

STREETSCAPE AND PARKING PLAN GUIDELINES

A Streetscape and Parking Plan
PEDESTRIAN BUSINESS OVERLAY DISTRICT – Section 10-2055 (f)(2) of Raleigh City Code

PURPOSE: This Streetscape and Parking Plan has been prepared to satisfy the requirements as prescribed in Section 10-2055, paragraph (f)(2) for defining the design and policies concerning the character and function of the area adjoining the streets. This Plan will be approved prior to or in conjunction with the proposed rezoning. Modifications to the Streetscape and Parking Plan may be required in the future to further define issues that may arise as adjacent properties are developed, to redefine discontinued materials, or to address future issues. These modifications shall require Staff approval only and will not require rezoning of the property to modify the Streetscape and Parking Plan.

The following is an outline of the Raleigh City Code, Section 10-2055 – PEDESTRIAN BUSINESS OVERLAY DISTRICT. The pages referenced to the right, indicate where specific items requested in paragraph (f)(2) have been addressed and described.

- A. Approval
- B. Permitted Uses
 - 1. Schedule of Permitted Uses in Zoning Districts, Section 10-2071 & conditional use case
- C. Prohibited Uses
 - 1. Schedule of Permitted Uses in Zoning Districts, Section 10-2071
 - 2. Improvements to Sides of Buildings, Section 10-2146.3(a)(8)
 - 3. Improvements to Street Rights-of-Way, Section 10-2146(a)(8)
 - 4. Vehicular Display Areas
- D. Area, Density, Bulk, Yard, and Height Requirements
 - 1. Area, Density, and Bulk
 - a. Site Plan Approval, Section 10-2051(e)(2)
 - b. Minimum Net Lot Area and Residential Densities, Section 10-2073(c)
 - 2. Yards
 - a. Front Yard, Corner Lot Side Yard, and Rear Yard that adjoin a public right of way - min. 0 (10-2055-(d)2)
 - b. All Other Yards, Section 10-2075
 - 3. Height, Max. 90' at property and right of way lines provided that conditions of underlying CUD are met, 25', 60', 90' per zoning conditions
 - 4. Required Open Space - not required.
- E. Supplementary Regulations
 - 1. Off-Street Parking, Schedule for Off-Street Parking Standards, Section 10-2081
 - 2. Vehicular Parking Areas
 - a. New
 - b. Existing, Section 10-2081(b)
 - 3. Landscape, Section 10-2082
 - 4. Signage
 - a. On-Premise Signs, Section 10-2083
 - b. Off-Premise Signs, Section 10-2084
 - 5. Pedestrian Ways
 - 6. Bicycle Parking
 - 7. Exterior Building Walls
 - a. Public Doorway of Transparent Materials
 - b. Doorway of Opaque Materials and Recessed
 - c. Stairway Available at Street Level
 - d. Fenestration
 - 8. Thoroughfare Driveway Widths
 - 9. Streetscape Plan
 - a. Additions, Changes, Expansions, and Alterations, Section 10-2146.3(a)(8)
 - b. Improvements, Section 10-2055(e)(2)
 - 10. Existing Structures and Lots
 - a. Additions, Changes, Expansions or Alterations, Section 10-2146.3(a)(8)

F. Designation of a Pedestrian Business Overlay District and Adoption of a Streetscape Plan		Page
1.	Locational Guidelines:	1
2.	Streetscape Plan	
a.	Sidewalk	2, 6, 9
b.	Street Furniture, Lighting	3, 4, 5, 8, 9
c.	Canopy and Awnings	
d.	Street Tree Species and Planting Detail	7, 12
e.	Pedestrian Crosswalk	6, 9
f.	Utility Locations	
g.	Maintenance Plan	25
h.	Signage	9, 10, 11, 17 - 25
i.	Parking	2, 5
j.	Assessment	
k.	Width of Pedestrian way	15, 16
l.	Maximum height limitations	

STREETSCAPE AND PARKING PLAN NARRATIVE

f(1) **Locational Guidelines:** The general characteristics of this proposed project consists primarily of business office use. Retail uses have been incorporated as a Neighborhood Business District to meet the needs of the office tenancy and draw pedestrian patronage from adjoining residential development. Arcades have been designed at buildings to provide pedestrian access to the retail and office space. Parking structures have been provided at a minimum distance from the office buildings with crosswalks of distinguishing paving. A public "town center open space" will further draw pedestrian patronage. A variety of formal and casual public walkways and paths have been proposed to provide access from neighborhood residential development. The proposed project possesses the unifying distinctive built environmental characteristics that create an identifiable pedestrian setting and character.

f(2)a. **Streetscape Plan:** The following Streetscape and Parking Plan is intended to record items which will contribute to the character and function of the area, and will include the following:

Sidewalk building materials are primarily concrete pavers at the plaza area, in front of parking decks, and between parking decks and buildings; concrete comprises the remaining hardscape areas and is generally laid out per page 2, with materials per page 6, and in paving patterns as indicated on page 9.

Street furniture is shown on pages 4 and 5. The general character of these items are depicted by examples from a representative manufacturer. The furniture is proposed in a high performance, black paint finish. The sidewalk (pedestrian) lighting fixture is indicated on page 3, with the layout on page 9. The street lighting will be provided by CP&L using a Cobra Head fixture, with the light level guidelines as required by the City and generally per the layout on page 8.

Canopies and awnings are not anticipated at this time.

Street trees are described on page 7 with City standard planting details shown on page 12.

Pedestrian crosswalks locations are indicated on page 9 and described on page 6.

Utilities are per City standards. An encroachment agreement with the City of Raleigh is in place to construct a concrete encased ductbank for power, telephone and communications, within the public right of way.

A maintenance plan for care of streetscape improvements has been prepared by the Owner and attached under separate cover. Materials have been specifically selected with durable finishes requiring minimal maintenance.

Signs are generally described on page 12 for street signs and pages 10 and 11 for project identity monuments. Building signage will consist of pylon signage of material matching the building material at sidewalk level and major tenant building wall signage at the top of the building, all adhering to the City Sign Ordinance, page 10 and 11.

Location and arrangement of off-street parking is generally indicated on page 2. The parking count will exceed the City minimum of 1 space per 300 gross square feet of building area. The parking will be provided in a combination of surface and structured open parking facilities, per the conditions of zoning. The parking is predominately in multiple level structures, with approximately 20% of the spaces in parking lots. The square has parallel parking Bicycle parking will be provided at a rate of 1 space per 20 car spaces, primarily in the corners of the parking structures and at the public town square open space.. The bicycle racks are described on page 5.

Assessment for the reduction of off-street parking is not anticipated.







Width of pedestrian ways from the curb to the building lines are shown on pages 15 and 16.

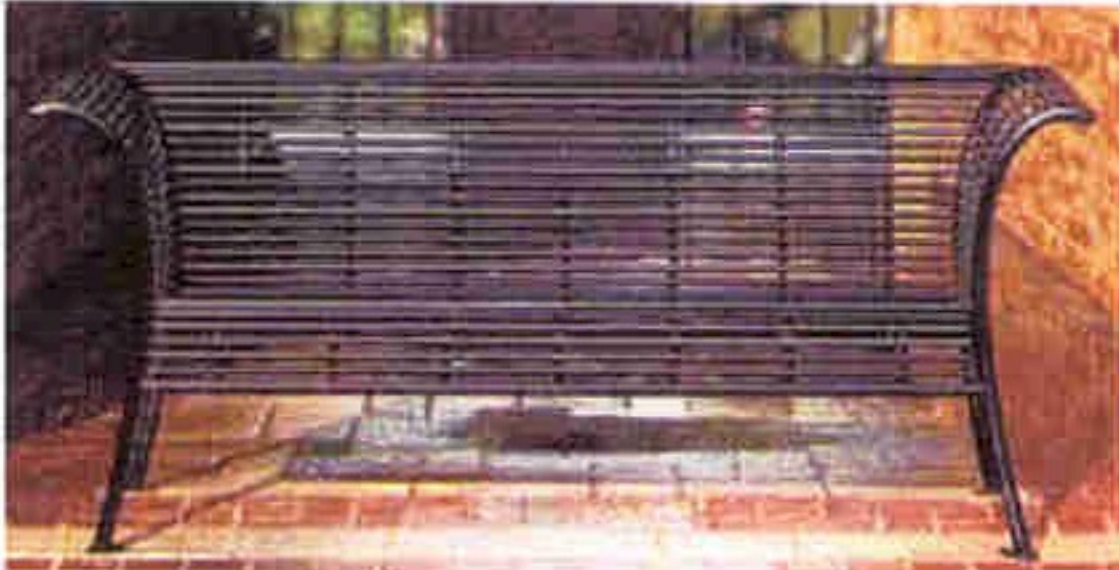

Maximum height limitations are in compliance with approved zoning conditions.

Bus stops: Number and location is to be locally developed in accordance with the transportation department.




Street Markings are to be in accordance with MUTCD standards.







STREET SCAPES & PARKING PLANS DEVELOPMENT STANDARDS	STREET LIGHTS		TREE UP-LIGHTS	SIGN UP-LIGHTS	PEDESTRIAN LIGHTS
	"A" BOULEVARD	CPL TYPE E2A ROADWAY LIGHT FIXTURE = LU-2000 (HP SODIUM), BLACK FINISH POLE = 30' HT. COOPER ENCL22_1/POLE, BLACK FINISH NOTE : STREET LIGHTING IS PER CITY OF RALEIGH LIGHTING STANDARDS AS PROVIDED BY CPL	N/A	FOR 6' HT. SIGNS: 9100 MH100/ 277/ WW/ 34 GROUND-MOUNTED. FOR 2' - 4' HT. SIGNS: 9100MH70/ 277/ WW/ 34, GROUND-MOUNTED BY HYDREL (OR APPROVED EQUAL)	HEIGHT= 16' FIXTURE AND POLE MANUFACTURED BY ARCHITECTURAL AREA LIGHTING OR APPROVED EQUAL FIXTURE= SP1_IND-5 (175 W), METAL HALIDE OR SODIUM FIXTURE FINISH= BLACK POLE=PR4-4R16-125 POLE FINISH= BLACK
	"B" SIDE STREET	CPL TYPE E2A ROADWAY LIGHT FIXTURE = LU-2000 (HP SODIUM), BLACK FINISH POLE = 30' HT. COOPER ENCL22_1/POLE, BLACK FINISH NOTE : STREET LIGHTING IS PER CITY OF RALEIGH LIGHTING STANDARDS AS PROVIDED BY CPL	N/A	N/A	HEIGHT= 16' FIXTURE AND POLE MANUFACTURED BY ARCHITECTURAL AREA LIGHTING OR APPROVED EQUAL FIXTURE= SP1_IND-5 (175 W), METAL HALIDE OR SODIUM FIXTURE FINISH= BLACK POLE=PR4-4R16-125 POLE FINISH= BLACK
	"C" CROSSWALK	N/A (NOT APPLICABLE)	N/A	N/A	N/A
	"D" BUILDING TO PARKING CONNECTION	N/A	M6220D/70MH/277/BL BY KIM OR APPROVED EQUAL	N/A	HEIGHT= 16' FIXTURE AND POLE MANUFACTURED BY ARCHITECTURAL AREA LIGHTING OR APPROVED EQUAL FIXTURE= SP1_IND-5 (175 W), METAL HALIDE OR SODIUM FIXTURE FINISH= BLACK POLE=PR4-4R16-125 POLE FINISH= BLACK
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	"F" BLDG 8 SQUARE	CPL TYPE E2A ROADWAY LIGHT FIXTURE = LU-2000 (HP SODIUM), BLACK FINISH POLE = 30' HT. COOPER ENCL22_1/POLE, BLACK FINISH NOTE : STREET LIGHTING IS PER CITY OF RALEIGH LIGHTING STANDARDS AS PROVIDED BY CPL	M6220D/70MH/277/BL BY KIM OR APPROVED EQUAL	FOR 6' HT. SIGNS: 9100 MH100/ 277/ WW/ 34 GROUND-MOUNTED. FOR 2' - 4' HT. SIGNS: 9100MH70/ 277/ WW/ 34, GROUND-MOUNTED BY HYDREL (OR APPROVED EQUAL)	HEIGHT= 16' FIXTURE AND POLE MANUFACTURED BY ARCHITECTURAL AREA LIGHTING OR APPROVED EQUAL FIXTURE= SP1_IND-5 (175 W), METAL HALIDE OR SODIUM FIXTURE FINISH= BLACK POLE=PR4-4R16-125 POLE FINISH= BLACK
		 CPL SINGLE COBRA HEAD FIXTURE	 METAL HALIDE UP-LIGHT	 IN-GROUND METAL HALIDE UP-LIGHT	LENS = SP1- CONCEALED LIGHT SOURCE  SP1_IND-5 FIXTURE  PR3-3R10 

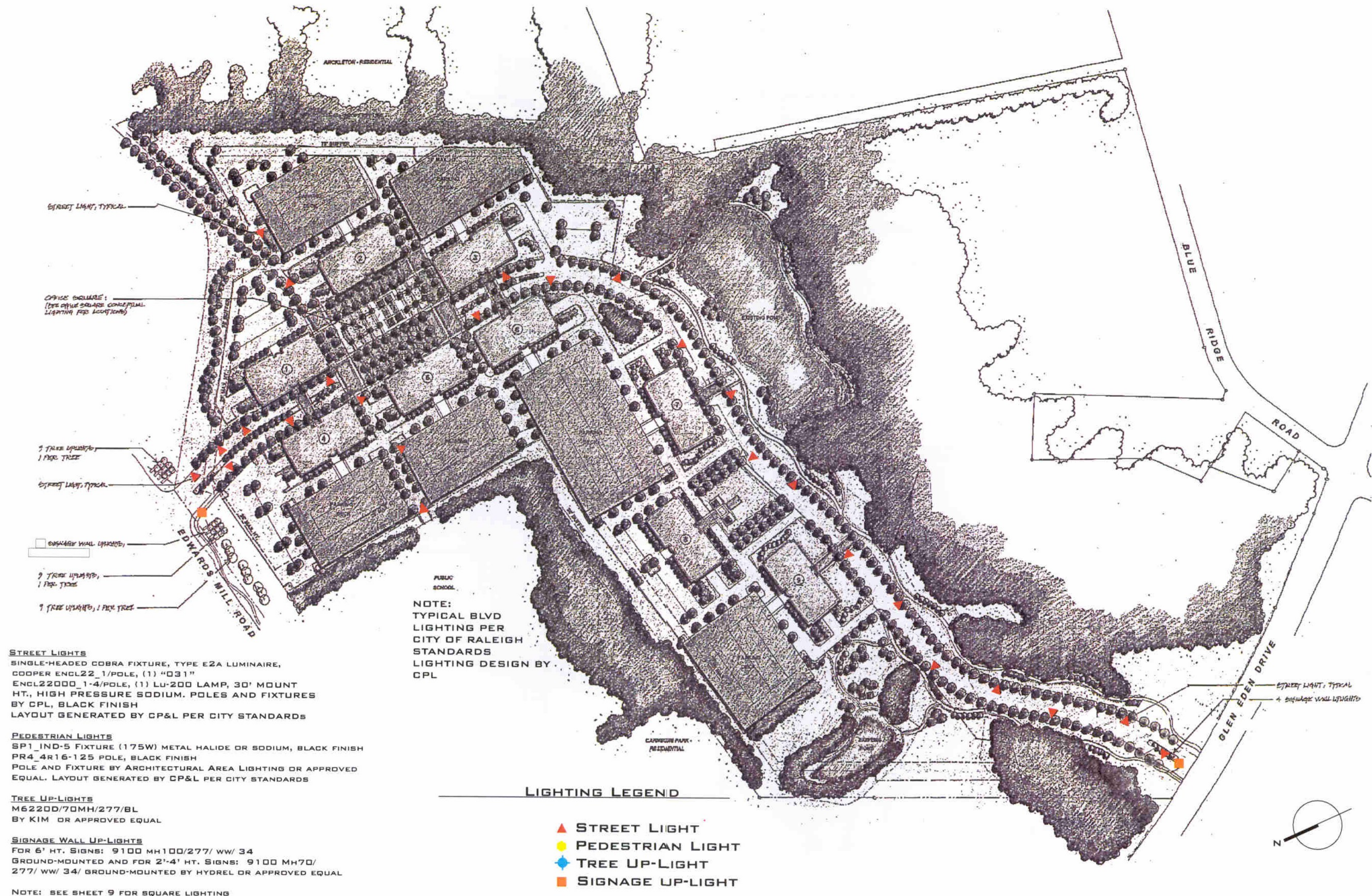
STREETSCAPE & PARKING PLAN DEVELOPMENT STANDARDS	BENCH		BUS STOP SHELTER	
	“A” BOULEVARD	N/A (NOT APPLICABLE)	KALEIDOSCOPE SHELTER CENTERED CANOPY WITH SOLID PANEL PRESIDIO BACKED 3-SEAT UNIT, NO ARMS 3 PANEL HEIGHT, SOLID WALL FINISH: PANGARD II POWDERCOAT, GROTTTO COLOR MANUFACTURED BY LANDSCAPE FORMS, OR ACCEPTABLE ALTERNATE WITH SIMILAR DESIGN AND CONSTRUCTION FINAL NUMBER AND LOCATION OF BUS STOP SHELTERS TO BE LOCALLY DEVELOPED IN ACCORDANCE WITH THE TRANSPORTATION DEPARTMENT ONCE CITY BUS SERVICE IS PROVIDED TO AREA	
	“B” SIDE STREET	N/A	N/A	
	“C” CROSSWALK	N/A	N/A	
	“D” BUILDING TO PARKING CONNECTION	N/A	N/A	
	“E” OFFICE SQUARE	HYDE PARK-75” LENGTH GROTTO POWDER COAT FINISH MANUFACTURED BY LANDSCAPE FORMS OR ACCEPTABLE ALTERNATE WITH SIMILAR DESIGN AND CONSTRUCTION.	KALEIDOSCOPE SHELTER CENTERED CANOPY WITH SOLID PANEL PRESIDIO BACKED 3-SEAT UNIT, NO ARMS 3 PANEL HEIGHT, SOLID WALL FINISH: PANGARD II POWDERCOAT, GROTTTO COLOR MANUFACTURED BY LANDSCAPE FORMS OR ACCEPTABLE ALTERNATE WITH SIMILAR DESIGN AND CONSTRUCTION. PAGE 9 SHOWS PROPOSED LOCATION AT SQUARE LOCATIONS PENDING TRAFFIC STUDY FINAL NUMBER AND LOCATION OF BUS STOP SHELTERS TO BE LOCALLY DEVELOPED IN ACCORDANCE WITH THE TRANSPORTATION DEPARTMENT ONCE CITY BUS SERVICE IS PROVIDED TO AREA	
	“F” BLDG B SQUARE	HYDE PARK-75” LENGTH GROTTO POWDER COAT FINISH MANUFACTURED BY LANDSCAPE FORMS OR ACCEPTABLE ALTERNATE WITH SIMILAR DESIGN AND CONSTRUCTION.	KALEIDOSCOPE SHELTER CENTERED CANOPY WITH SOLID PANEL PRESIDIO BACKED 3-SEAT UNIT, NO ARMS 3 PANEL HEIGHT, SOLID WALL FINISH: PANGARD II POWDERCOAT, GROTTTO COLOR MANUFACTURED BY LANDSCAPE FORMS OR ACCEPTABLE ALTERNATE WITH SIMILAR DESIGN AND CONSTRUCTION. FINAL NUMBER AND LOCATION OF BUS STOP SHELTERS TO BE LOCALLY DEVELOPED IN ACCORDANCE WITH THE TRANSPORTATION DEPARTMENT ONCE CITY BUS SERVICE IS PROVIDED TO AREA	
	“G” PARK/ BUFFER ZONE	HYDE PARK-75” LENGTH GROTTO POWDER COAT FINISH MANUFACTURED BY LANDSCAPE FORMS OR ACCEPTABLE ALTERNATE WITH SIMILAR DESIGN AND CONSTRUCTION.	N/A	
		 OR EQUAL	 OR EQUAL	

