina 27612
Ph. 919-413-1704
P-1533

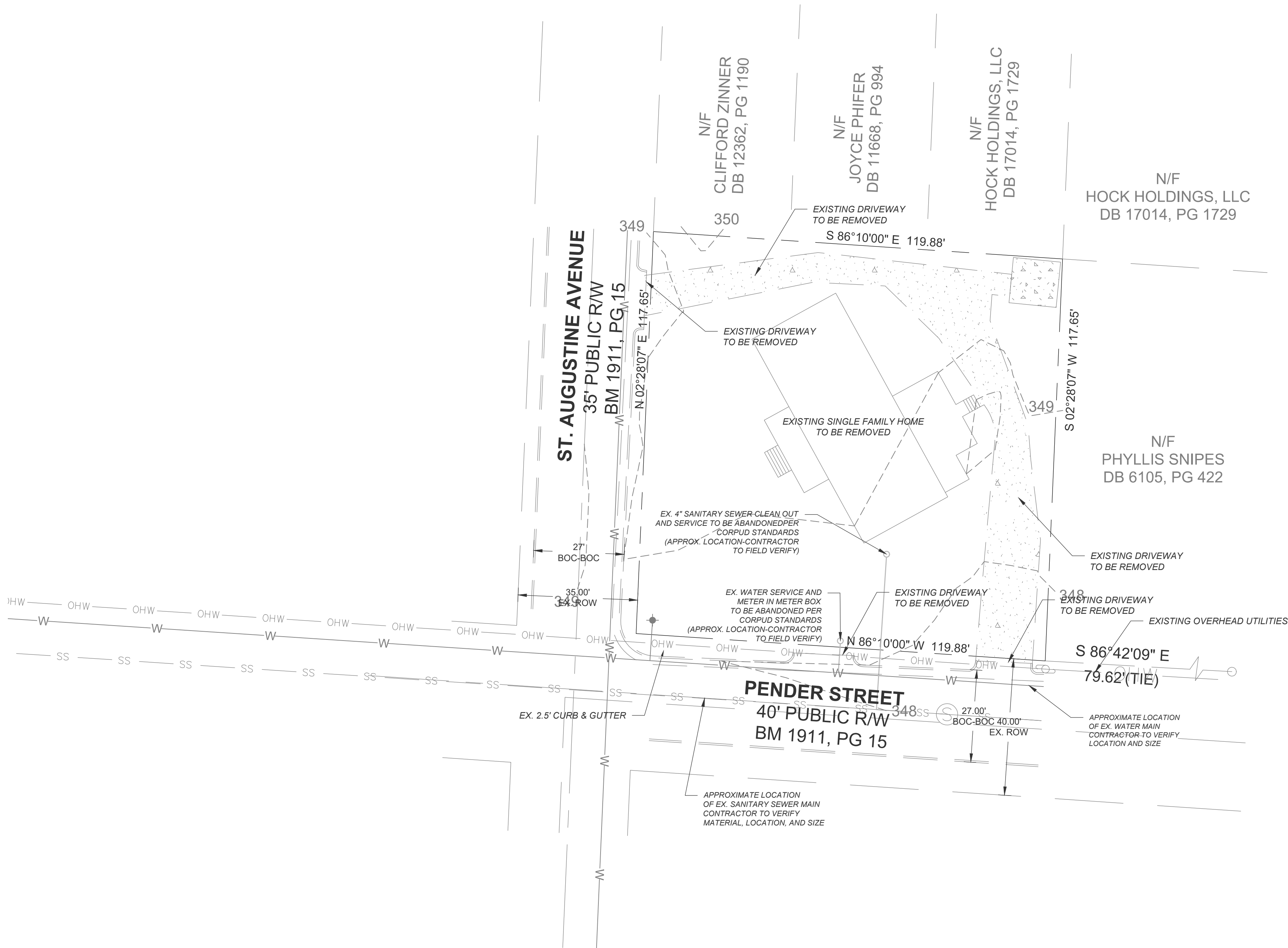
ISSUED FOR
PERMITTING

DATE	DESCRIPTION	REV.
03/28/19	CITY OF RALEIGH COMMENTS	1
01/08/20	CITY OF RALEIGH COMMENTS	2

COVER
ST. AUGUSTINE SUBDIVISION
300 ST. AUGUSTINE AVENUE
RALEIGH, NORTH CAROLINA

PROJECT NO.:	18028
DRAWN BY:	JAC
CHECKED BY:	JAC
DATE:	09/28/18
SCALE:	NO SCALE

C-1



LEGEND	
	EXISTING PROPERTY LINE
	EXISTING ABUTTING PROPERTY LINE
