



Raleigh

Permit Pathways: Common Issues and Expert Guidance

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Agenda





Facilitated by Planning
and Development

Permit Pathways: Common Issues and Expert Guidance

May 22, 2025



Agenda

- Opening Remarks
 - Rules of Decorum
 - Objectives
 - Introduction to City Staff
- Building Safety Month
- Permit Intake Discussion
- Residential Permit Review
 - Common Issues and Guidance
- Q & A
- Session Adjourned

Opening Remarks

Rules of Decorum

- Respectful Communication
- Stay on Topic
- Ask Relevant Questions
- Remain Professional

Objectives

Strengthen the working relationships between Staff and the Public.

Educate the public on the residential permit review process.



Reduce review cycles through education.

Departments and Divisions at City of Raleigh

- Continuous Improvement and Customer Service
- Urban Forestry
- Transportation
- Zoning
- Building Safety
- Raleigh Water
- Stormwater Management
- Addressing
- Fire Marshall's Office
- Raleigh Department of Transportation

Building Safety Month

Building Safety Month

- ICC sponsored event
- Focus on community engagement
- Focus on residential safety tips
- Follow ICC weekly topics through social media outreach



Residential Permit Review

Residential Permit Intake

Required Documentation for Intake

- Permit Data Form must be complete
- Permit Description must match scope of work
- Documents cannot be incomplete

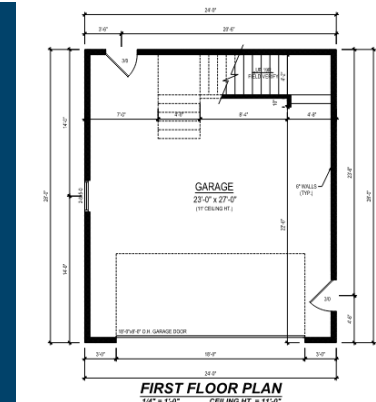
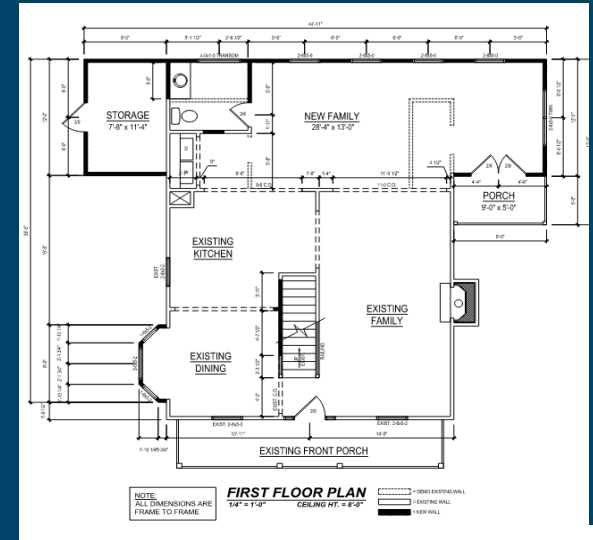
Required Documentation for Permit Issuance

- Worker's Compensation Form
- Owner's Exemption Form

Residential Addition and Garage

State Law allows one permit with multiple scopes of work; consider the following:

- Concurrent construction
- Single Inspection Timeline
- Limitation on Certificate issuance
- Reduce Flexibility with Combined permits

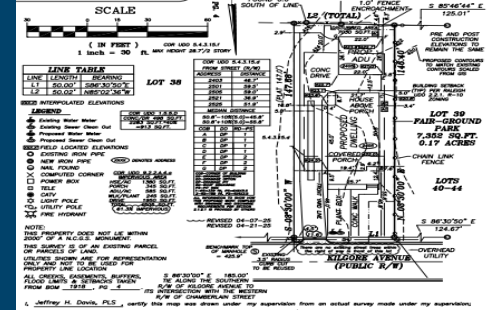


Zoning

Issues Identified in the Zoning Review

Does infill apply:

