

# PEACE STREET WEST STREETSCAPE IMPROVEMENTS



RALEIGH CITY COUNCIL  
MARCH 21, 2017



A project for:



Designed by:



**Cole Jenest  
& Stone**

# PROJECT LIMITS



End Project

Begin Project



ST. MARY'S STREET TO N WEST STREET



# EXISTING CONDITIONS



# EXISTING CONDITIONS





# PROJECT HISTORY



2005	Concepts presented to Appearance Commission and Planning Commission, Peace Streetscape and Parking Plan Update, design agreement approved with CJS
2006	Multiple community meetings/workshops
2007	Project moves from Planning to Engineering (Public Works)
2008	Project placed on hold
2010	Design agreement update and utility coordination meetings
2012	Project on hold (construction funding in economic reserve)

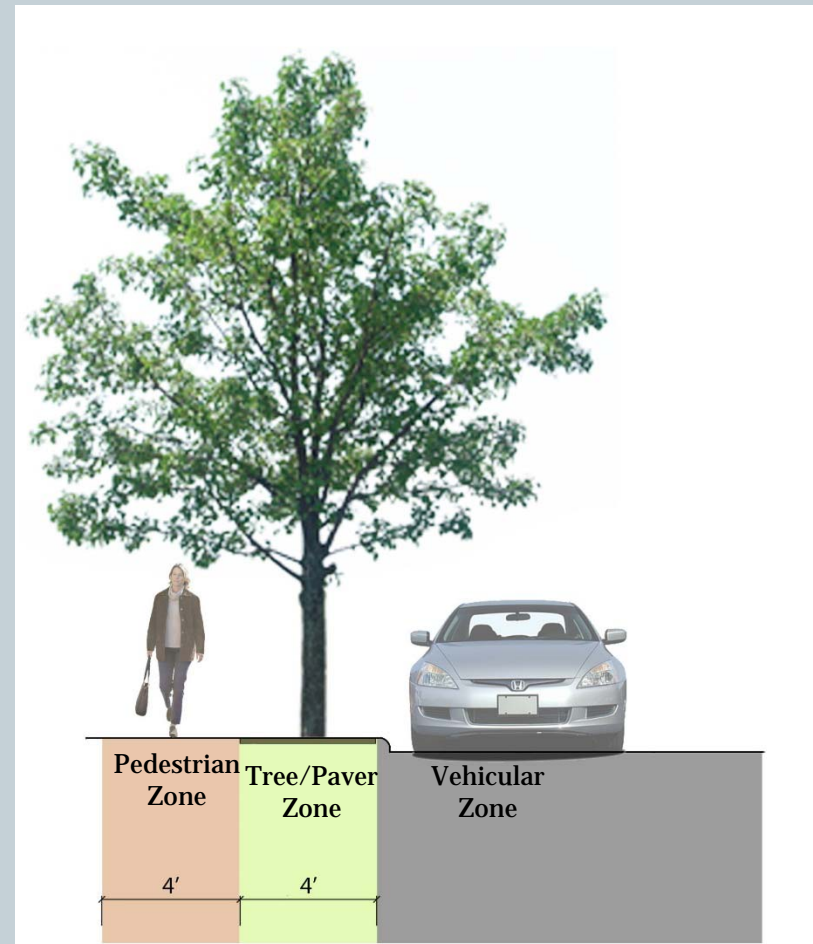
## PROJECT HISTORY (cont'd)



- |            |  |
|------------|--|
| 2014       | Construction funding released from economic reserve  |
| 2015       | Public meeting, BPAC, and Appearance Commission  |
| 2016       | Discussions with Fallon's Flowers and Peace Street Market owners regarding parking lot alternative designs |
| Late 2016  | Public Utilities and Transportation prioritize Peace Street for utility and resurfacing projects           |
| April 2017 | City Council Design Presentation   |

# PROJECT PURPOSE

- Improve pedestrian and vehicular safety.
- Improve appearance.
- Compliance with the Peace Streetscape and Parking plan.



# PROJECT GOALS

- Underground utilities (partial)
- Add street trees
- Reduce excess driveways
- Repave sidewalks
- Upgrade signal poles
- Upgrade pedestrian crossings