	EXISTING RIGHT-OF-WAY
	EXISTING OVERHEAD POWER LINE
	EXISTING ABUTTING PROPERTY LINE
	EXISTING BUILDING SETBACK LINE
	EXISTING PARKING SETBACK LINE
	EXISTING EDGE OF PAVEMENT
	EXISTING SANITARY SEWER
	EXISTING SANITARY SEWER
	EXISTING CONTOUR

NOTES

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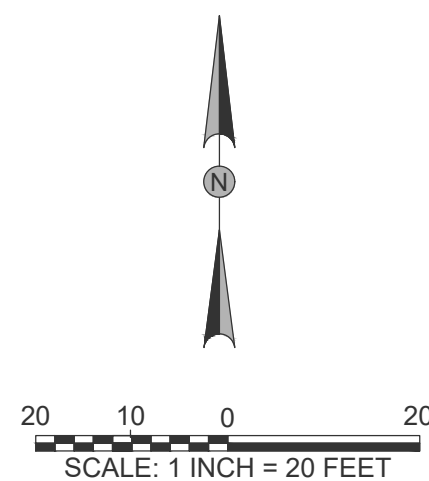
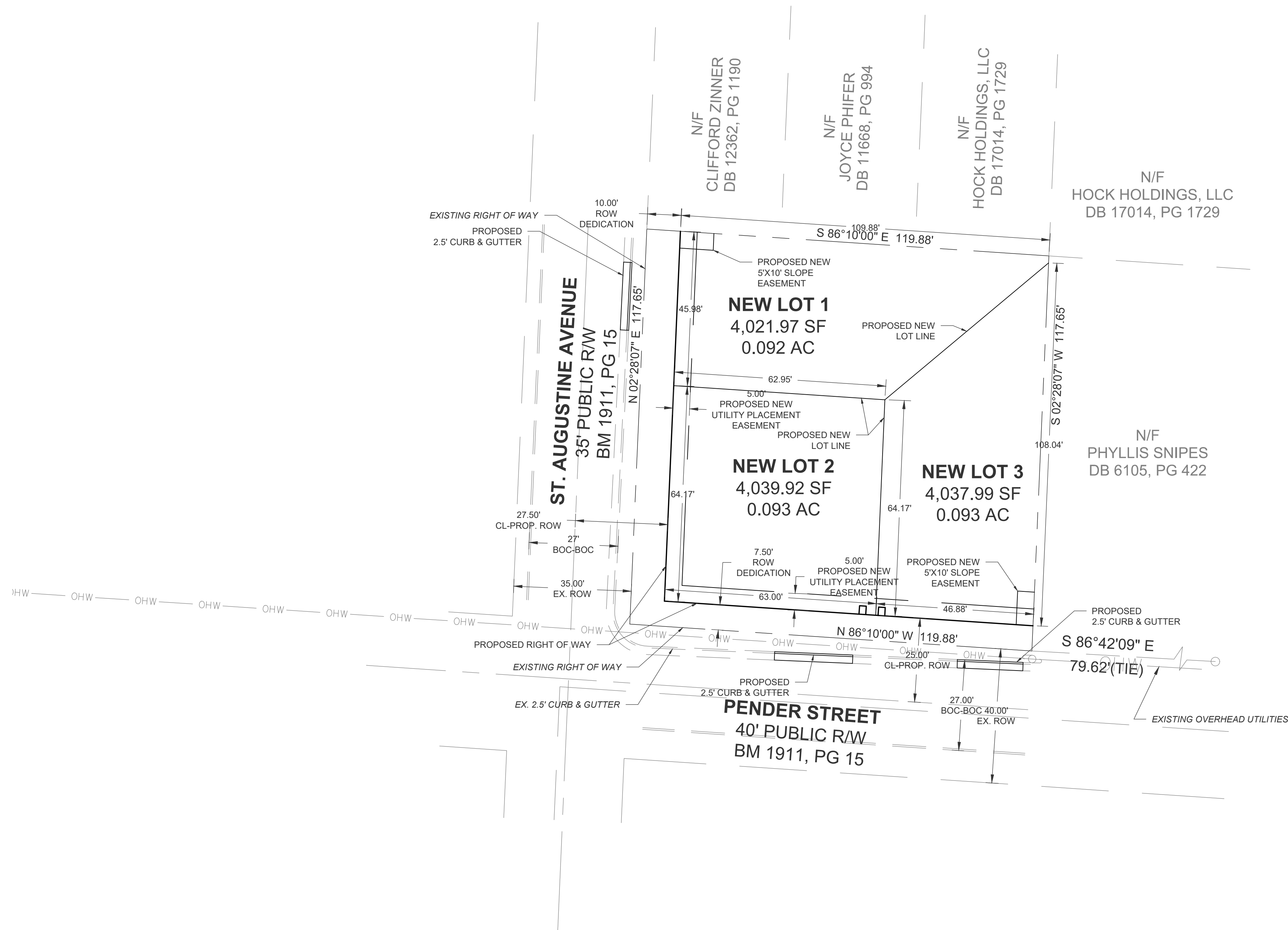
ISSUED FOR PERMITTING