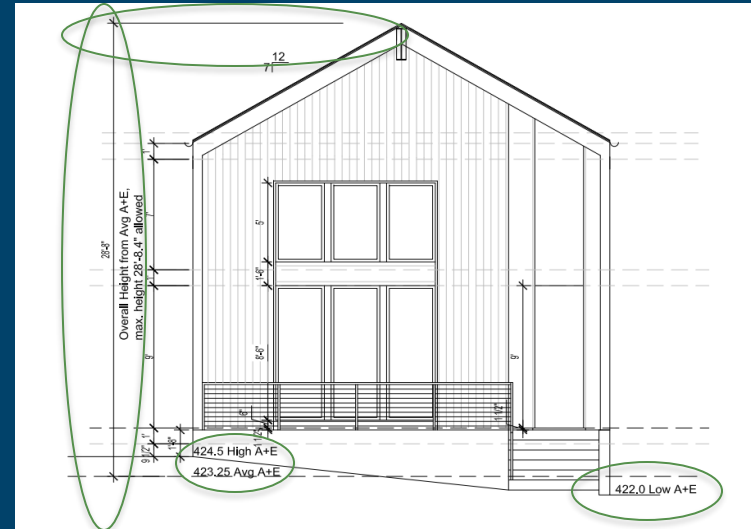
1. Zoned: R-4, R-6, R-10
2. Subject lot's primary street frontage is on a street section that was platted for at least 20 years including subsequent right-of-way dedications
3. Comparative Sample - Four of the principal buildings or three for a corner lot along the same block face



Issues Identified in the Zoning Review

Overall Building Height

1. Building height from average grade
2. Consistency between all documents with grade points and heights
3. Ensuring that on the site plan existing conditions and proposed work is labeled correctly and clearly



Issues Identified in the Zoning Review

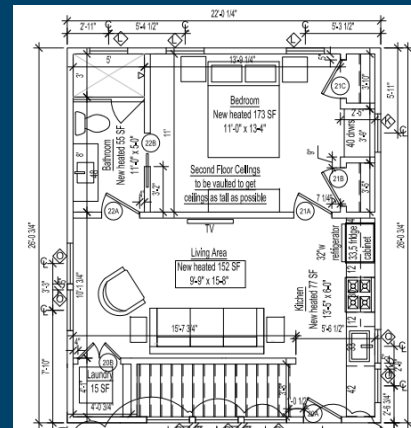
ADU Permit Requirements

- Provision of Gross Floor Area calculation
- ADU lot square footage allowance
- Attached vs. Detached structure setbacks

Lot Area	Greater than 40,000 sf	10,000 sf to 40,000 sf	Less than 10,000 sf
G. Building Specifications			
G1. Gross Floor Area (max)	1,000 sf	800 sf	800 sf
H. Detached ADU Setbacks			
H1. From primary street (min)	Must be located at or behind the front wall of the house.		
H2. From side street (min)	20'	20'	10'
H3. From side lot line (min) ²	10'	5'	5'
H4. From rear lot line (min) ²	10'	5'	5'

(Reference: UDO 2.6.3)

New Gross Floor Area of Garage + ADU
Garage (not heated) SF - 475 SF
Stair Entry Finished SF - 74 SF
Second Floor (ADU) SF - 500 SF
Total Gross Floor Area SF - 1,049 SF



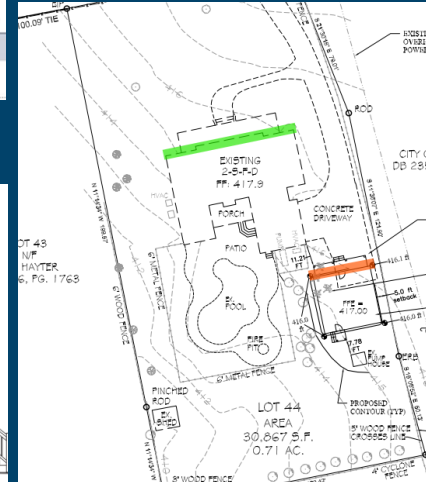
Issues Identified in the Zoning Review

ADU Permit Requirements

- Frequent Transit Development Option Allowances
- ADU placement on lot
- Overall Building Height

		Greater than 40,000 sf	10,000 sf to 40,000 sf	Less than 10,000
I. Height				
I1	Overall height (max)	26'	26'	26'

(Reference: UDO 2.6.3)



Building Safety

Do I Need Structural Plans with a Design Professional Seal and Signature When Submitting for a Residential Permit?