STREETSCAPE & PARKING PLAN DEVELOPMENT STANDARDS	ASH/TRASH		BICYCLE RACKS	
	"A" BOULEVARD	PRESIDIO: MODEL NUMBER PD6005-4-6 GROTTO POWDER FINISH	N/A	
	"B" SIDE STREET	N/A	N/A	
	"C" CROSSWALK	PRESIDIO: MODEL NUMBER PD6005-4-6 GROTTO POWDER FINISH MANUFACTURED BY LANDSCAPE FORMS OR ACCEPTABLE	N/A	
	"D" BUILDING TO PARKING CONNECTION	PRESIDIO: MODEL NUMBER PD6005-4-6 GROTTO POWDER FINISH MANUFACTURED BY LANDSCAPE FORMS OR ACCEPTABLE ALTERNATE WITH SIMILAR DESIGN AND CONSTRUCTION.	bike racks: 25% plaza 25% buildings	PI RACK: MODEL # PI9005-EM55 GROTTO POWDER FINISH MANUFACTURED BY LANDSCAPE FORMS OR ACCEPTABLE ALTERNATE WITH SIMILAR DESIGN AND CONSTRUCTION.
	"E" OFFICE SQUARE	PRESIDIO: MODEL NUMBER PD6005-4-6 GROTTO POWDER FINISH MANUFACTURED BY LANDSCAPE FORMS OR ACCEPTABLE ALTERNATE WITH SIMILAR DESIGN AND CONSTRUCTION.	bike racks: 25% plaza 25% buildings	PI RACK: MODEL # PI9005-EM55 GROTTO POWDER FINISH MANUFACTURED BY LANDSCAPE FORMS OR ACCEPTABLE ALTERNATE WITH SIMILAR DESIGN AND CONSTRUCTION. PROVIDE 1:20 BIKE RACK TO PARKING SPACE RATIO
	"F" BLDG 8 SQUARE	PRESIDIO: MODEL NUMBER PD6005-4-6 GROTTO POWDER FINISH MANUFACTURED BY LANDSCAPE FORMS OR ACCEPTABLE ALTERNATE WITH SIMILAR DESIGN AND CONSTRUCTION.	N/A	
	"G" PARK/ BUFFER ZONE	PRESIDIO: MODEL NUMBER PD6005-4-6 GROTTO POWDER FINISH N/A MANUFACTURED BY LANDSCAPE FORMS OR ACCEPTABLE ALTERNATE WITH SIMILAR DESIGN AND CONSTRUCTION.	N/A	
				

STREET SCAPES & PARKING PLAN DEVELOPMENT STANDARDS		PAVING @ CROSSWALKS	
	"A" BOULEVARD	N/A	
	"B" SIDE STREET	N/A	
	"C" CROSSWALK	BANDS- adobe' tan color concrete, light sandblast, quarry red (or similar color) concrete pavers, tan (or similar color) concrete pavers - by hanover (or acceptable substitute) Fields- charcoal pavers, tudor finish, by hanover (or acceptable substitute)	
	"D" BUILDING TO PARKING CONNECTION	BANDS- adobe' tan color concrete, light sandblast, quarry red (or similar color) concrete pavers, tan (or similar color) concrete pavers - by hanover (or acceptable substitute) Fields- charcoal pavers, tudor finish, by hanover (or acceptable substitute)	
	"E" OFFICE SQUARE	BANDS- adobe' tan color concrete, light sandblast, quarry red (or similar color) concrete pavers, tan (or similar color) concrete pavers - by hanover (or acceptable substitute) Fields- charcoal pavers, tudor finish, by hanover (or acceptable substitute)	
	"F" BLDG B SQUARE	BANDS- adobe' tan color concrete, light sandblast, quarry red (or similar color) concrete pavers, tan (or similar color) concrete pavers - by hanover (or acceptable substitute) Fields- charcoal pavers, tudor finish, by hanover (or acceptable substitute)	
	"G" PARK/ BUFFER ZONE	N/A	
		<div> <div>A)  Adobe' tan</div> <div>B)  coral RED</div> <div>C)  Charcoal concrete</div> </div> <div>SEE PAGE 25 - MAINTENANCE</div>	

STREET SCAPE & PARKING PLAN DEVELOPMENT STANDARDS	STREET TREES		MEDIAN TREES
	<p>“A”</p> <p>BOULEVARD</p>	<p>4.0” MINIMUM CALIPER</p> <p>DECIDUOUS SHADE TREE (ALL BOULEVARD STREET TREES TO BE MATCHING SPECIMENS))</p> <p>I.E. HORNBEAM, ZELKOVA, ALLEE’ ELM, CHINESE PISTACHE, ARMSTRONG MAPLE, SCARLET SENTINEL MAPLE, BOWHALL MAPLE, LEGACY SUGAR MAPLE, RIVER BIRCH (BUFFER AS REQUIRED)</p>	<p><u>OPTIONS:</u></p> <p>TREE 1-MEDIUM SHADE TREE: HORNBEAM, ZELKOVA, TRIDENT MAPLE, YOSHINO CHERRY, RIVER BIRCH, 3” MINIMUM CALIPER</p> <p>TREE 2-SMALL FLOWERING TREE: OKAME CHERRY, GRAPE MYRTLE, REDBUD, 8’ HT. MIN.</p> <p>TREE 3-SMALL EVERGREEN TREE: TREEFORM BUFORD HOLLY, TREEFORM YAUPON HOLLY, TREEFORM SAVANNAH HOLLY, 8’ HT. MIN.</p> <p>TREE 4 - MEDIUM EVERGREEN TREE : CLAUDIA WANNAMAKER MAGNOLIA, BRACKEN BROWN BEAUTY MAGNOLIA, MINIMUM 8’-10’ HT</p>
	<p>“B”</p> <p>SIDE STREET</p>	<p>4.0” MINIMUM CALIPER</p> <p>DECIDUOUS SHADE TREE (ALL BOULEVARD STREET TREES TO BE MATCHING SPECIMENS))</p> <p>I.E. HORNBEAM, ZELKOVA, ALLEE’ ELM, CHINESE PISTACHE, ARMSTRONG MAPLE, SCARLET SENTINEL MAPLE, BOWHALL MAPLE, LEGACY SUGAR MAPLE, RIVER BIRCH (BUFFER AS REQUIRED)</p>	N/A
	<p>“C”</p> <p>CROSSWALK</p>	N/A	N/A
	<p>“D”</p> <p>BUILDING TO PARKING CONNECTION</p>	N/A	N/A
	<p>“E”</p> <p>OFFICE SQUARE</p>	<p>4.0” MINIMUM CALIPER</p> <p>DECIDUOUS SHADE TREE (ALL BOULEVARD STREET TREES TO BE MATCHING SPECIMENS))</p> <p>I.E. HORNBEAM, ZELKOVA, ALLEE’ ELM, CHINESE PISTACHE, ARMSTRONG MAPLE, SCARLET SENTINEL MAPLE, BOWHALL MAPLE, LEGACY SUGAR MAPLE, RIVER BIRCH (BUFFER AS REQUIRED)</p>	<p><u>OPTIONS:</u></p> <p>TREE 1- MEDIUM SHADE TREE: HORNBEAM, ZELKOVA, TRIDENT MAPLE, YOSHINO CHERRY, RIVER BIRCH, 3” MINIMUM CALIPER</p>
	<p>“F”</p> <p>BLDG 8 SQUARE</p>	<p>4.0” MINIMUM CALIPER</p> <p>DECIDUOUS SHADE TREE (ALL BOULEVARD STREET TREES TO BE MATCHING SPECIMENS))</p> <p>I.E. HORNBEAM, ZELKOVA, ALLEE’ ELM, CHINESE PISTACHE, ARMSTRONG MAPLE, SCARLET SENTINEL MAPLE, BOWHALL MAPLE, LEGACY SUGAR MAPLE, RIVER BIRCH (BUFFER AS REQUIRED)</p>	N/A
	<p>“G”</p> <p>PARK/ BUFFER ZONES</p>	N/A	N/A
	<div>  <div> <p>NOTE:</p> <p>ALL TREE SPACING SHALL MEET THE MINIMUM STANDARDS AS SET FORTH BY THE CITY CODE</p> </div> </div>		<div>    </div>

LIGHTING -- SITE



LIGHTING & PAVING -- GLENLAKE SQUARE

PAVING LEGEND

- (A) VEHICULAR/PEDESTRIAN - ADOBE TAN COLOR CONCRETE BANDS/ CROSSWALKS
- (B) VEHICULAR - CORAL RED CONCRETE BANDS
- (C) VEHICULAR/PEDESTRIAN - CHARCOAL COLOR SCORED CONCRETE FIELDS
- (D) VEHICULAR/PEDESTRIAN - TAN CONCRETE PAVERS
- (E) VEHICULAR/PEDESTRIAN - CHARCOAL COLOR CONCRETE PAVERS
- (F) PEDESTRIAN - QUARRY RED CONCRETE PAVERS
- (G) GRANITE OR PRECAST CONCRETE CURB

LIGHTING LEGEND

- ▲ STREET LIGHT
- PEDESTRIAN LIGHT
- ◆ TREE UP-LIGHT
- SIGNAGE UP-LIGHT

STREET LIGHTS

SINGLE HEADED COBRA
FIXTURE, TYPE E2A
LUMINAIRE, COOPER
ENCL22_1/POLE, (1) "031"
ENCL22000_1-4/POLE, (1)
LU-200 LAMP, 30' MOUNT
HT., HIGH PRESSURE SODIUM.
POLE & FIXTURE BY CPL,
BLACK FINISH

PEDESTRIAN LIGHTS

SP1_IND-5, 175 W METAL HALIDE OR H.P.
SODIUM, BLACK FINISH
PR4-4R16-125 POLE, BLACK FINISH
POLE AND FIXTURE BY ARCHITECTURAL AREA
LIGHTING (OR APPROVED EQUAL)

TREE UP-LIGHTS

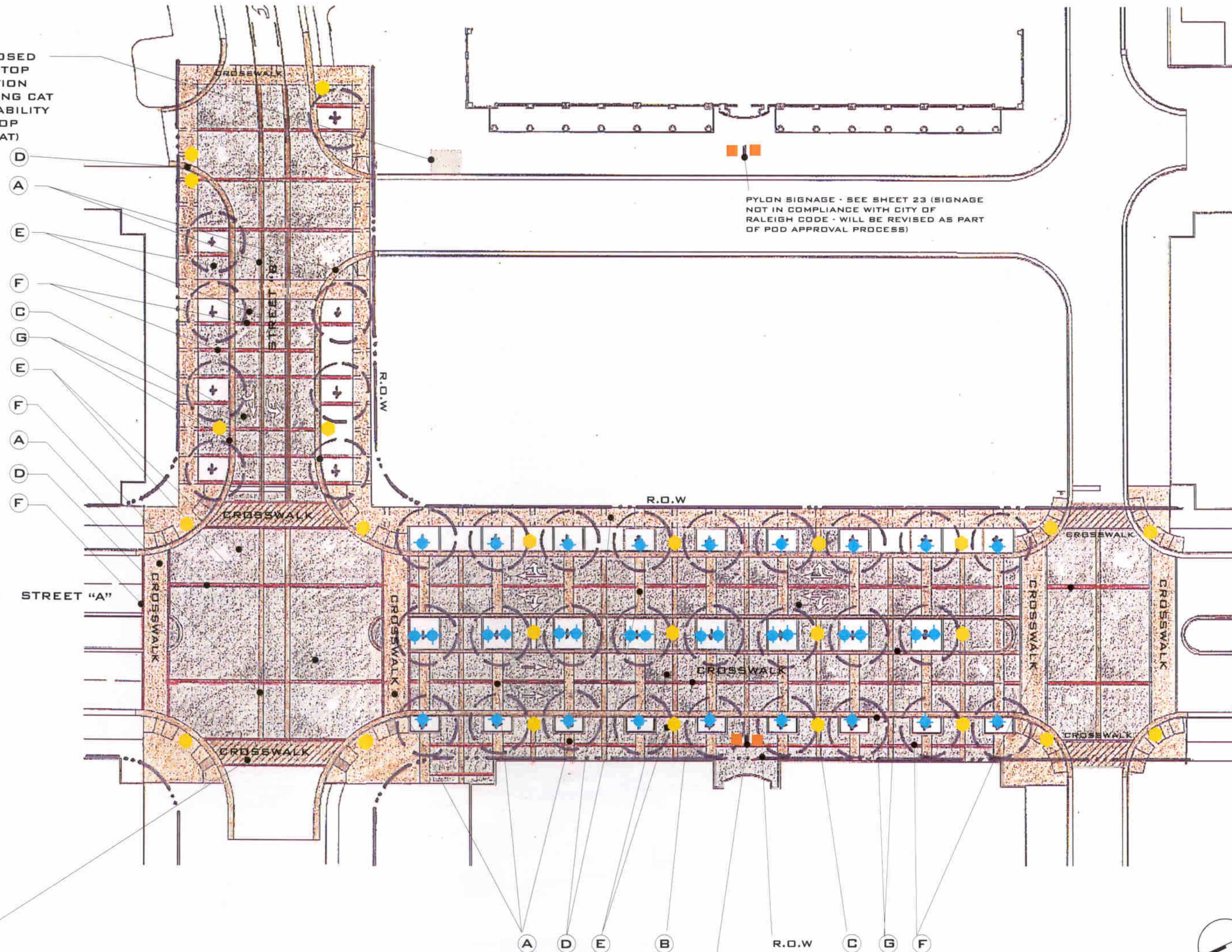
M6220D/70MH277/BL
BY KIM (OR APPROVED EQUAL)

SIGNAGE WALL UP-LIGHTS

FOR 6' HT. SIGNS: 9100 MH100/ 277/ WW/ 34
GROUND-MOUNTED. FOR 2' - 4' HT. SIGNS:
9100 MH70/ 277/ WW/ 34, GROUND-MOUNTED
BY HYDREL (OR APPROVED EQUAL)

NOTE: STREET MARKINGS AT INTERSECTIONS
PER MUTCD STANDARDS

PROPOSED
BUS STOP
LOCATION
PENDING CAT
AVAILABILITY
(BUSTOP
PER CAT)