REV.	DESCRIPTION	DATE
1	CITY OF RALEIGH COMMENTS	03/28/19
2	CITY OF RALEIGH COMMENTS	01/08/20

EXISTING CONDITIONS PLAN
ST. AUGUSTINE SUBDIVISION
300 ST. AUGUSTINE AVENUE
RALEIGH, NORTH CAROLINA

PROJECT NO.:	18028
DRAWN BY:	JAC
CHECKED BY:	JAC
DATE:	09/28/18
SCALE:	1" = 20'














C-2



ADA NOTES

1. PROPOSED ADA PARKING AND STALL STRIPING SHALL HAVE SLOPES NO STEEPER THAN 1:48 (2%).
2. PROPOSED ACCESSIBLE ROUTE TO RIGHT-OF-WAY AND PROPOSED SIDEWALKS SHALL HAVE A RUNNING SLOPE NO STEEPER THAN 1:20 (5%) AND CROSS SLOPES NO STEEPER THAN 1:48 (2%).
3. RAMPS SHALL COMPLY WITH THE REQUIREMENTS OF 2012 NCSBC SECTION 1010.
4. HANDRAILS SHALL COMPLY WITH THE REQUIREMENTS OF 2012 NCSBC SECTION 1012.

LEGEND

	EXISTING PROPERTY LINE
	EXISTING ABUTTING PROPERTY LINE
	EXISTING RIGHT-OF-WAY
 OHW 	EXISTING OVERHEAD POWER LINE
	EXISTING ABUTTING PROPERTY LINE
	EXISTING BUILDING SETBACK LINE
	EXISTING PARKING SETBACK LINE
	EXISTING EDGE OF PAVEMENT
 SS 	EXISTING SANITARY SEWER
 W 	EXISTING SANITARY SEWER
	PROPOSED CITY OF RALEIGH UTILITY PLACEMENT EASEMENT
	PROPOSED LOT LINE
	PROPOSED RIGHT OF WAY LINE

SUMMARY INFORMATION

DEVELOPMENT NAME: 300 ST. AUGUSTINE-3 LOT SUBDIVISION

SITE ADDRESS: 300 ST. AUGUSTINE AVE
RALEIGH, NORTH CAROLINA

PIN NUMBER: 1714-30-1014

JURISDICTION: CITY OF RALEIGH
CURRENT ZONING DISTRICT: R-10

TOTAL GROSS SITE ACREAGE: 0.324 ACRES (14,100 SF)
PROPOSED LOT 1: 0.092 ACRES (4,022 SF)
PROPOSED LOT 2: 0.093 ACRES (4,040 SF)
PROPOSED LOT 3: 0.093 ACRES (4,038 SF)
DEDICATED RIGHT OF WAY: 0.046 ACRES (2,000 SF)