NCRC R301 – Design Criteria

NCRC R301 – Design Criteria

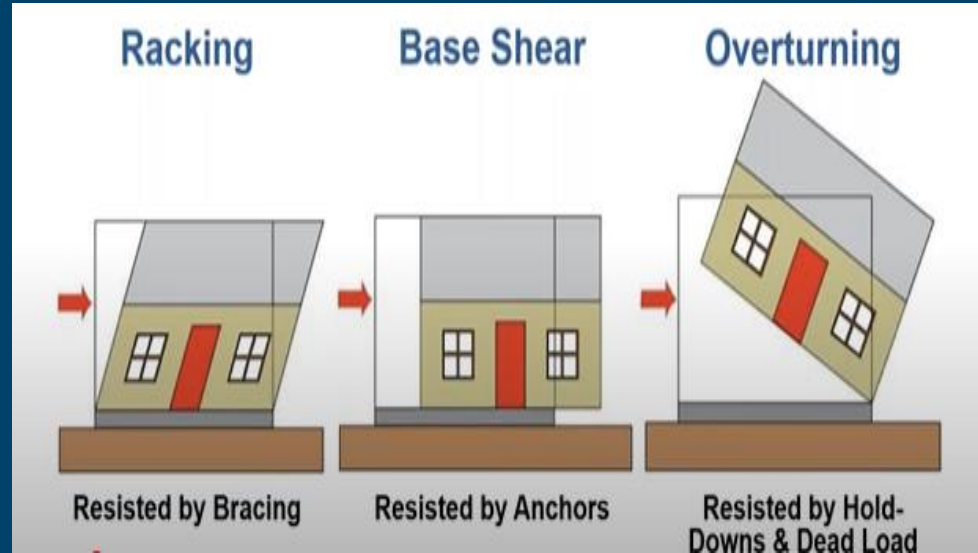
“The construction of structures shall result in a system that provides a complete load path that meets the requirements for the transfer of loads from their point of origin through the load resisting elements to the foundation and footing.

- Prescriptive
- Non-conventional Framing
- EWP – Engineered Wood Products”

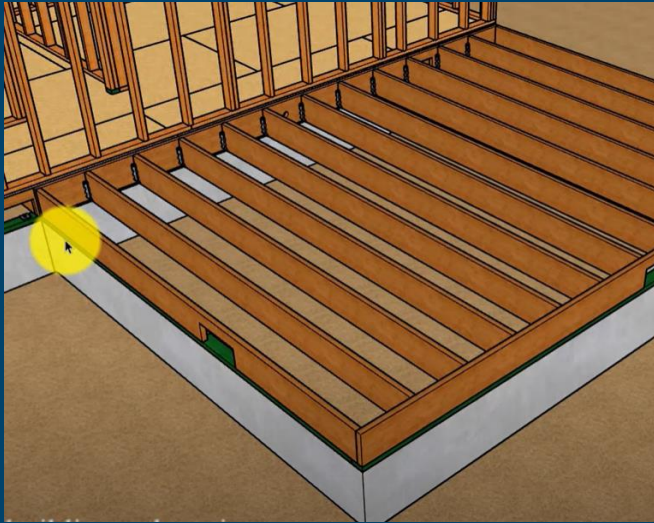


Lateral Forces

Types of Failure



Do I need a Continuous Footing and Foundation when Converting an Unconditioned Space to a Conditioned Space?