# EXISTING STREETScape

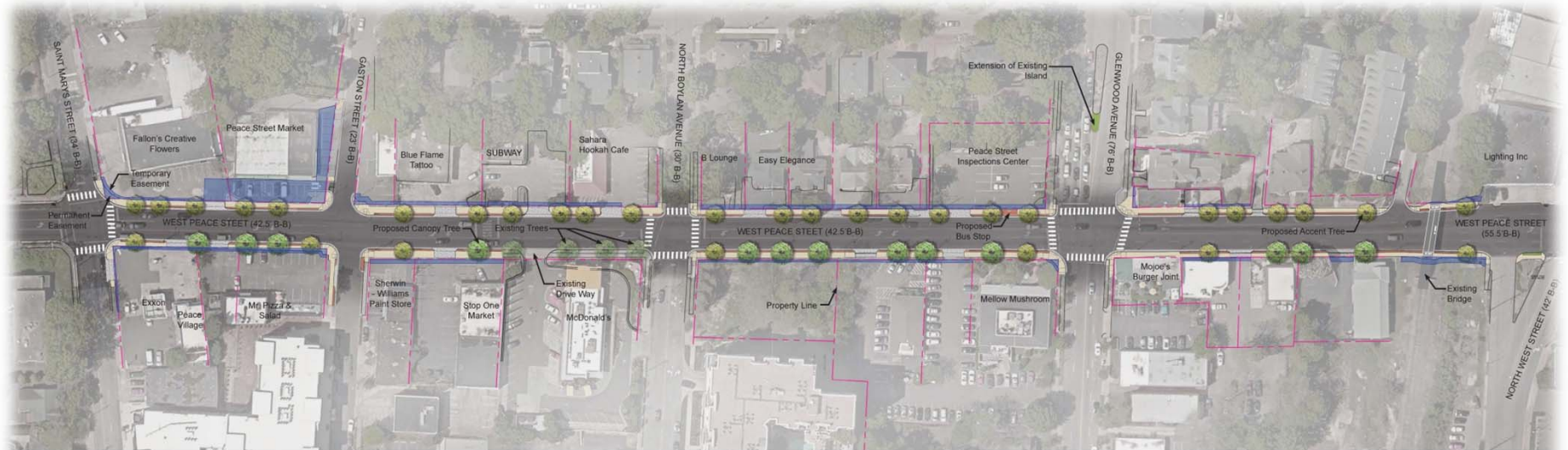


# PROPOSED STREETScape





# PROJECT PLAN

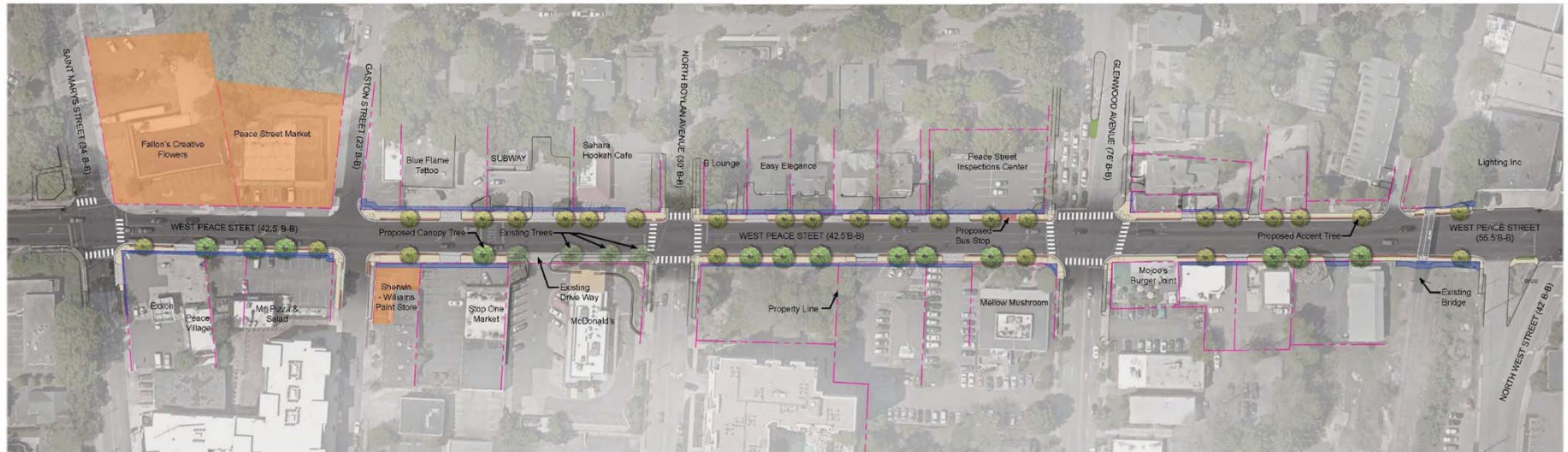


## LEGEND

	PROPOSED ROAD		PROPOSED ACCENT TREES
	PROPOSED LANDSCAPE		PROPOSED CANOPY TREES
	PROPOSED CONCRETE SIDEWALK		EXISTING STREET TREES
	PROPOSED BRICK PAVERS		
	PROPOSED PERMANENT EASEMENT		
	PROPOSED TEMPORARY EASEMENT		
	EXISTING PROPERTY LINES		