PROPOSED DENSITY: 3 UNITS/0.324 AC=9.26 U/A

BLOCK PERIMETER REQUIRED (MAX.): 2,500LF
BLOCK PERIMETER PROVIDED: 1,202LF

RALEIGH CITIZENS ADVISORY COUNCIL (CAC): NORTH CENTRAL

OWNER/DEVELOPER:
ARCHIVE DEVELOPMENT, LLC
105 CASHWELL DRIVE
GOLDSBORO, NORTH CAROLINA 27534

ENGINEER:
CRUMPLER CONSULTING SERVICES, PLLC
CONTACT: JOSH CRUMPLER, PE
2308 RIDGE ROAD
RALEIGH, NC 27612
(919) 413-1704

ISSUED FOR
PERMITTING

REV.	DESCRIPTION	DATE
1	CITY OF RALEIGH COMMENTS	03/28/19
2	CITY OF RALEIGH COMMENTS	01/08/20

PROPOSED SITE PLAN

ST. AUGUSTINE SUBDIVISION

300 ST. AUGUSTINE AVENUE
RALEIGH, NORTH CAROLINA

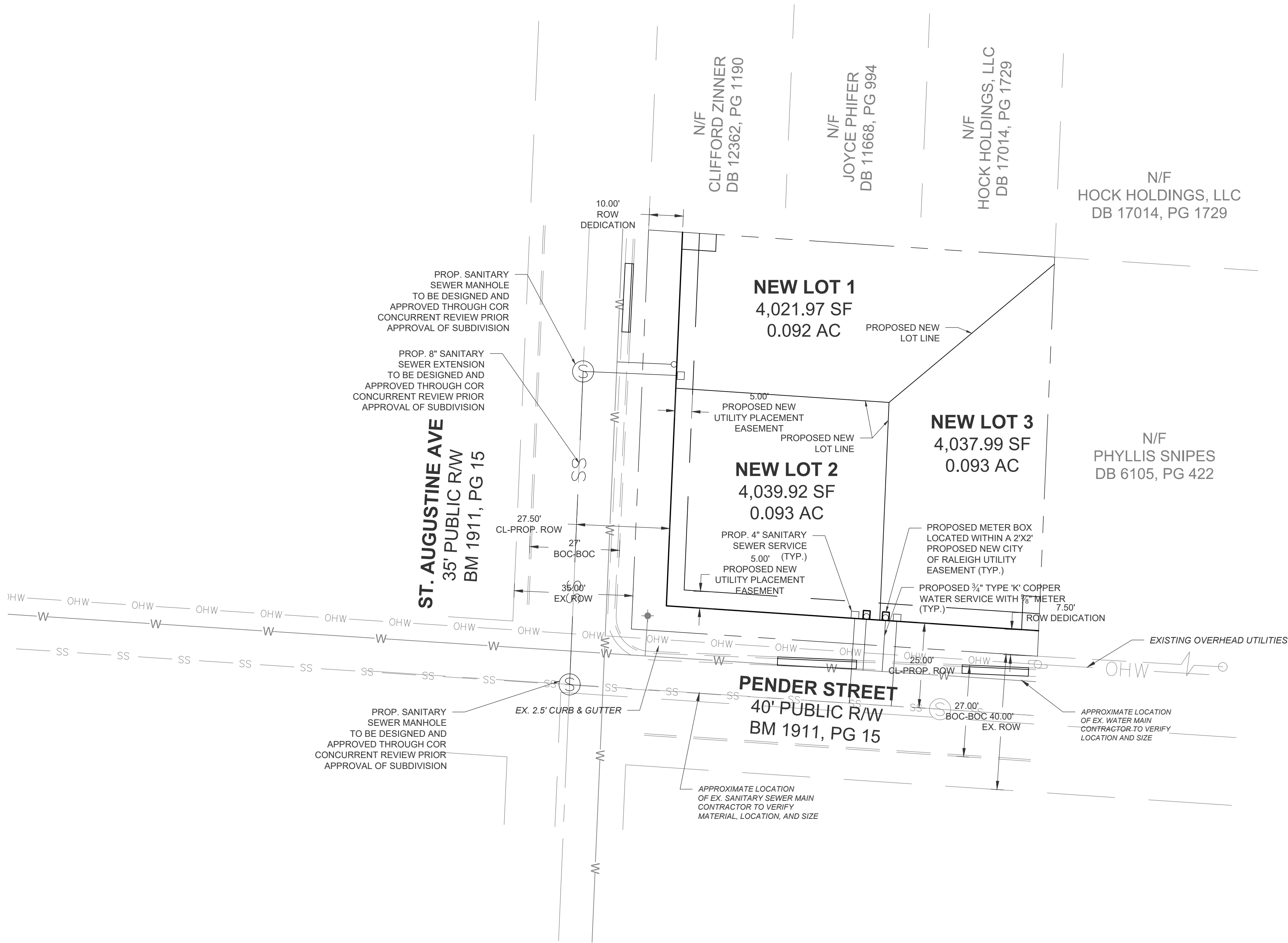
PROJECT NO.: 18028

DRAWN BY: JAC

CHECKED BY: JAC

DATE:	09/28/18
SCALE:	1" = 20'

C-3



ADA NOTES

1. PROPOSED ADA PARKING AND STALL STRIPING SHALL HAVE SLOPES NO STEEPER THAN 1:48 (2%).
2. PROPOSED ACCESSIBLE ROUTE TO RIGHT-OF-WAY AND PROPOSED SIDEWALKS SHALL HAVE A RUNNING SLOPE NO STEEPER THAN 1:20 (5%) AND CROSS SLOPES NO STEEPER THAN 1:48 (2%).
3. RAMPS SHALL COMPLY WITH THE REQUIREMENTS OF 2012 NCSBC SECTION 1010.
4. HANDRAILS SHALL COMPLY WITH THE REQUIREMENTS OF 2012 NCSBC SECTION 1012.

LEGEND

- EXISTING PROPERTY LINE
- EXISTING ABUTTING PROPERTY LINE
- EXISTING RIGHT-OF-WAY
- OHW --- OHW --- EXISTING OVERHEAD POWER LINE
- EXISTING ABUTTING PROPERTY LINE
- EXISTING BUILDING SETBACK LINE
- EXISTING PARKING SETBACK LINE
- EXISTING EDGE OF PAVEMENT
- SS --- SS --- EXISTING SANITARY SEWER
- W --- EXISTING SANITARY SEWER
- PROPOSED CITY OF RALEIGH UTILITY PLACEMENT EASEMENT
- PROPOSED LOT LINE
- SS --- SS --- PROPOSED RIGHT OF WAY LINE
- W --- PROPOSED SANITARY SEWER SERVICE
- PROPOSED WATER SERVICE

CITY OF RALEIGH UTILITY NOTES

1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
2. UTILITY SEPARATION REQUIREMENTS:
 - a. A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - b. WHEN INSTALLING WATER & RCP SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - c. WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASUREMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - d. 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - e. MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49)
 - f. ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
3. ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
4. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
5. 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
6. ABANDON AND REMOVE EXISTING WATER AND SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF SITE AS DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
7. INSTALL 3/4" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
8. INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
9. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
10. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
11. NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
12. GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 996-2334 OR timothy.beasley@raleighnc.gov FOR MORE INFORMATION.
13. CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR joanie.hartley@raleighnc.gov FOR MORE INFORMATION.
14. NEW WATER AND SEWER SERVICES SHALL BE INSTALLED BY OPEN CUT PER CITY OF RALEIGH STANDARDS.

STORMWATER IMPERVIOUS NOTES:

PROPOSED IMPERVIOUS SURFACE:
-SIDEWALK AND ADA RAMP WITHIN RIGHT OF WAY=1,426 SF
1,426SF/3=475 PER LOT

MAXIMUM IMPERVIOUS SURFACE PER ZONING=65%
MAXIMUM IMPERVIOUS PER LOT LESS RIGHT OF WAY IMPROVEMENTS:
-LOT 1: 2,614.28SF-475SF=2,139.28SF MAX IMPERVIOUS SURFACE
-LOT 2: 2,625.95SF-475SF=2,150.95SF MAX IMPERVIOUS SURFACE
-LOT 3: 2,624.69SF-475SF=2,149.69SF MAX IMPERVIOUS SURFACE

-PER SECTION 9.2.2.A.2.B.I SUBJECT TO 4.A.OF THE PART 10A RALEIGH UNIFIED DEVELOPMENT ORDINANCE, THESE LOTS ARE EXEMPT FROM ACTIVE STORMWATER MEASURES AND SUBJECT TO FURTHER REVIEW UPON PLACEMENT OF IMPERVIOUS SURFACE AREAS.