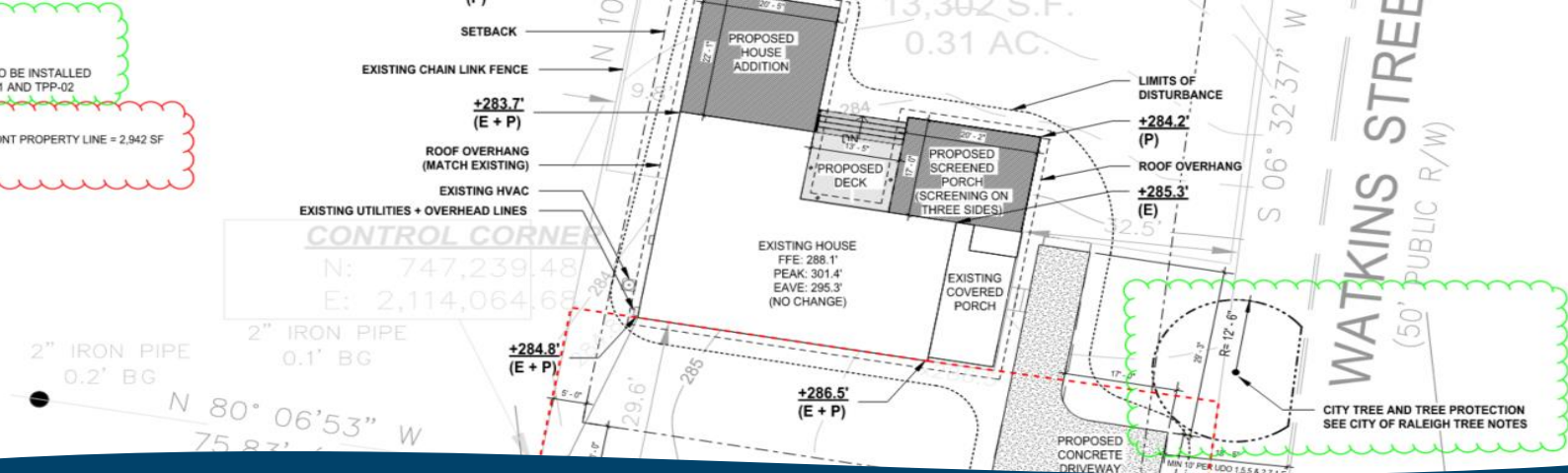
Urban Forestry

CITY OF RALEIGH TREE NOTES

- 1) TREE 1: 10" BEECH
CRZ: 12'-6"
- 2) RIGHT-OF-WAY TREE PROTECTION FENCING TO BE INSTALLED
PER SPECIFICATIONS OF CITY RALEIGH, TPP-01 AND TPP-02

UDO 1.5.5.D. PARKING IN THE FRONT SETBACK

AREA BETWEEN FRONT BUILDING FACADE AND FRONT PROPERTY LINE = 2,942 SF
PROPOSED DRIVEWAY & PARKING = 858 SF
858 SF/2942 SF = .29 = 29% LESS THAN 40% MAX



What are Issues in the Urban Forestry Review?

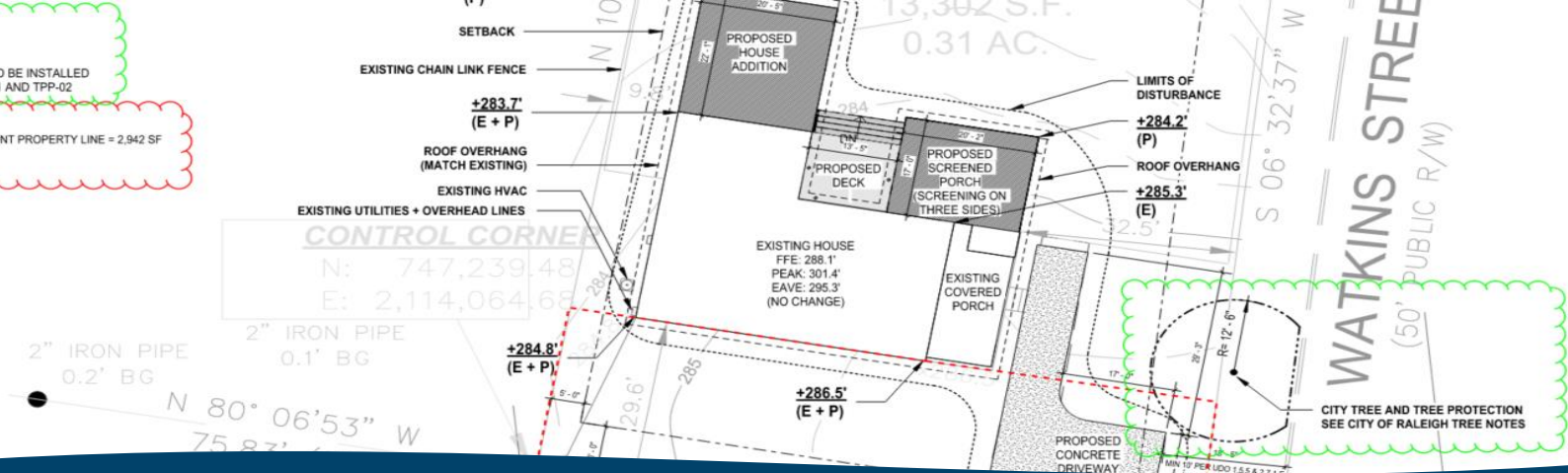
- City trees 3" DBH within 15' of proposed work
 - Trees need to be shown (DBH and species)
 - Critical root zone (CRZ) needs to be shown and % impact to CRZ calculated

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What are Issues in the Urban Forestry Review?

- City trees 3" DBH within 15' of proposed work
 - Show tree protection fence protecting 70+% of CRZ with a note about installation in accordance with TPP-01 and TPP-02 City details OR
 - Show the tree as being removed and replaced with shade trees 3" caliper in size

Raleigh Water

- Residential application filled out incorrectly
 - No water sizes if requested
 - No meter sizes if requested
- Show cleanout location
- Show meter location



Common Issues in the Raleigh Water Review

Issues to look out for:

- Services crossing property lines
- No encroachment in water or sewer easements
- If applicant cannot find meter boxes or cleanouts – make a note on plans
- The City does not install taps for new homes, tear down and rebuild, or sewer services in an easement