NOTE: SEE SHEET 18 FOR
UNIVERSAL SIGN CRITERIA
DESIGN STANDARDS

PIN-MOUNTED METAL LETTERS

SIGN WALL

REVEALS

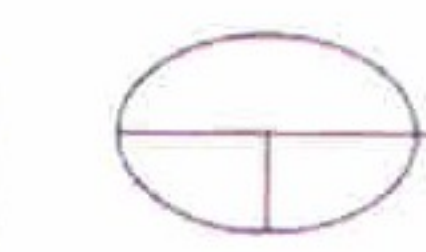
METAL LETTER TEMPLATES
SEE PG. 18

PRECAST CONCRETE TO MATCH PHASE I BUILDING
COLOR. SMOOTH TROWELED FINISH, TYPICAL

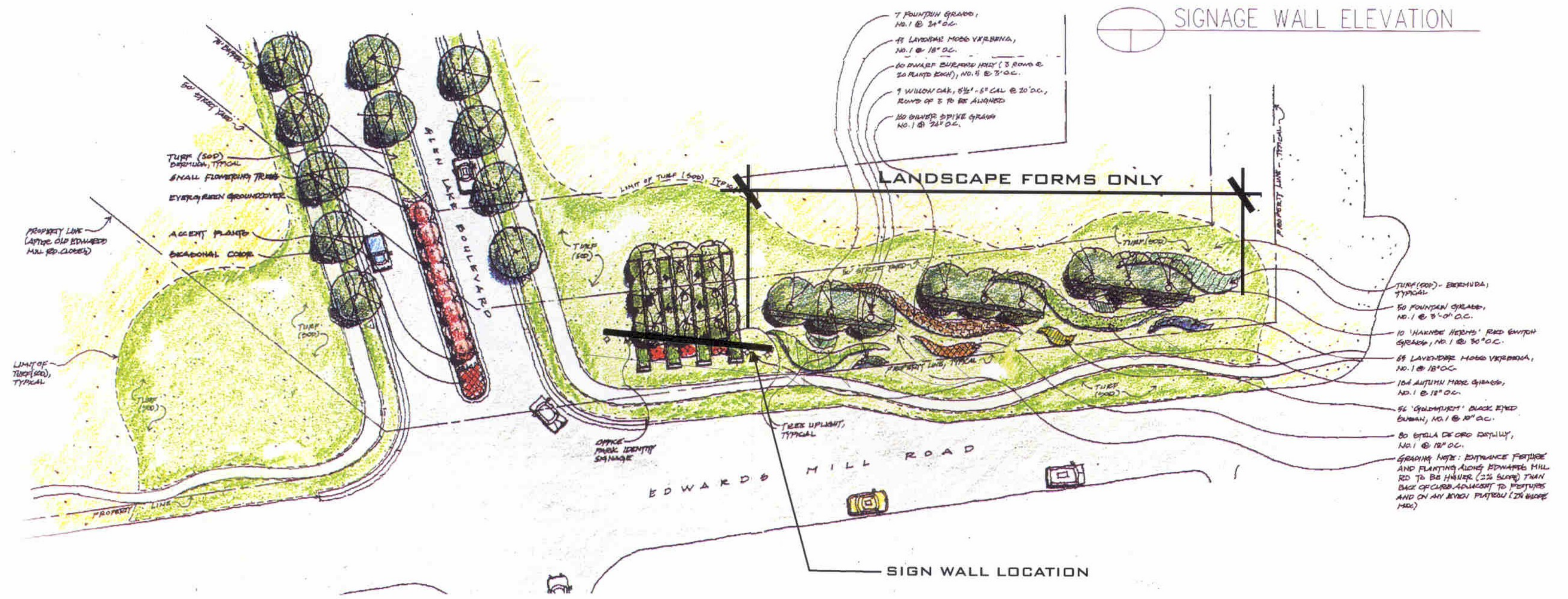
PRECAST CONCRETE TO MATCH PHASE I BUILDING
COLOR. EXPOSED AGGREGATE, TYPICAL

15' - 4"