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6. DEVELOPERS HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.
7. RESIDENTIAL INFILL RULES MAY APPLY PER UDO SECTIONS 2.2.1, 2.2.7, AND TC-7-17.
8. NEW WATER AND SEWER SERVICES SHALL BE INSTALLED BY OPEN CUT PER CITY OF RALEIGH STANDARDS.

PROPOSED UTILITY PLAN

ST. AUGUSTINE SUBDIVISION

300 ST. AUGUSTINE AVENUE
RALEIGH, NORTH CAROLINA

ISSUED FOR PERMITTING

REV.	DESCRIPTION	DATE
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2	CITY OF RALEIGH COMMENTS	01/08/20

PROJECT NO.: 18028

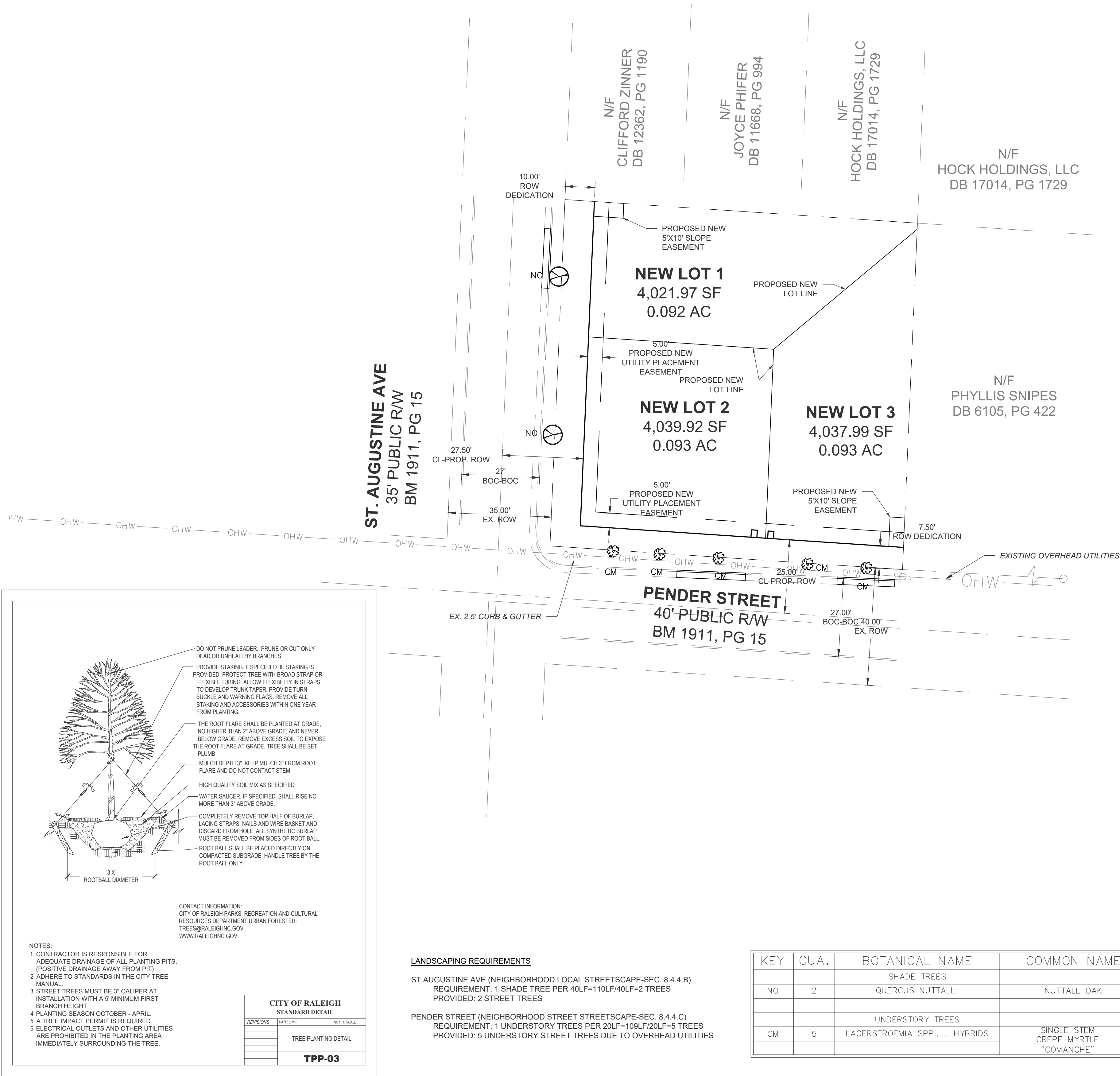
DRAWN BY: JAC

CHECKED BY: JAC

DATE: 09/28/18

SCALE: 1" = 20'

C-5



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- HANDRAILS SHALL COMPLY WITH THE REQUIREMENTS OF 2012 NCSBC SECTION 1012.

LEGEND

- EXISTING PROPERTY LINE
- EXISTING ABUTTING PROPERTY LINE
- EXISTING RIGHT-OF-WAY
- EXISTING OVERHEAD POWER LINE
- EXISTING ABUTTING PROPERTY LINE
- EXISTING BUILDING SETBACK LINE
- EXISTING PARKING SETBACK LINE
- EXISTING EDGE OF PAVEMENT
- EXISTING SANITARY SEWER
- EXISTING SANITARY SEWER
- PROPOSED CITY OF RALEIGH UTILITY PLACEMENT EASEMENT
- PROPOSED LOT LINE
- PROPOSED RIGHT OF WAY LINE

LANDSCAPING NOTES

- STREET TREE PLANTINGS SHALL ADHERE TO THE CITY OF RALEIGH TREE MANUAL.
- ALL DISTURBED AREAS NOT OCCUPIED BY STRUCTURES, PAVING OR PLANTINGS SHALL BE SEEDED AND WATERED.
- SEE DETAIL SHEETS FOR SEEDING SCHEDULE.
- ALL TREE PLANTINGS SHALL BE MULCHED TO A DEPTH OF 3". KEEP MULCH 3" FROM ROOT FLARE AND DO NOT CONTACT STEM