# PROJECT CHALLENGES



## LEGEND

- |  |                             |  |                       |
|--|-----------------------------|--|-----------------------|
|  | PROPOSED ROAD               |  | PROPOSED ACCENT TREES |
|  | PROPOSED LANDSCAPE          |  | PROPOSED CANOPY TREES |
|  | PROPOSED CONCRETE SIDEWALK  |  | EXISTING STREET TREES |
|  | PROPOSED BRICK PAVERS       |  |                       |
|  | PROPOSED PERMANENT EASEMENT |  |                       |
|  | PROPOSED TEMPORARY EASEMENT |  |                       |
|  | EXISTING PROPERTY LINES     |  |                       |

# ST. MARY'S STREET TO GASTON STREET

## Challenges

- Peace Street Market parking requires cross access easement to be code compliant.
- Fallons Flowers owner denied cross access easement.



# PEACE STREET MARKET/FALLONS FLOWERS EXISTING CONDITIONS





# PEACE STREET MARKET/FALLONS FLOWERS EXISTING CONDITIONS



# PEACE STREET MARKET/FALLONS FLOWERS ORIGINAL DESIGN (ADD ALTERNATE)



# SIMILAR ONE-WAY PARKING EXAMPLES



Chatham Street, Cary



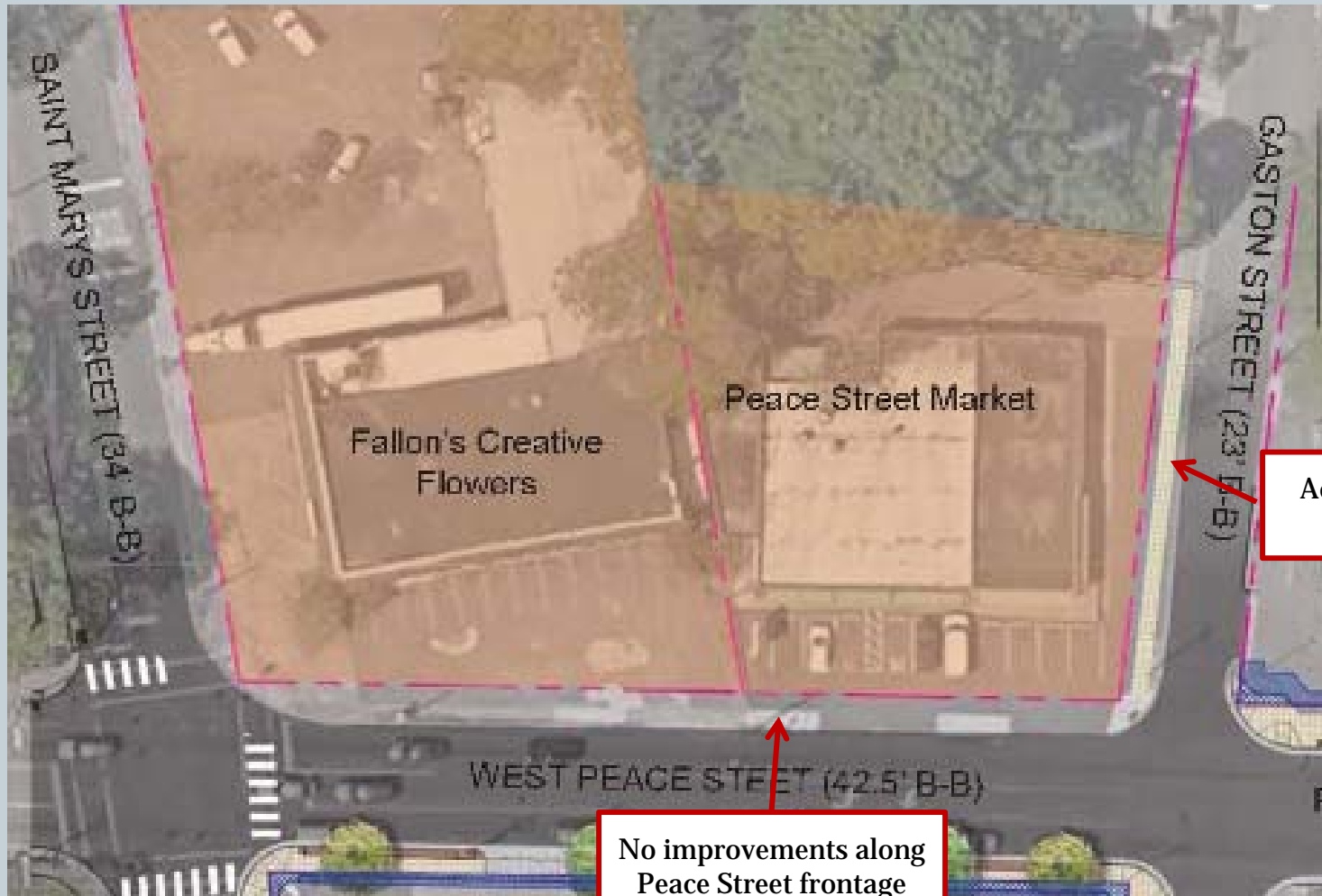
Maiden Lane, Raleigh



Hillsborough Street, Raleigh



# PEACE STREET MARKET/FALLONS FLOWERS SCENARIO #1



Add Gaston Sidewalk  
connection only

No improvements along  