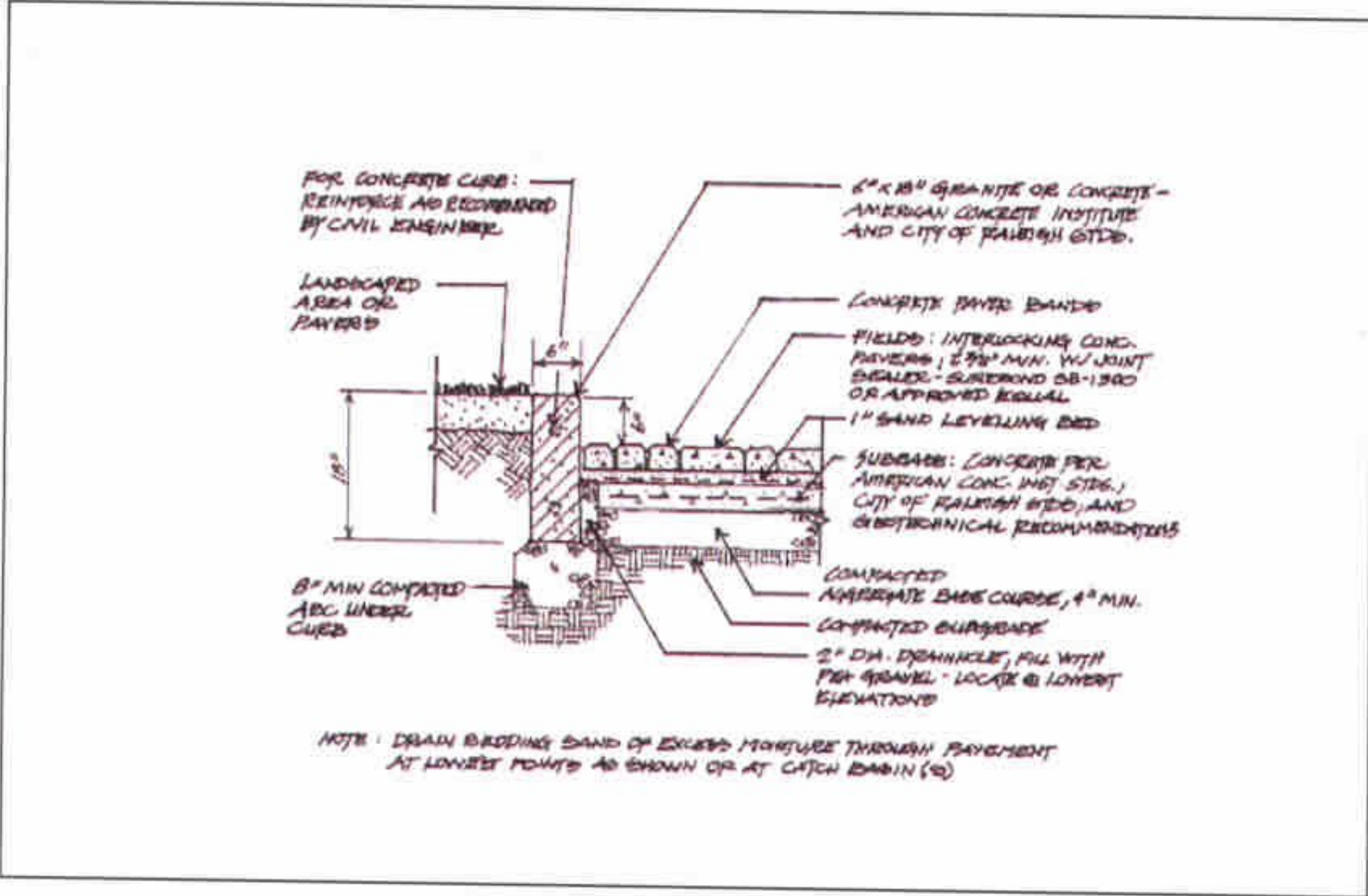
GLEN LAKE



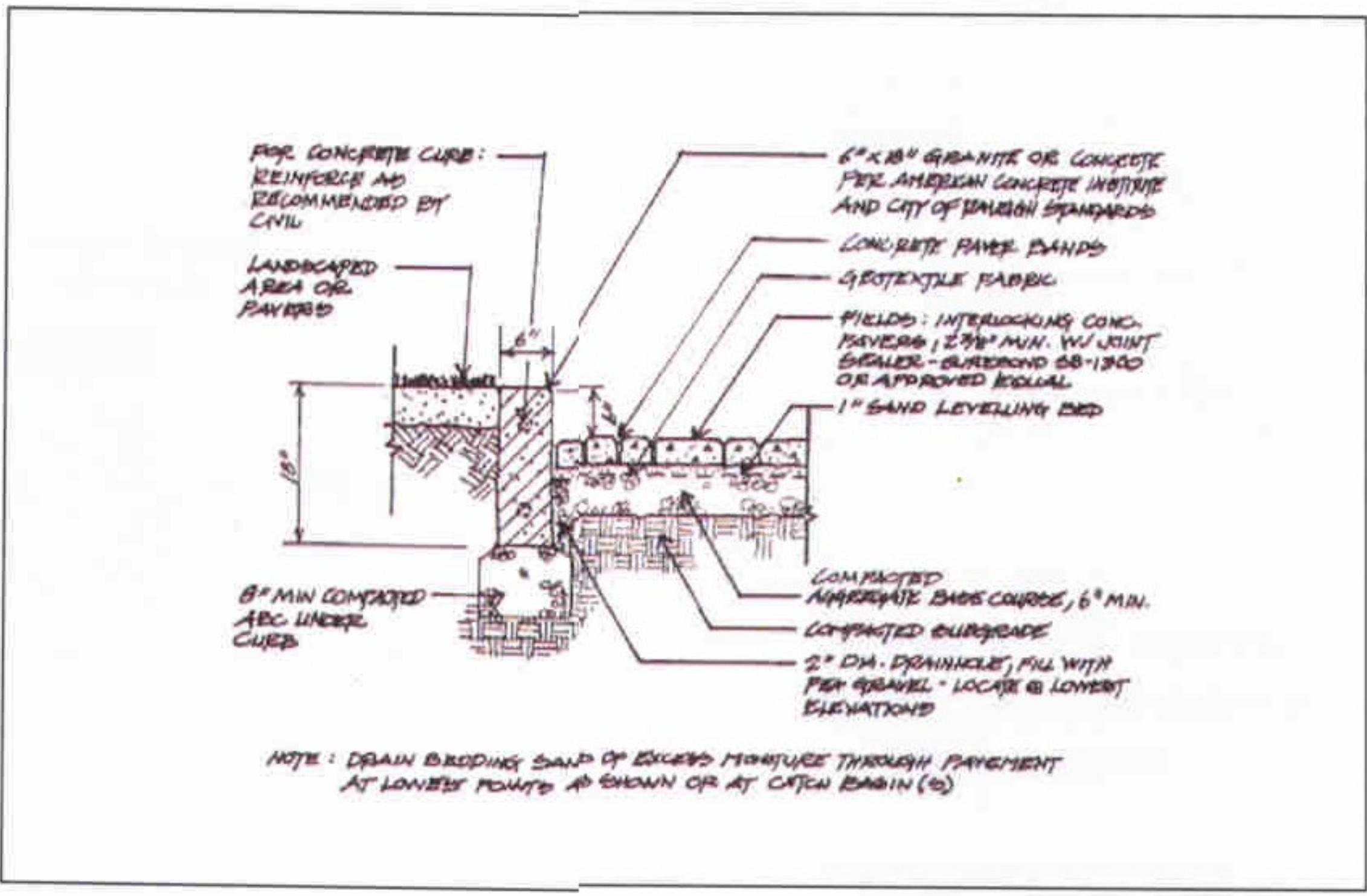
SIGNAGE WALL ELEVATION



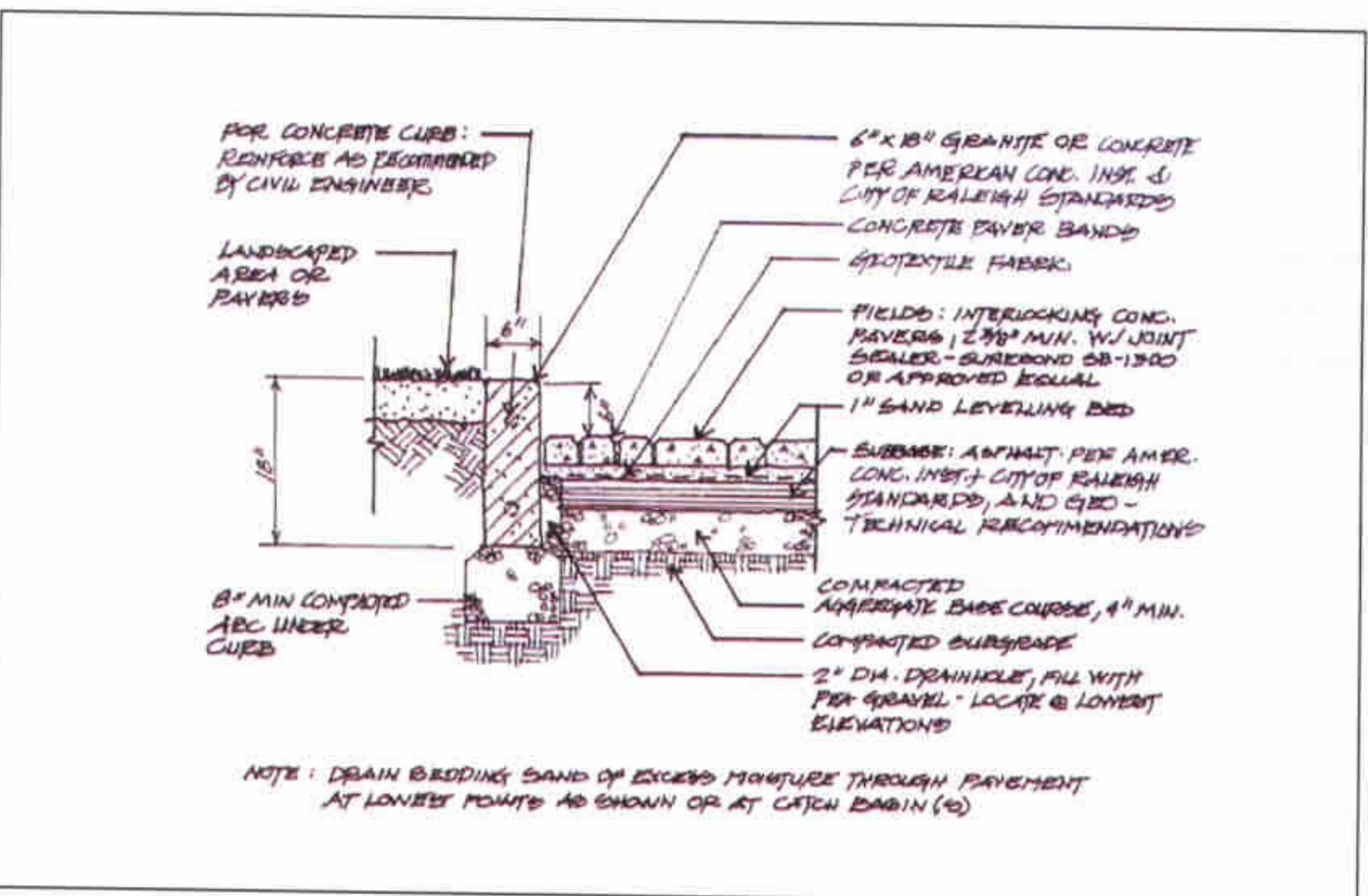
ROAD AND SIDEWALK DETAILS IN SQUARE



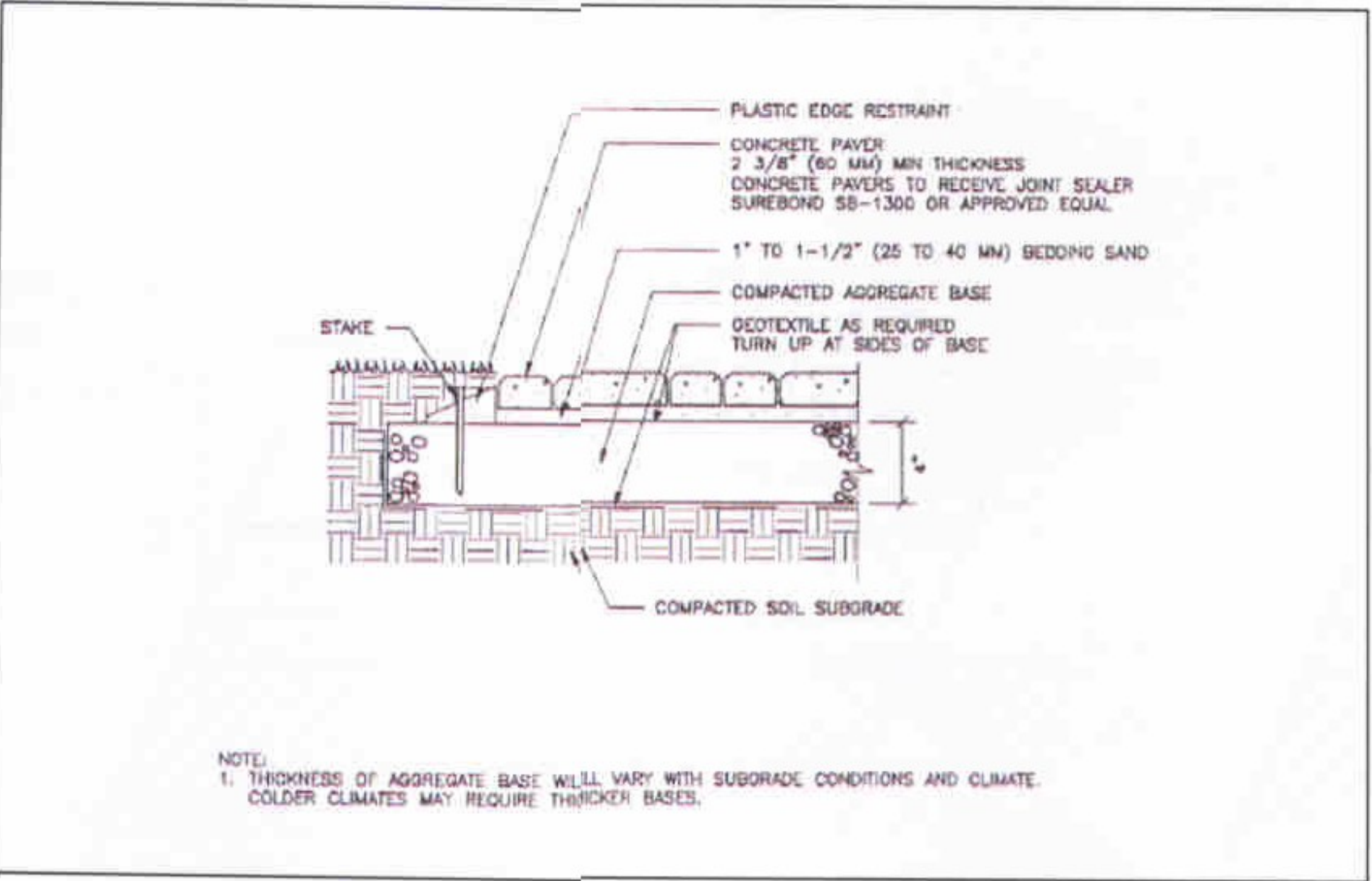
CURB AND PAVER DRIVE WITH CONCRETE SUBBASE



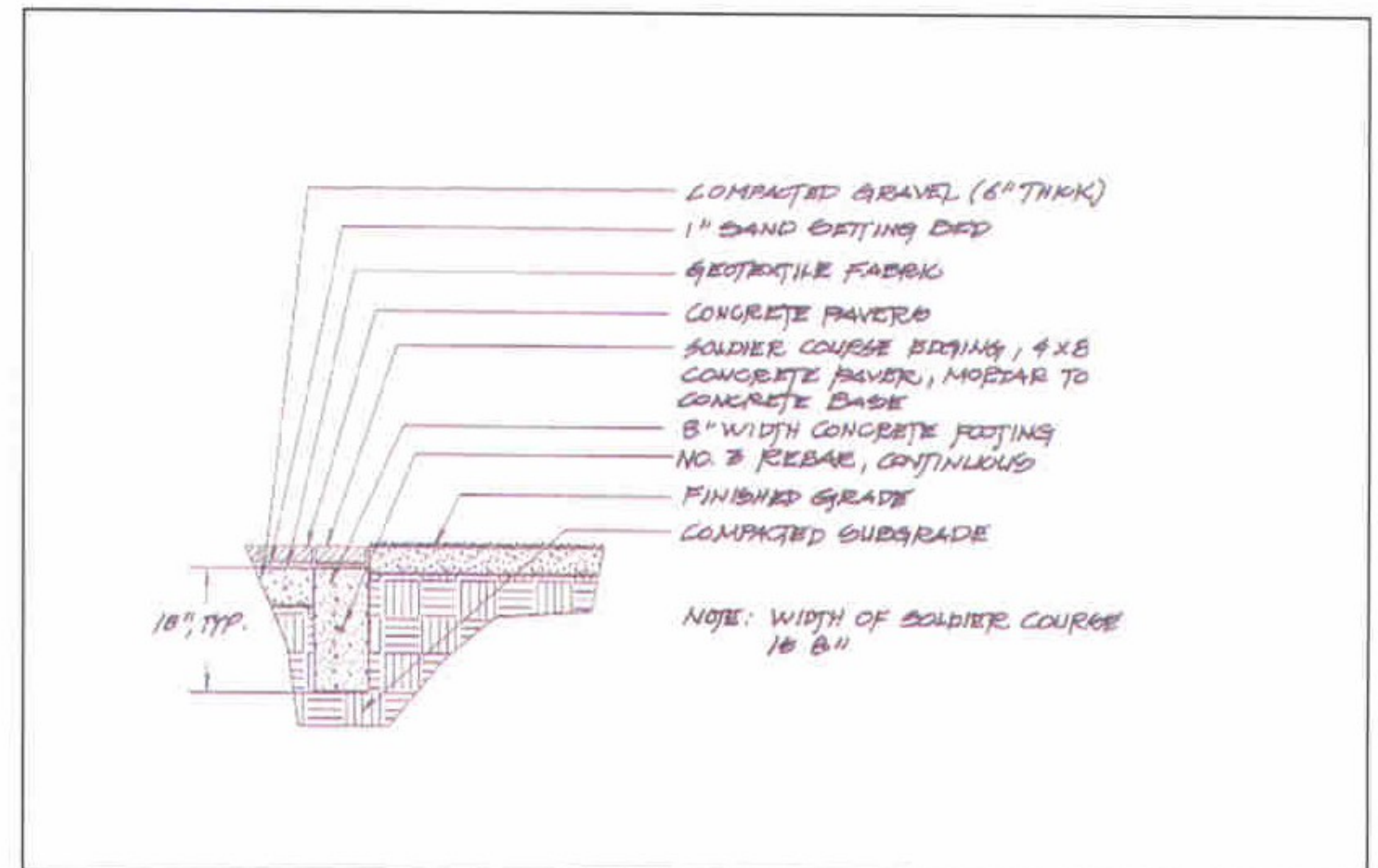
CURB AND PAVER DRIVE WITH AGGREGATE SUBBASE



CURB AND PAVER DRIVE WITH ASPHALT SUBBASE

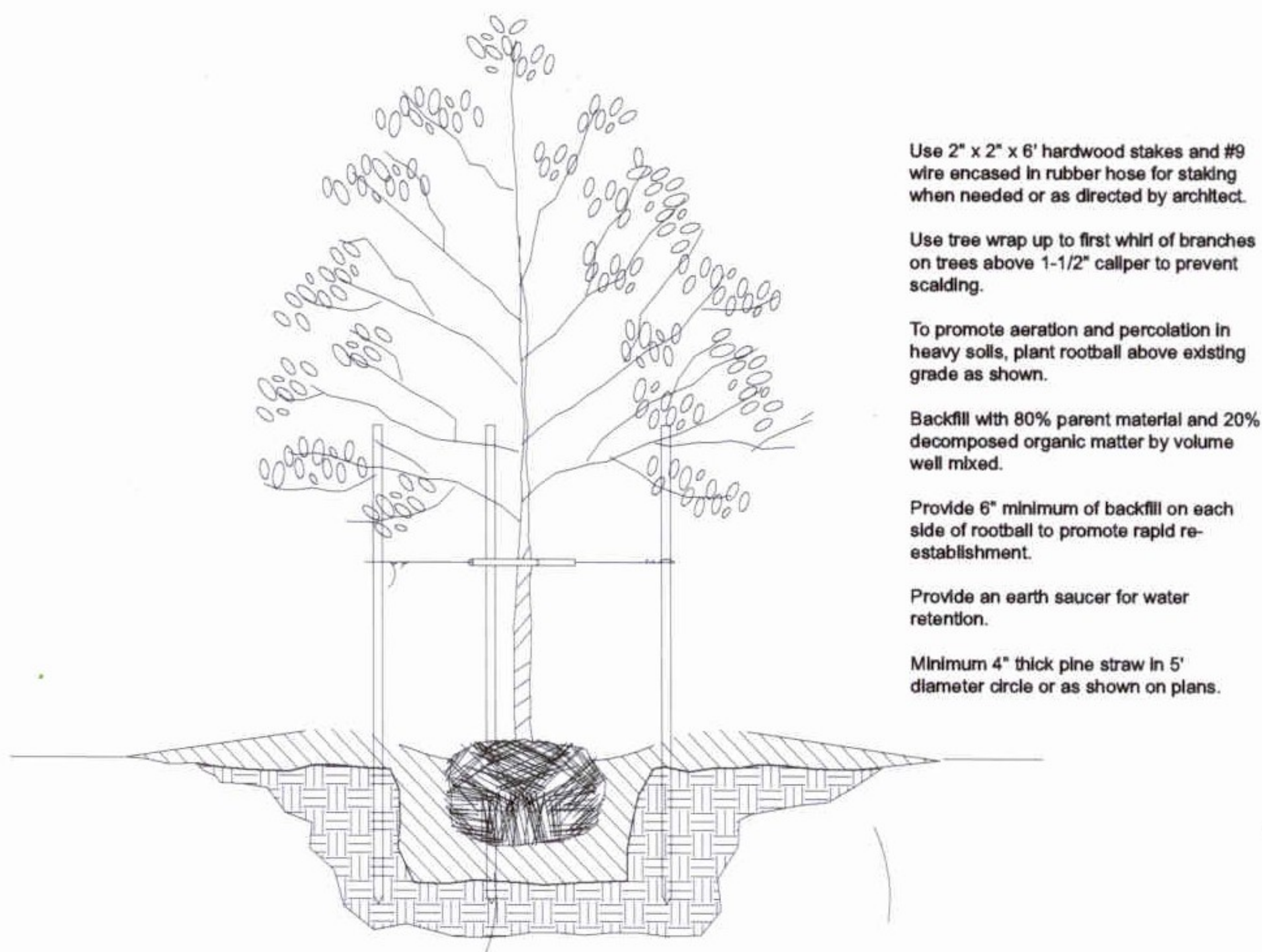


CONCRETE PAVER SIDEWALK

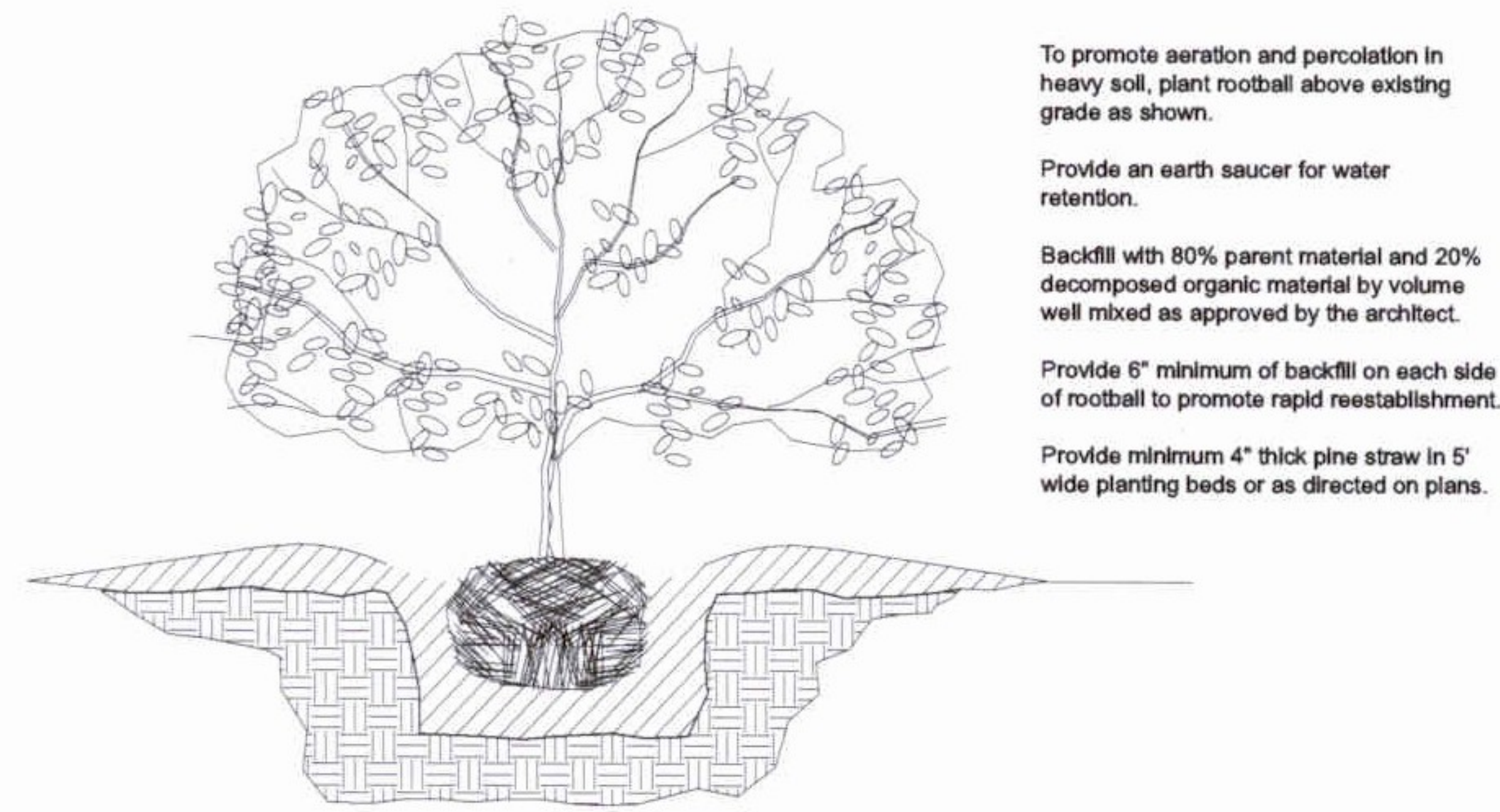


CONCRETE PAVER SIDEWALK - SOLDIER COURSE

PLANTING DETAILS



TREE PLANTING DETAIL



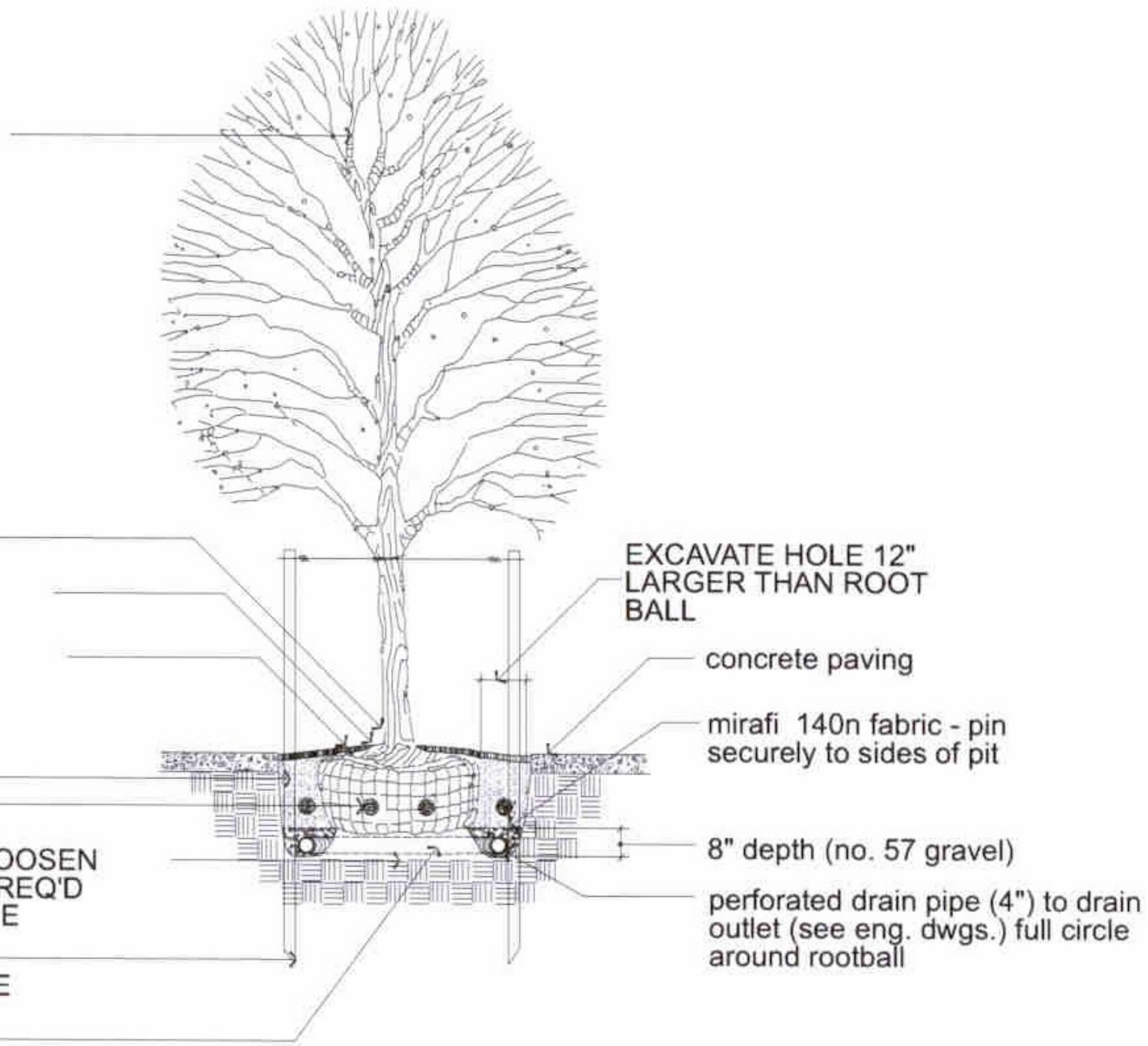
SHRUB PLANTING DETAIL

DO NOT CUT LEADER. THIN UP TO 1/3 OF BRANCHES. RETAIN NATURAL SHAPE OF TREE. DO NOT LEAVE STUBS.