- A MINIMUM OF FOUR INDIVIDUAL SOIL SAMPLES SHALL BE TAKEN THROUGHOUT THE SITE FOR OVERALL SOIL ANALYSIS.
- MINIMUM TOPSOIL DEPTH SHALL BE 4" IN LAWN AREAS AND 12" IN LANDSCAPED AREAS. CONTRACTOR TO UTILIZE ALL ONSITE TOPSOIL. CONTRACTOR SHALL SUPPLY ADDITIONAL TOPSOIL AT NO ADDITIONAL COST TO OWNER IF EXISTING TOPSOIL IS NOT SUFFICIENT TO MEET THE NEEDS OF THIS PROJECT.
- ALL PLANTING AREAS TO RECEIVE 1 CY OF SOIL CONDITIONER FOR EACH 75 SF OF PLANT BED AREA. ACCEPTABLE SOIL CONDITIONERS SHALL BE PULVERIZED PINE BARK, PEAT MOSS OR SHREDDED/COMPOSTED LEAVES.
- CONTRACTOR TO FIELD VERIFY LOCATION OF EXISTING UTILITIES BEFORE BEGINNING OF GRADING AND LANDSCAPE INSTALLATION.
- CONTRACTOR TO VERIFY QUANTITIES OF PLANTINGS AS SHOWN. PLANTINGS INDICATED ON PLANS SHALL PREVAIL OVER QUANTITIES INDICATED IN PLANT LIST IF DISCREPANCIES ARISE.
- ALL PLANTS ARE TO BE THOROUGHLY "WATERED IN" THE SAME DAY AS PLANTED.
- THE PLANT HOLE WIDTH SHALL BE A MINIMUM THREE TIMES THE DIAMETER OF THE ROOT BALL.
- COMPLETELY REMOVE TOP HALF OF BURLAP, LACING AND WIRE BASKET AND DISCARD FROM HOLE BEFORE BACKFILLING AROUND BALL IS COMPLETED.
- ALL TREES, WHEN PLANTED, SHALL HAVE THE SAME RELATIONSHIP TO FINISHED GRADE AS TO THE GRADING PLAN.
- LANDSCAPING SHOWN MEETS REQUIREMENTS.
- ALL ADDITIONAL LANDSCAPING SHALL BE PER OWNER.
- ALL LANDSCAPING SHALL BE GUARANTEED FOR ONE (1) YEAR AFTER FINAL ACCEPTANCE. ANY PLANTINGS NEEDING REPLACEMENT WILL BE GUARANTEED FROM THE TIME OF REPLACEMENT IF AFTER FINAL ACCEPTANCE.