Peace Street frontage

# PEACE STREET MARKET/FALLONS FLOWERS SCENARIO #2



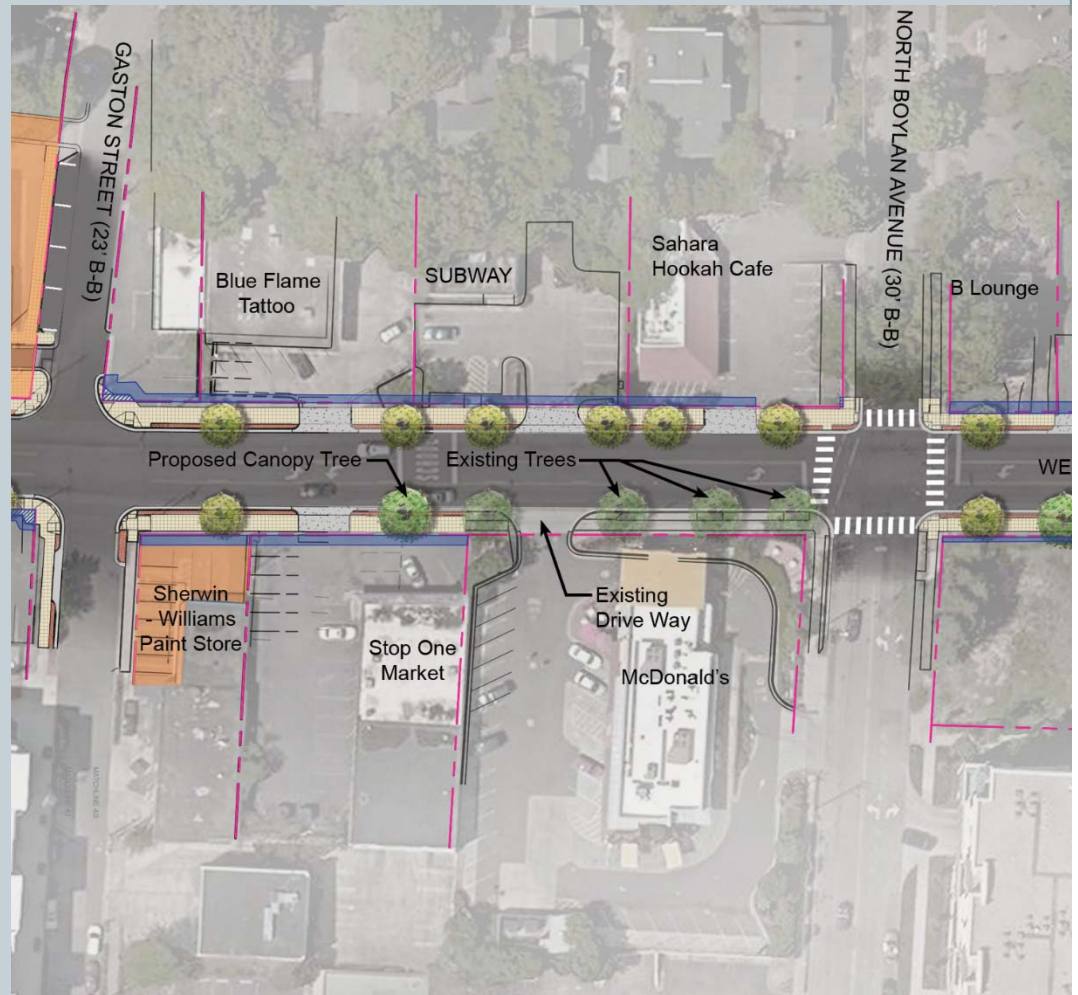
Gaston Street  
Sidewalk connection

Install streetscape along Peace Street  
in existing driveway configuration

# GASTON STREET TO NORTH BOYLAN AVENUE

## Challenges

- Sherwin-Williams property





# SHERWIN-WILLIAMS EXISTING CONDITIONS

## Challenges

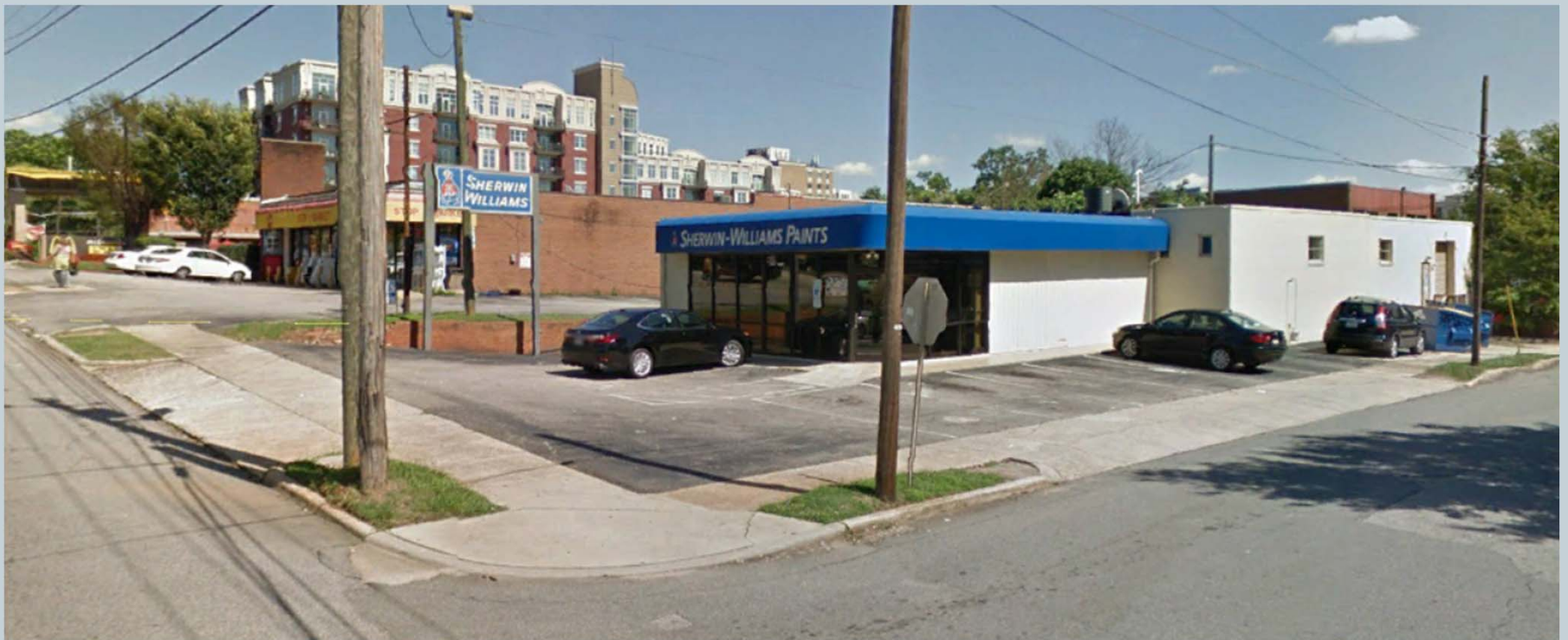
- Sherwin-Williams property - concern about loss of 3 parking spaces.
- Additional room for parking not available on side of building.



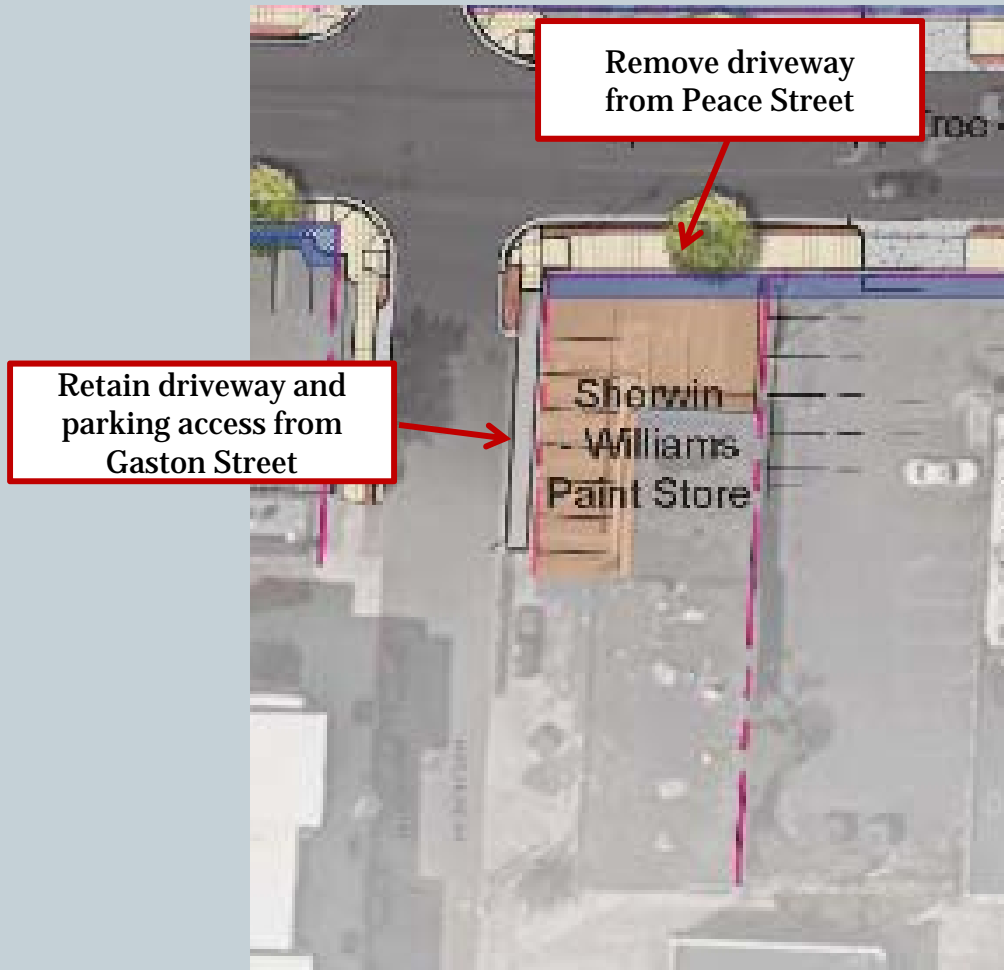
Driveway with 3 spaces  
off Peace Street