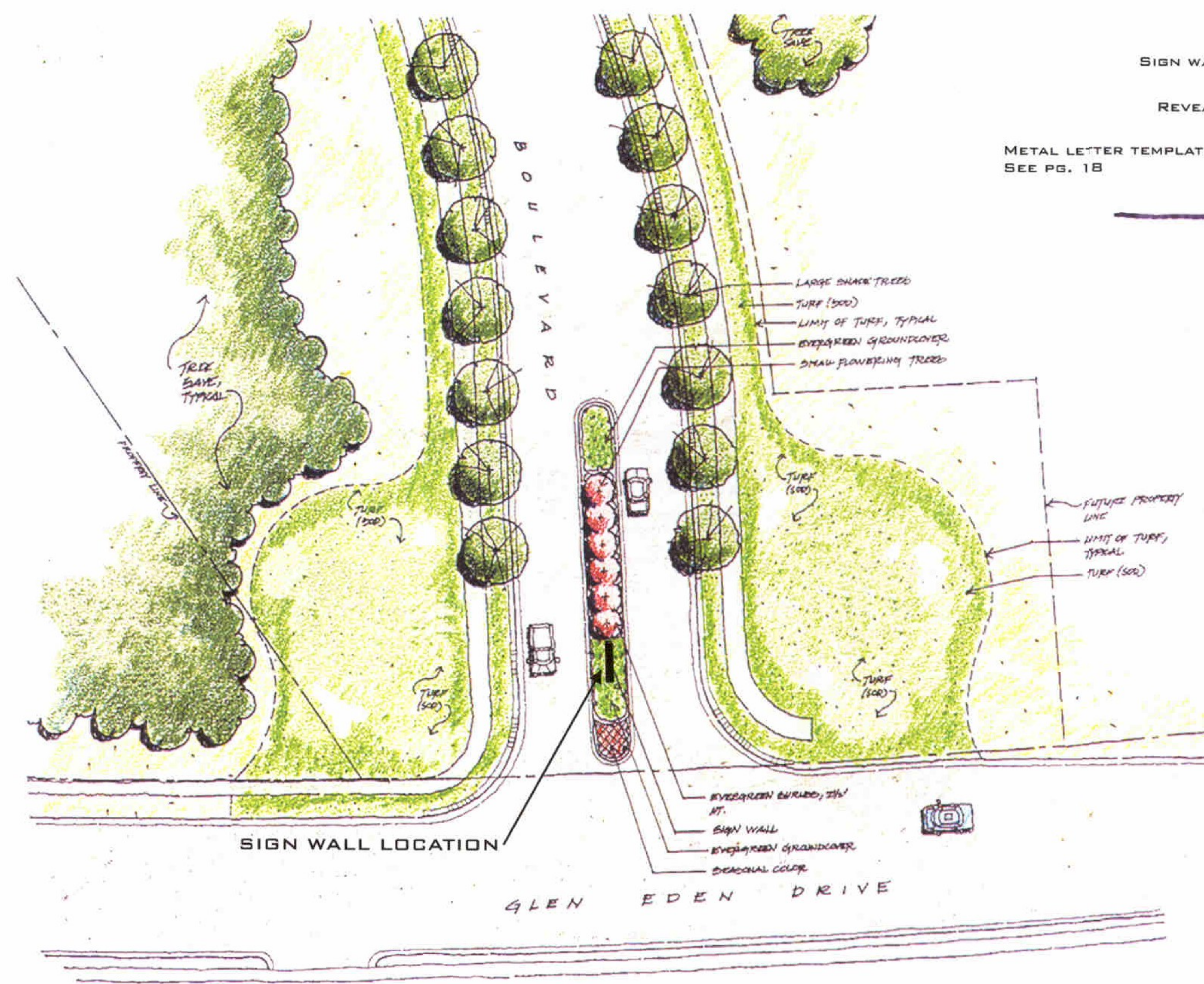
SET ROOT CROWN 4" ABOVE FINISH GRADE
CUT ALL BINDING AND REMOVE WRAPPING FROM TOP OF BALL
3" MULCH LAYER (AS SPECIFIED) slope to 1" below concrete surface

EXCAVATED SOILS
TREE PLANTING FERTILIZER
SCARIFY BOTTOM OF PIT AND LOOSEN OR REMOVE HARDPAN SOIL AS REQ'D TO PROVIDE POSITIVE DRAINAGE
STAKES TO BE 18" BELOW PIT IN UNDISTURBED SUBGRADE

SET ROOTBALL MIN. 6" ABOVE BOTTOM OF PIT ON LIGHTLY TAMPED (TO PREVENT SETTLING) EXCAVATED SOILS.