Raleigh Water Staffing

Development Review group Raleigh | Water

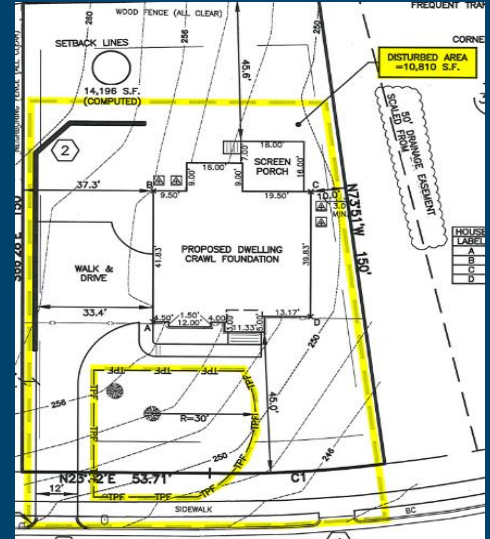
water.review@raleighnc.gov

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Stormwater

Limits of Disturbance

- See definition in SWDM 8.2.1
- Single-family requirements in SWDM 8.3
- Disturbance >12,000 sf require grading permit
- Include work across all permits and in the ROW
- Show proposed contours if grade changes proposed
- Lots in the same subdivision



Lot Grading Plan

- SWDM Section 2.1
- Show compliance at points of discharge
- "Training for Home Builders and Designers" available online
 - Search "Stormwater Design Manual" on City website
- Standard details available online

CORNER OF BUILDING	DRAINAGE DIRECTION	DRAINAGE OPTION SELECTED
A	NORTHWEST	VEGETATED AREA
B	NORTH	EX. DRAINAGE EASEMENT
C	SOUTH	RAIN GARGEN
D	WEST	VEGETATED AREA

Photo Credit

Impervious Surface Limits?

Stormwater.impervious@raleighnc.gov

Photo Credit

Transportation

Applying For a New or Replacement Driveway

- Fill out a residential permit application
- Ensure necessary supplemental documents are provided
- Submit application to intake staff for review
- Permit obtains approval
- Fees are paid, permit is issued, and inspections can be scheduled



Photo Credit

The site plan shows a rectangular lot with a proposed structure labeled "2629 LANDRUM III - E SLAB 2 CAR - LEFT FFE=261.82". The lot is bounded by a 20' rear setback, 5' side setbacks, and a 20' front setback. The lot area is 6,222 SF (0.143 AC). The proposed structure has a footprint of 261.0' x 46.3'. The lot is also labeled with "212" and "213". The lot is bounded by a 20' rear setback, 5' side setbacks, and a 20' front setback. The lot area is 6,222 SF (0.143 AC). The proposed structure has a footprint of 261.0' x 46.3'. The lot is also labeled with "212" and "213".

What Do We Need to See?

- Driveway width and depth (measured from ROW line)
- 3.5' radii or “wings” (valley curb)
- Proposed sidewalk (if applicable)
- Existing sidewalk (if applicable)
- Distance from catch basins
- Location of water meter and SS cleanout
- Curb & gutter
- ROW width
- Easements (if applicable)

Raleigh Street Design Manual sec 4.6.1.

1. Plans shall bear the Note: "ALL DRIVEWAY AND RIGHT-OF-WAY CONSTRUCTION SHALL BE PER CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS."
2. Show the property lines and dimension the subject lot.
3. Show location of residential structure.
4. Show and dimension any existing curb and gutter, and existing sidewalk.
5. Show recorded sight distance triangles or sight easements across the property frontage.
6. Locate and dimension all existing and proposed driveways, and their radii.
7. Residential driveways dimensions are required to be per [Table 7 Driveway Dimensions](#) and perpendicular to the street within the right-of-way.
8. The driveway must be a minimum 18 feet in length as measured from the right-of-way line to the face of the garage or structure.
9. Label street name and dimension street right-of-way(s) width(s).
10. Non-alley loaded driveways may intersect a street no closer than 20 feet from the intersection of two street rights-of-way. The minimum corner clearance from the curb line or edge of pavement of intersecting streets shall be at least twenty (20) feet from the point of tangency of the radius curvature, or twenty (20) feet from the intersection of right-of-way lines, whichever is greater. The radius of the driveway shall not encroach on the minimum corner clearance.
11. Driveways must be located a minimum of 3.5 feet from the side lot line, however, a driveway may be located on the lot line closer than 3.5 feet if it is shared with an adjacent lot.
12. No residential lot may have more than two driveways on the same street.
13. Driveways may be no closer than 40 feet from any other driveway (measured from inside edge to inside edge of proposed driveway).

Questions?



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