Driveway with 5 Spaces  
off Gaston Street

# SHERWIN-WILLIAMS EXISTING CONDITIONS

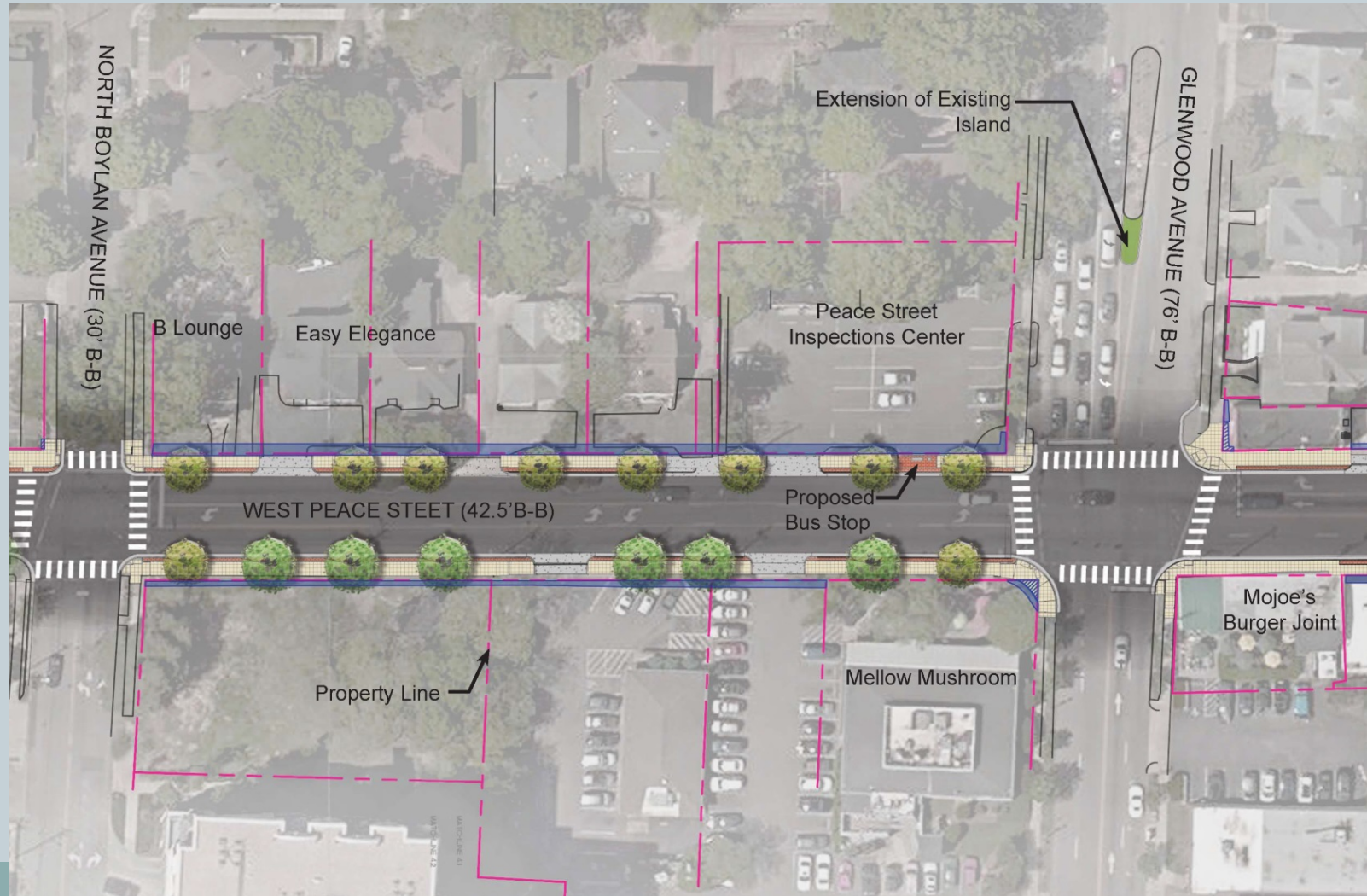


# SHERWIN-WILLIAMS PROPOSED DESIGN

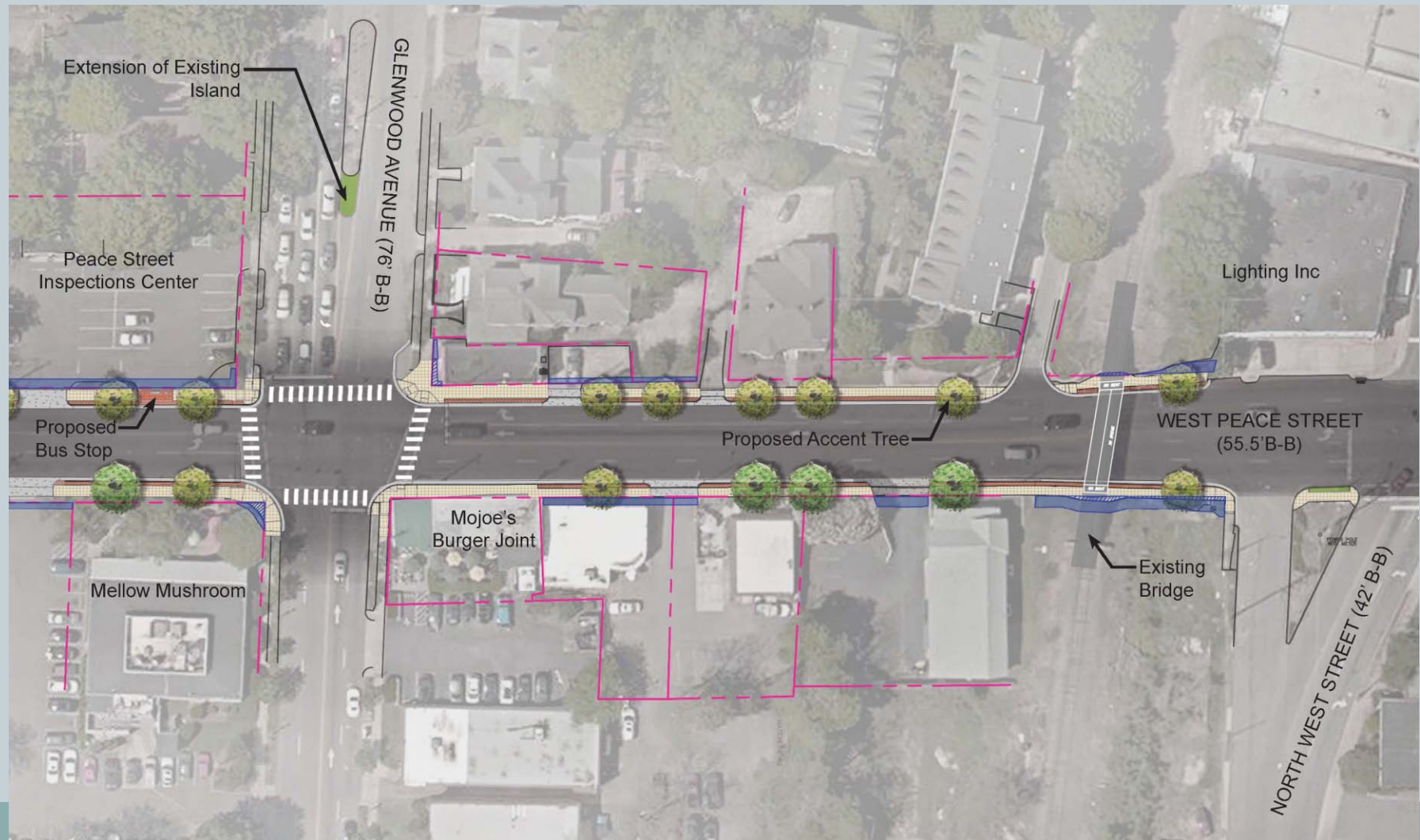




# NORTH BOYLAN AVENUE TO GLENWOOD AVENUE



# GLENWOOD AVENUE TO NORTH WEST STREET





# SITE MATERIALS



## SITE FURNISHING



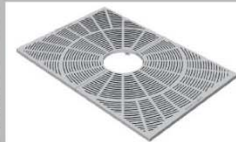
4"x8" HOLLAND STONE  
BY BELGARD/OLDCASTLE/ADAMS  
COLOR: CITY BLEND



SCORED CONCRETE



48"x72" CAST IRON TREE GRATE  
BY NEENAH FOUNDRY,  
BOULEVARD COLLECTION R-8811



STEEL BENCH AT BUS STOP  
BY VICTOR STANLEY, INC.  
VICTOR STANLEY RB-28 (STEEL SITES) /CR-18 (CITY SITES)