TREE WELL DETAIL



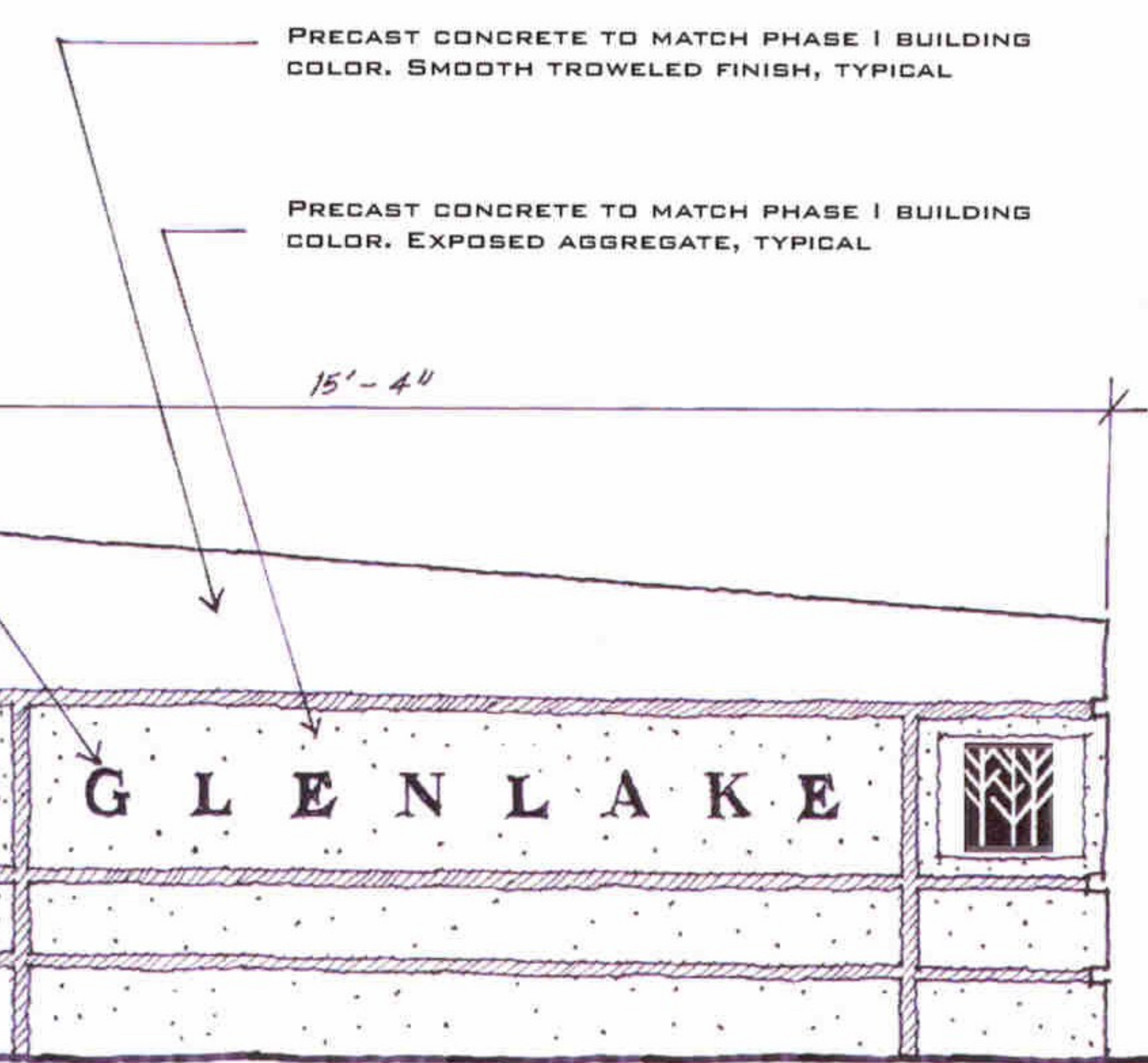
NOTE : SEE SHEET 18 FOR
UNIVERSAL SIGN CRITERIA
DESIGN STANDARDS

PIN-MOUNTED METAL LETTERS

SIGN WALL

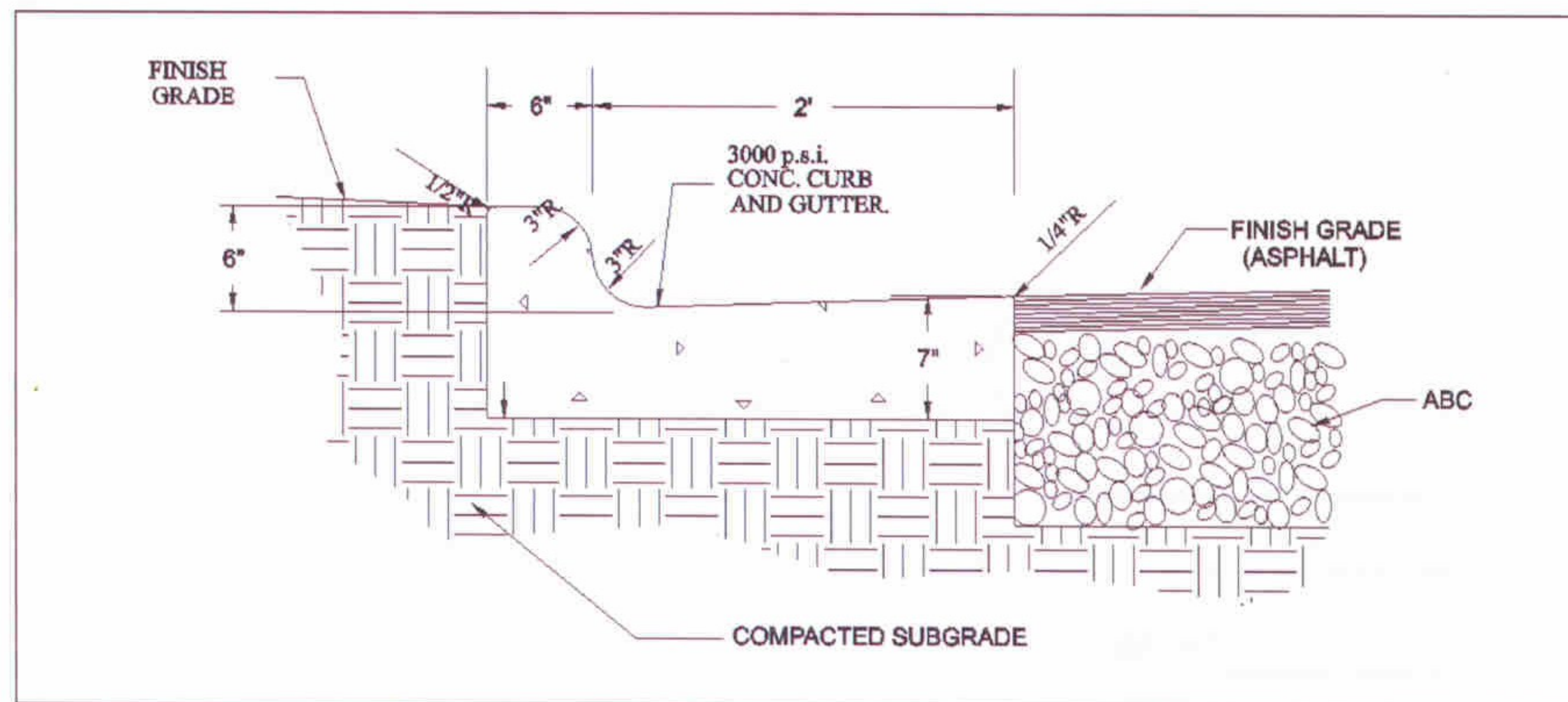
REVEALS

METAL LETTER TEMPLATES
SEE PG. 18

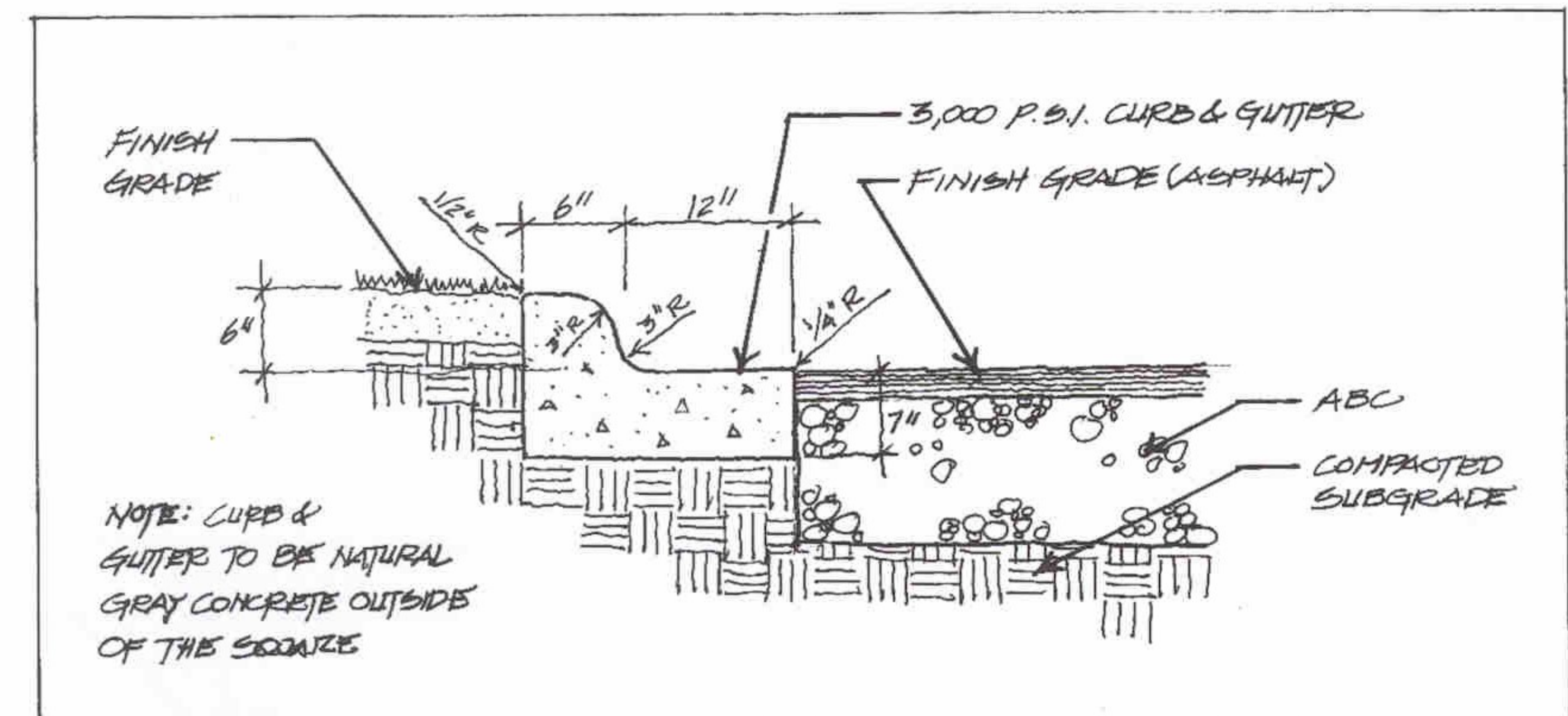


SIGNAGE WALL ELEVATION

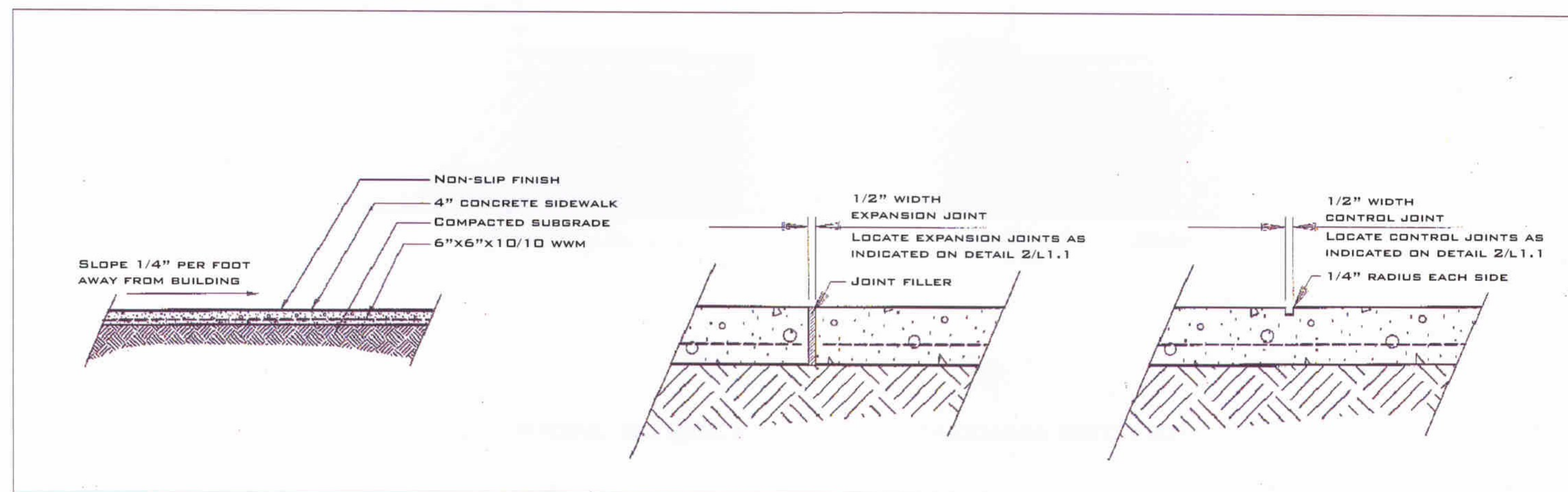
ROAD & SIDEWALK DETAILS



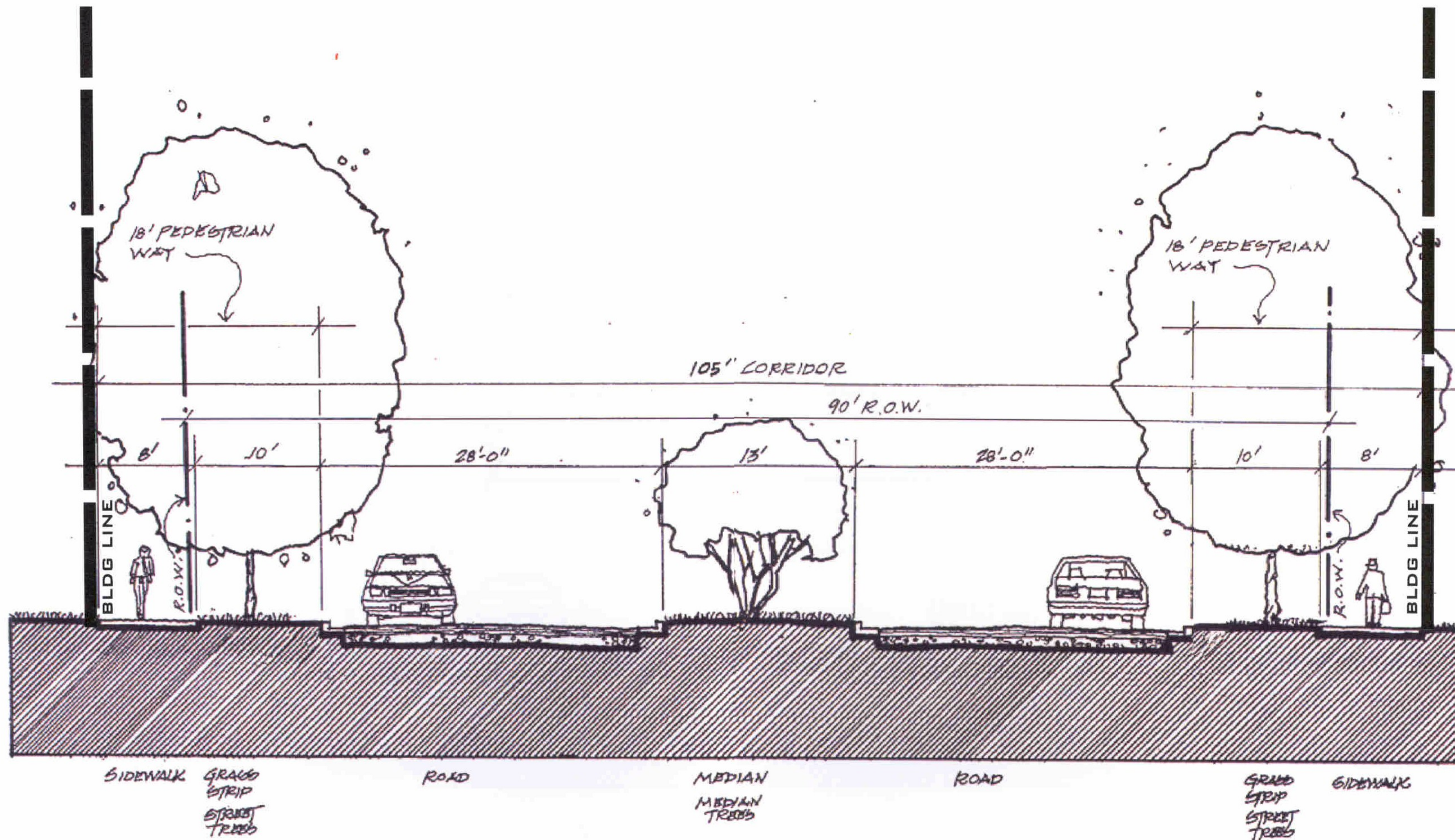
30" CONCRETE CURB AND GUTTER (TYPICAL AT OUTSIDE EDGES OF ROAD EXCLUDING TOWN SQUARE)



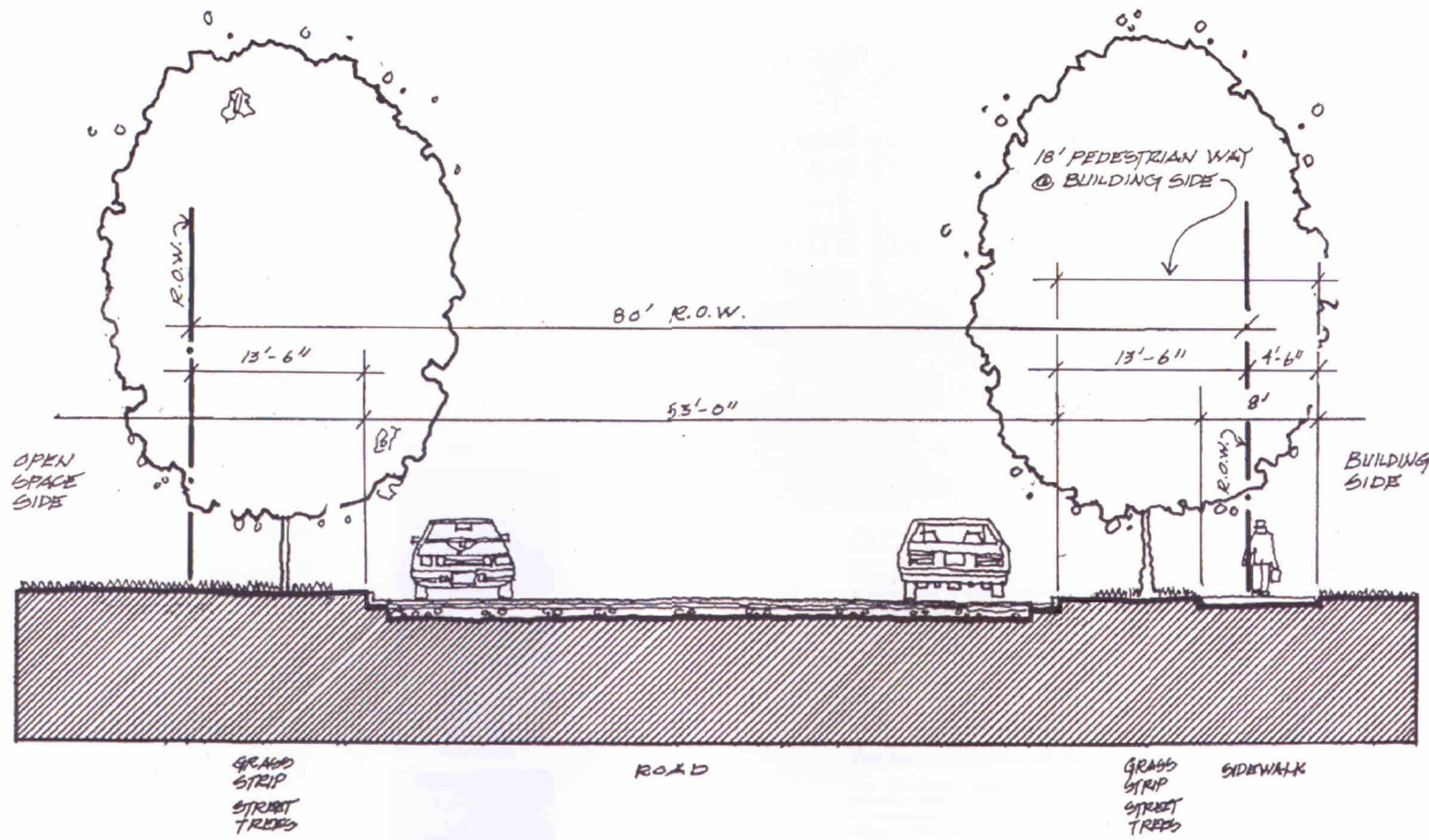
18" CONCRETE CURB AND GUTTER, TYPICAL AT ROAD MEDIANS (EXCLUDING SQUARE)



CONCRETE SIDEWALK DETAILS



TYPICAL STREET 'A' WITH MEDIAN SECTION



TYPICAL STREET 'A' WITHOUT MEDIAN SECTION

UNITY OF DEVELOPMENT ISSUES



Example of Glass



Example of Precast

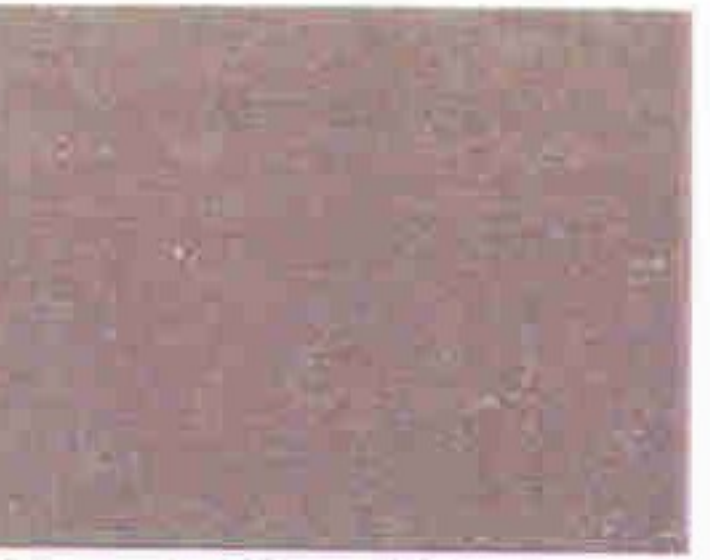
737 - White



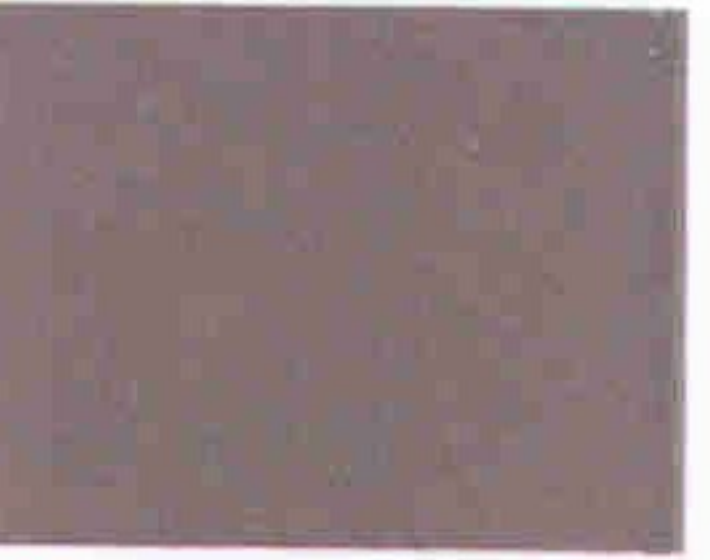
369 - Colonial White



250 - Ivory



311 - Antique Bronze



022 - Mesa Brown



090 - Colonial Bronze

Metal Colors

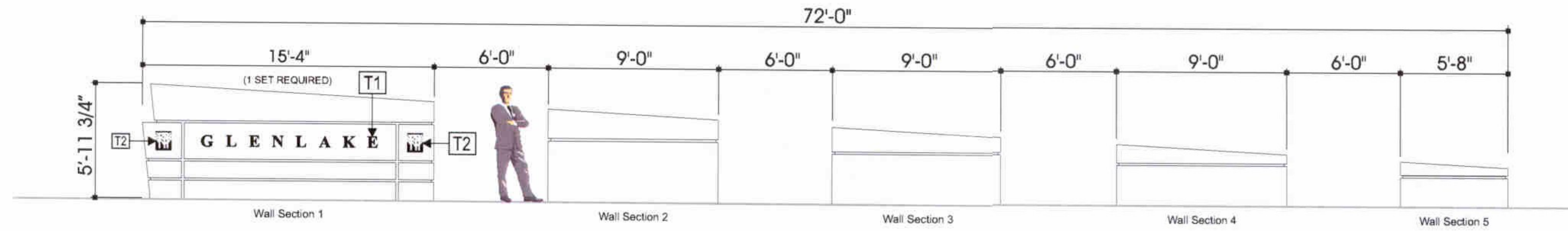


The dominant materials making up the exterior skin of the buildings will be architectural precast concrete and insulated glass units with a high performance coating, giving the glass a reflective quality in a pewter or antique silver color. The architectural precast finishes will include a sandblasted finish to simulate beige limestone, and heavy sandblasted or retarded finishes to simulate granite stone. The frames of the glass system will be painted aluminum. Picture of precast and picture of building using the same glass is attached.

The dominant colors of the project have been selected to simulate limestone and granite. The buildings may vary in color, but all will be in the beige earthtone values. The glass for the project will have a pewter or antique silver reflective appearance. The painted metal for the project will be selected from the colors in the architectural precast concrete.

The dominant architectural features of the buildings will include a distinctive "post and beam" base to the buildings and a traditional punched opening glass expression on upper floors. The base of the buildings will include some form of an arched expression, whether expressed as the Phase One building or the similar project referenced above, attached. Columns will be expressed in the architectural precast as square and/or round. Where pedestrian circulation between buildings is anticipated, an arcade will be developed at the ground level. This vocabulary of architectural elements will allow for distinctiveness between different buildings, but with the use of precast and glass, there will be a unity of the development.