TREE CONSERVATION AND LANDSCAPING NOTES:

- THIS SITE IS LESS THAN 2 ACRES AND EXEMPT OF CITY OF RALEIGH UNIFIED DEVELOPMENT ORDINANCE SECTION 9.1.2.TREE CONSERVATION APPLICABILITY.
- THE TREE IMPACT PERMIT IS REQUIRED WITH BUILDING PERMIT TO PLANT TREES IN THE PUBLIC RIGHT-OF-WAY.

STORMWATER IMPERVIOUS NOTES:

- PROPOSED IMPERVIOUS SURFACE:
-SIDEWALK AND ADA RAMP WITHIN RIGHT OF WAY=1,426 SF
1,426SF/3=475 PER LOT
- MAXIMUM IMPERVIOUS SURFACE PER ZONING=65%
MAXIMUM IMPERVIOUS PER LOT LESS RIGHT OF WAY IMPROVEMENTS:
-LOT 1: 2,614.28SF-475SF=2,139.28SF MAX IMPERVIOUS SURFACE
-LOT 2: 2,625.95SF-475SF=2,150.95SF MAX IMPERVIOUS SURFACE
-LOT 3: 2,624.69SF-475SF=2,149.69SF MAX IMPERVIOUS SURFACE
- PER SECTION 9.2.2.A.2.B.1 SUBJECT TO 4.A. OF THE PART 10A RALEIGH UNIFIED DEVELOPMENT ORDINANCE, THESE LOTS ARE EXEMPT FROM ACTIVE STORMWATER MEASURES AND SUBJECT TO FURTHER REVIEW UPON PLACEMENT OF IMPERVIOUS SURFACE AREAS.

NOTES

- BOUNDARY SURVEY PROVIDED BY CHANCE SURVEYING CO., P.A. DATED 09-06-2018. THE LOT WAS RECORDED IN MAP BOOK 17296 ON PAGE 989.
- PROPERTY IS LOCATED IN ZONES X (AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE AND FUTURE 1% ANNUAL CHANCE FLOODPLAIN) BASED ON THE FEMA MAP NUMBERS 3720171300J AND 3720171400J DATED MAY 2, 2006.
- NO ONSITE STREAMS OR WETLANDS HAVE BEEN IDENTIFIED WITHIN THE PROJECT OR PARCEL AS SHOWN.
- THIS DRAWING IS NOT FOR RECORDATION.
- EXISTING DRIVEWAY WILL BE ABANDONED AND REPLACED WITH STANDARD CITY OF RALEIGH CURB AND GUTTER. NEW DRIVEWAYS WILL CONFIRM TO CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
- DEVELOPERS HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.
- RESIDENTIAL INFILL RULES MAY APPLY PER UDO SECTIONS 2.2.1, 2.2.7, AND TC-7-17 .

ISSUED FOR PERMITTING

REV.	DESCRIPTION	DATE
1	CITY OF RALEIGH COMMENTS	03/28/19
2	CITY OF RALEIGH COMMENTS	01/08/20

PROJECT NO.:	18028
DRAWN BY:	JAC
CHECKED BY:	JAC
DATE:	09/28/18
SCALE:	1" = 20'