TRASH / RECYCLING  
BY BIGBELLY SOLAR, INC.  
BIGBELLY HIGH CAPACITY COMPACTOR



# PLANT MATERIAL



## STREET TREES



CHINESE FRINGE TREE  
CHIONANTHUS RETUSUS  
HEIGHT: 15' - 20' ; SPREAD: 20' - 25'



QUEEN ELIZABETH MAPLE  
ACER CAMPESTRE 'EVELYN'  
HEIGHT: 35' ; SPREAD: 30'

## GRASSES



BURGUNDY SWITCH GRASS  
PANICUM VIRGATUM 'SHENENDOAH'  
HEIGHT: 4' SPREAD: 2' - 3'

## GROUND COVER



MONDO GRASS  
OPHIPOGON JAPONICUS  
HEIGHT: 6" - 3' ; SPREAD: 1'

## BPAC COMMENTS



### **Comment:**

- Provide big belly trash cans in lieu of standard trash cans.

### **Response:**

- Plans revised to Big Belly trash cans.

### **Comment:**

- Provide bike racks for public use.

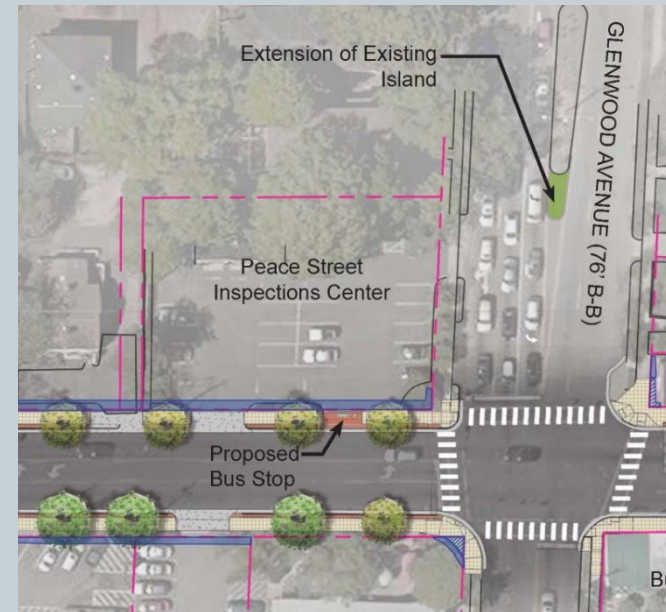
### **Response:**

- Bike racks added at Gaston Street and Glenwood Avenue.

# APPEARANCE COMMISSION COMMENTS



Review need for  
pedestrian actuated signal



Relocate transit stop  
from midblock



# PUBLIC COMMENTS



## **Comment:**

- Parking on Gaston Street for Peace Street Market will negatively impact Gaston Street residences.

## **Response:**

- Staff recommendation (Scenario #2) eliminates parking on Gaston Street.

## **Comment:**

- Add more time for pedestrians crossing Glenwood Avenue.

## **Response:**

- Signal plans revised to provide pedestrian lead time.

## **Comment:**

- Increase accessibility for bicycles along Peace Street.

## **Response:**

- Bike racks added, road widening for bike lanes is major impact to corridor and outside scope of project.

## **Comment:**

- Add sidewalk connection on Gaston Street from Peace Street corner to northern residences.

## **Response:**

- Sidewalk connection added.

# PROJECT SCHEDULE



**Right-of-Way Acquisition      Summer 2017**

**Advertise & Bid                      Fall 2017**

**Begin Construction                  Early 2018**

**Complete Construction          Mid 2019**

# ESTIMATE OF PROBABLE COST



BASE BID	
Construction Subtotal:	\$1,628,000.00
Right-of-Way Acquisition:	\$201,700.00
Utility Relocation:	\$161,000.00
<b>Project Base Bid Total:</b>	<b>\$1,990,700.00</b>

PEACE STREET/FALLON'S FLOWERS ADD ALTERNATE	
Construction Subtotal:	\$71,400.00
Right-of-Way Acquisition:	\$56,000.00
<b>Project Base Bid Total:</b>	<b>\$127,400.00</b>

TOTAL PROJECT COST	
<b>\$2,118,100.00</b>	



# QUESTIONS?