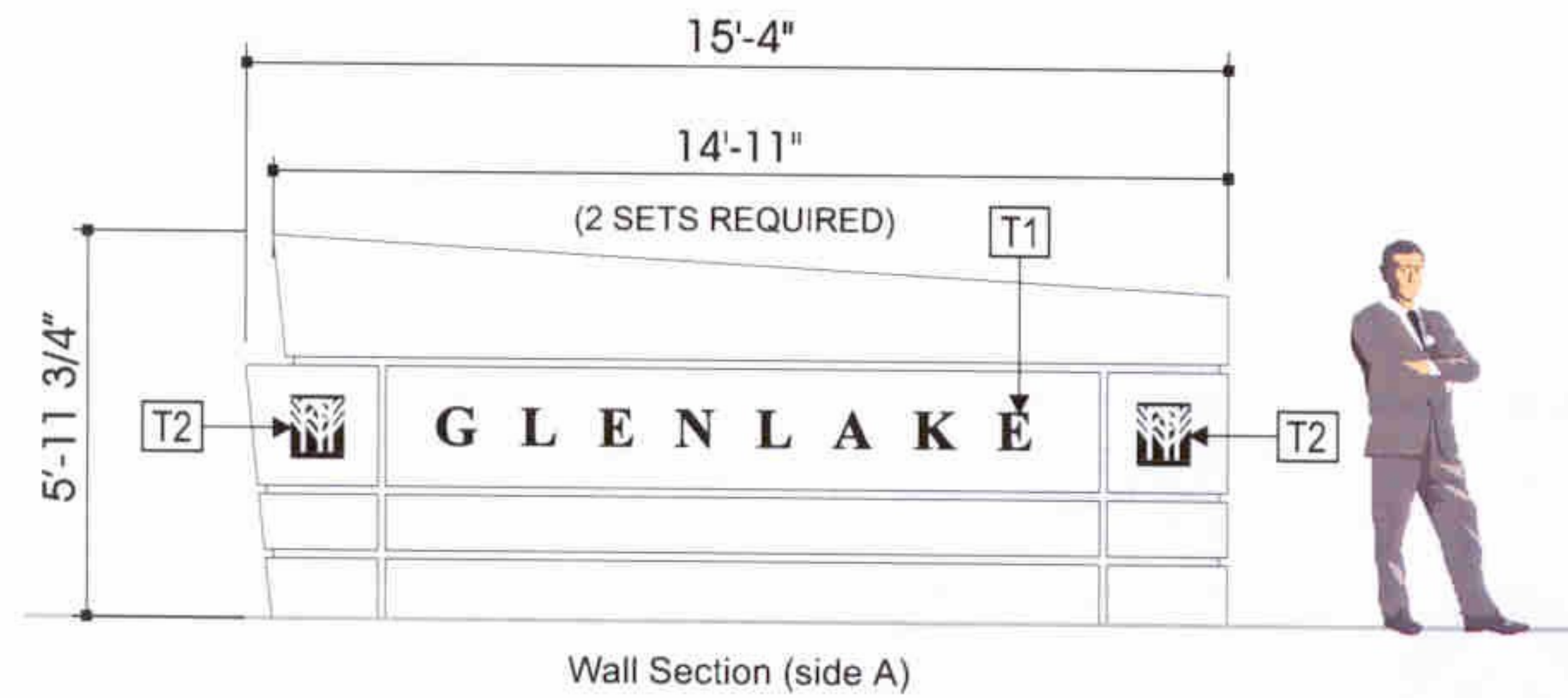
Sign located @ EDWARDS MILL RL



Tract ID Sign #1 (single face) - Front Elevation

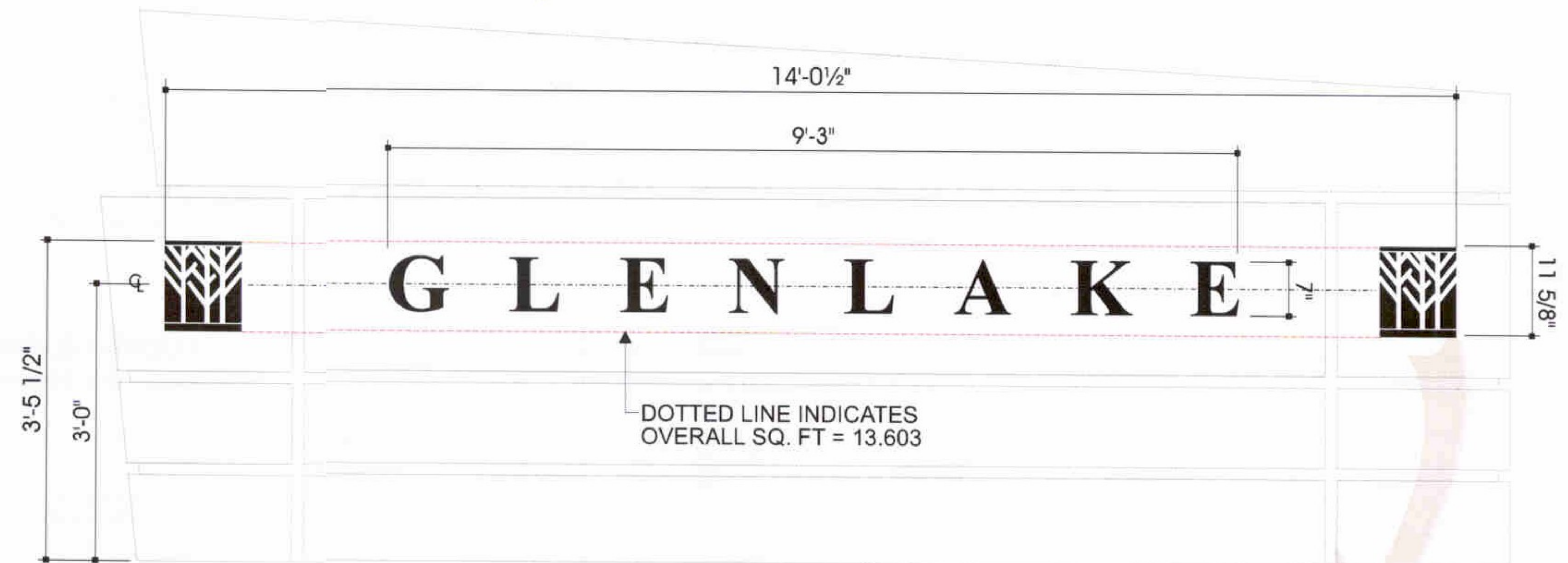
Scale: 1/8" = 1'-0"

Sign located @ GLEN EDEN DRIVE



Tract ID Sign #2 (double face) - Front Elevation

Scale: 3/16" = 1'-0"



Graphics Elevation for Tract ID Signs #1 & #2

Scale: 1/2" = 1'-0"

SCOPE OF WORK & COLOR KEY

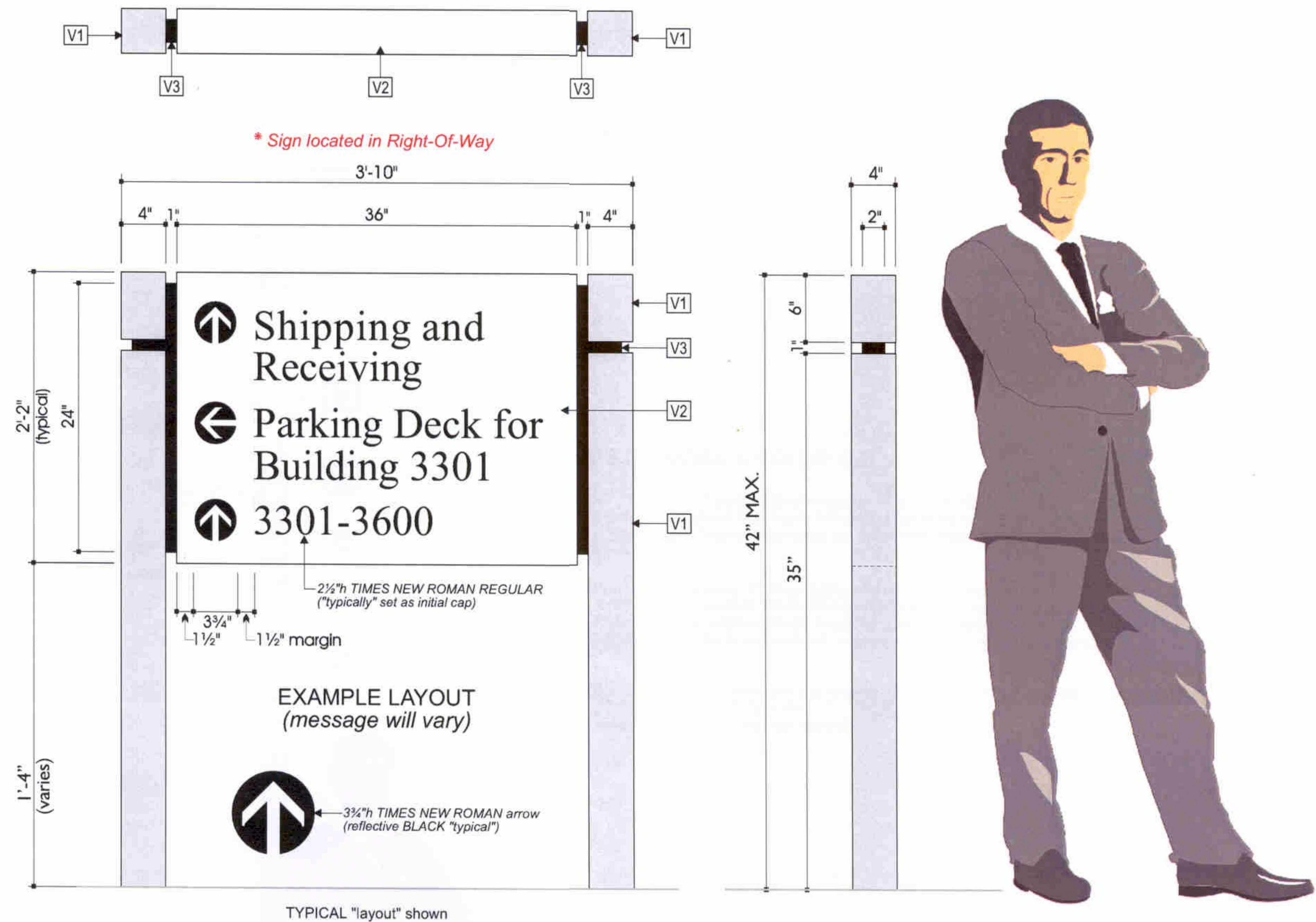
T1 PLATE LETTERS (aluminum): 1/2" thk. aluminum plate material "precision cut"
~ painted Black Anodic #41-335 (Matthews Acrylic Polyurethane)
Letters = 7" high TIMES NEW ROMAN BOLD – Installation: Letters stud mounted 1/4" off pre-cast and permanently set into drilled holes filled with (3m brand or approved equal) clear silicone adhesive

T2 PLATE LOGOS (aluminum): 1/2" thk. aluminum plate material "precision cut"
~ painted Black Anodic #41-335 (Matthews Acrylic Polyurethane)
Logo = 11 5/8" high **NOTE: Artwork is recommended if logos 'shown' is NOT acceptable* – Installation: Logos stud mounted 1/4" off pre-cast and permanently set into drilled holes filled with (3m brand or approved equal) clear silicone adhesive

Mounting Detail
(TYPICAL)



*Must obtain encroachment from City of Raleigh

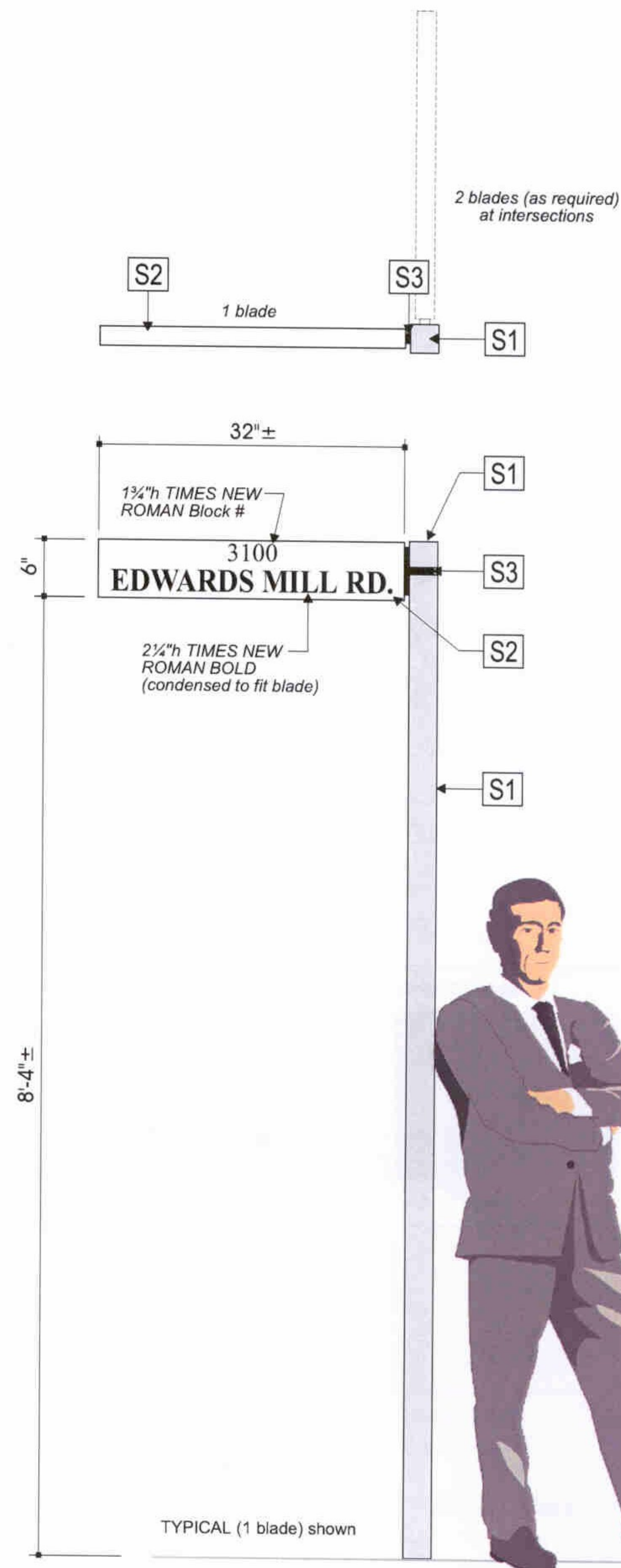


Vehicular Directional Sign (double face) - Front, Side & Top Elevations
Scale: 1" = 1'-0"

SCOPE OF WORK & COLOR KEY

- V1** SIGN POST (extruded aluminum): 4" x 4" x 4'-7" long "above grade" (2 pcs. per post) ~ painted Brushed Aluminum #41-342 (Matthews Acrylic Polyurethane - satin finish) – Installation: Post permanently set into drilled footing with 3000psi concrete
- V2** SIGN PANEL (aluminum): 4" deep fabricated aluminum construction with 1/8" thk. flat aluminum face "both sides" ~ painted White #42-202 (Matthews Acrylic Polyurethane - satin finish). All text & arrows surface applied Black "engineer grade" reflective vinyl (3M brand or approved equal) – Installation: Panel permanently attached to reveal with stainless steel fasteners (2 min. req'd per side)
- V3** SIGN REVEAL (extruded aluminum): 1" x 2" (length as required) ~ painted Black Anodic #41-335 (Matthews Acrylic Polyurethane) – Installation: Reveals permanently attached to posts with continuous welds "finished and sanded smooth"

Note:
Street sign must
meet DOT standards



SCOPE OF WORK & COLOR KEY

- S1** STREET POST (extruded aluminum): 3" x 3" x 8'-10" long "above grade" (2 pcs. per post)
~ painted Brushed Aluminum #41-342 (Matthews Acrylic Polyurethane - satin finish)
- Installation: Post permanently set into drilled footing with 3000psi concrete
- S2** BLADE (aluminum): 2" deep fabricated alum. construction with 1/8" thk. flat aluminum face
"both sides" ~ painted White #42-202 (Matthews Acrylic Polyurethane - satin finish)
All text surface applied Black "engineer grade" reflective vinyl (3M brand or approved equal)
- Installation: Blade permanently attached to reveal with stainless steel fasteners (2 min. req'd)
- S3** BLADE REVEAL (extruded aluminum): 1" x 1/2" (length as required) ~ painted Black Anodic #41-335 (Matthews Acrylic Polyurethane) - Installation: Reveal permanently attached to post with continuous welds "finished and sanded smooth"

Street Sign - Front & Top Elevations
Scale: 3/4" = 1'-0"

UNIFIED SIGN CRITERIA

GATE PRECAST - GLENLAKE A-16



Color 1

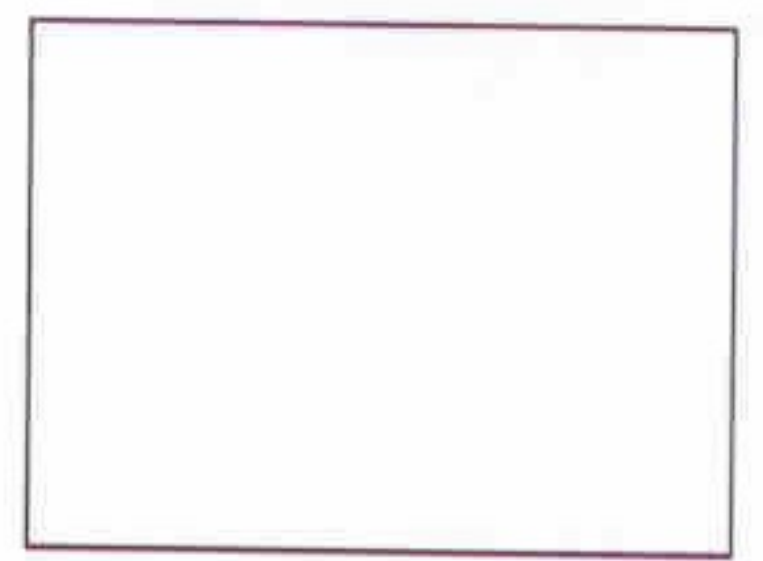
Example of Precast



Color 2 - White

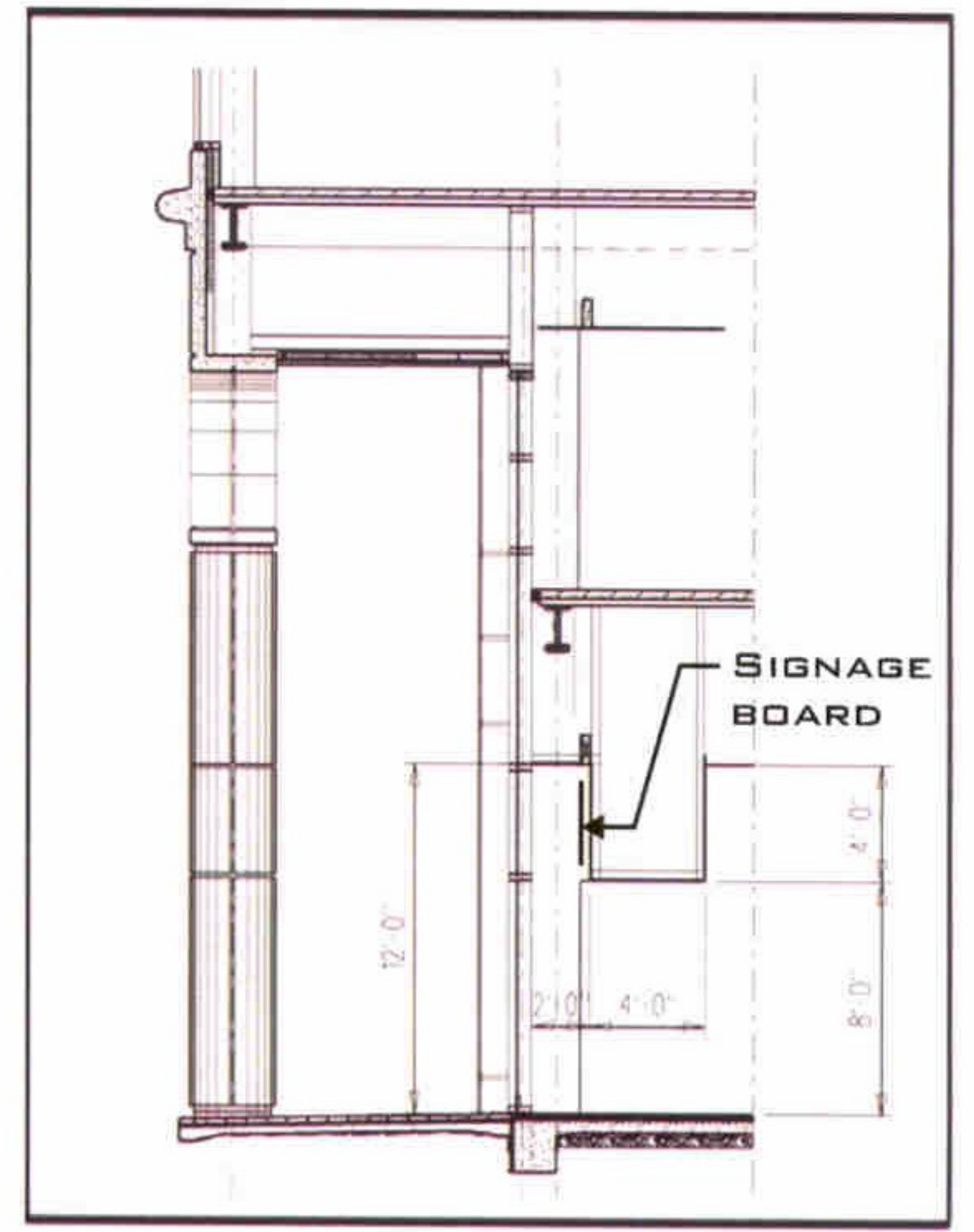


Color 3 - Black

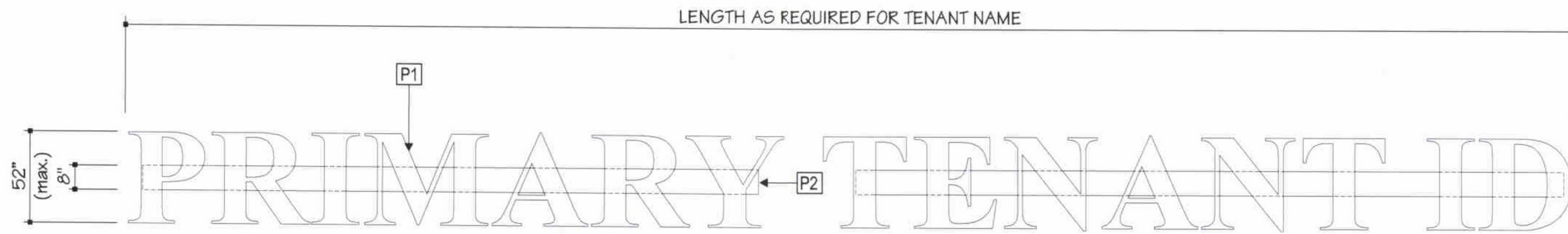


Color 4 - T.B.D.

Metal Colors



Section of Arcade Signage band



Primary Tenant ID (wall mount) - Front Elevation
Scale: 3/8" = 1'-0"

NOTE: Length not exceed 2 sq. feet per lineal foot of building front (facing public street or private accessway)

SCOPE OF WORK & COLOR KEY

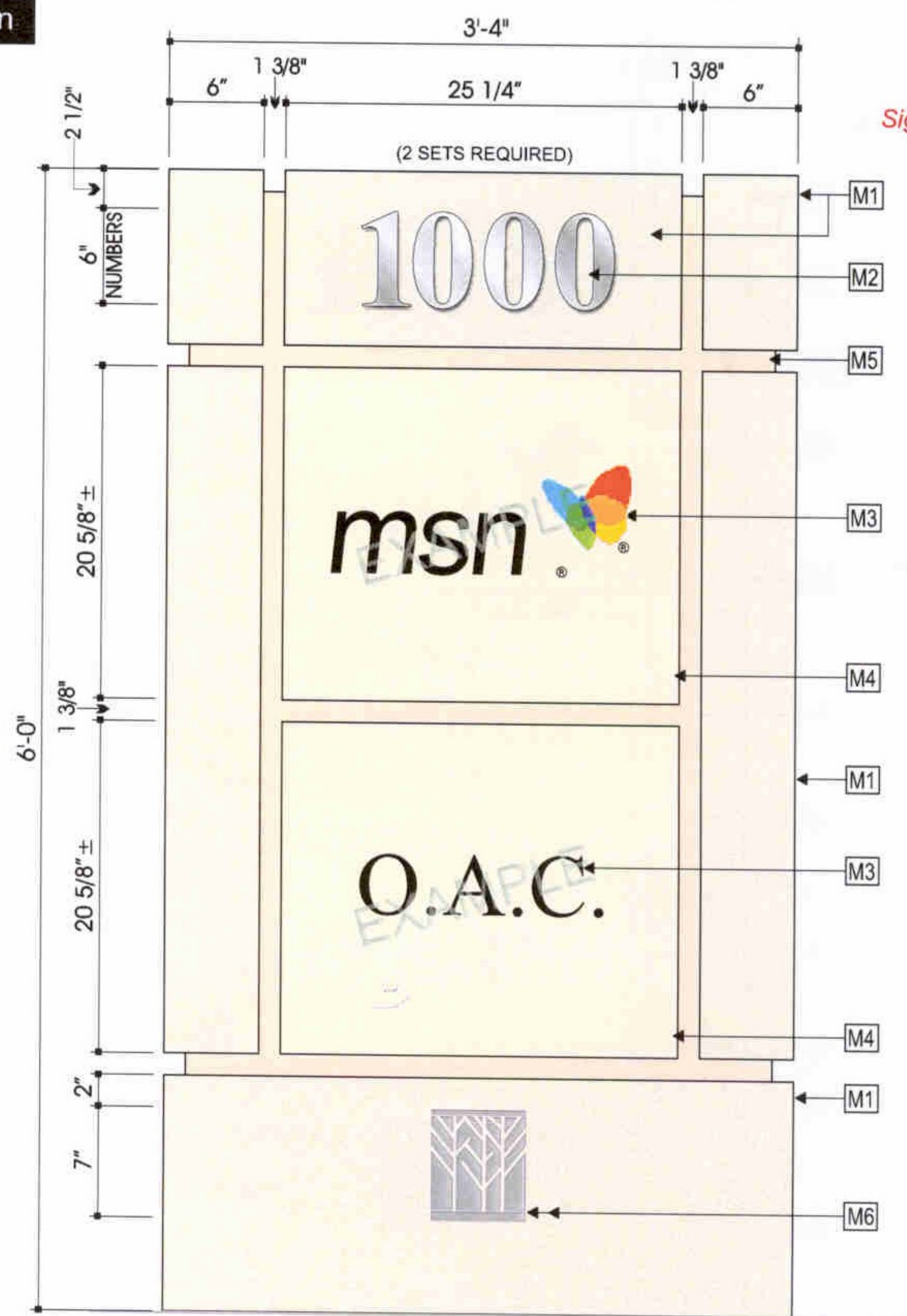
- P1** PRIMARY TENANT LETTERS (52" high maximum): Letterforms = .080" thk. (min.) fabricated aluminum construction (4" deep) ~ inside painted White, returns painted White #41-335 (Matthews Acrylic Polyurethane) • Letterstyle = TIMES NEW ROMAN BOLD • Letter faces = Black "casocryl" (black/white) plex • Letter trim = White Jewelite® illumination = 13mm (min.)-15mm (max.) #6500 White neon – Installation: Letters flush mounted to aluminum raceway
- P2** RACEWAY (8" high x 8" deep): .125" thk. extruded or fabricated aluminum with removable top cover ~ painted "TO MATCH" building color (satin finish) • All connections to be weather-tight • Electrical power source T.B.D. • Construction to conform to U.L. specifications & bear all U.L. labels – Installation: Raceway mounted to building front with stainless steel bolts & expansion anchors (as required for secured installation).



Front Building Elevation - TYPICAL
Estimated Scale: 1/32" = 1'-0"

NOTE: Actual placement of Tenant Letters to be approved by GLARB

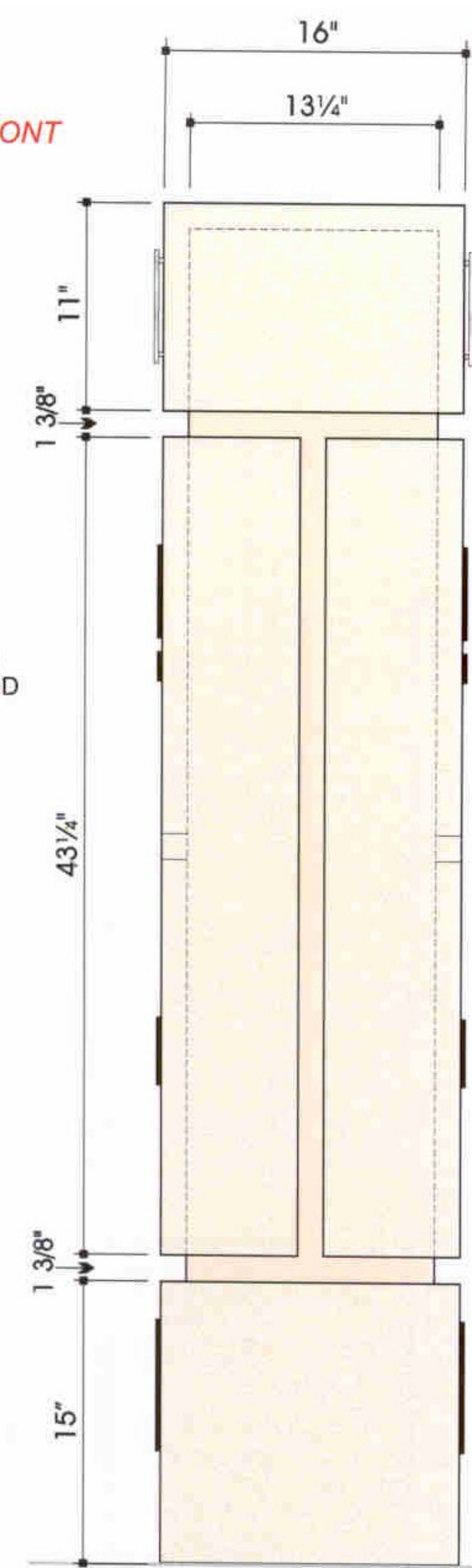
2 panel option



Sign located @ BUILDING FRONT

NOTE: ALL ® SYMBOLS TO BE 1ST SURFACE APPLIED (BLACK) "MATTE" VINYL

Multi-Tenant ID Sign (double face) - Front Elevation
Scale: 1" = 1'-0"



Side Elevation
Scale: 1" = 1'-0"

NOTE: The colors shown on design presentation is for illustration only and may not be exact. Refer to the color #'s indicated on DRAWING.

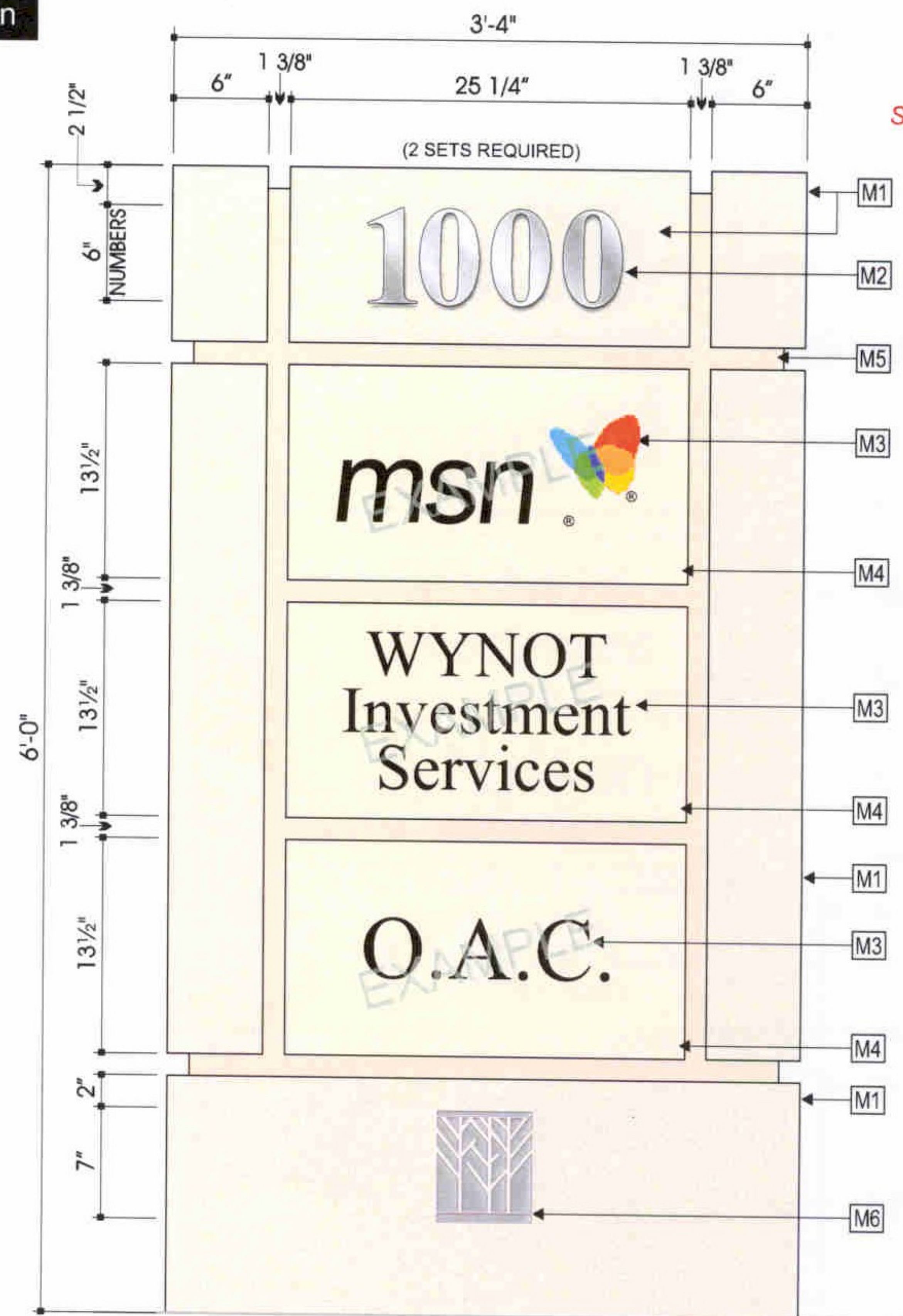


SCOPE OF WORK & COLOR KEY

- M1** PRECAST PANELS (concrete): 1 3/8" thk. concrete material "as manufactured by Gate Precast Products" ~ color = Heavy Sandblast (To Match Building) – Installation: Pre-cast panels permanently set into freestanding concrete block
- M2** PLATE NUMBERS (stainless steel): 1/2" thk. stainless steel plate material "precision cut" ~ Natural grained stainless steel finish Numbers = 6" high TIMES NEW ROMAN BOLD – Installation: Numbers stud mounted 1/4" off pre-cast and permanently set into drilled holes filled with (3m brand or approved equal) clear silicone adhesive
- M3** TENANT PLATE LETTERS (aluminum): 1/4" thk. aluminum plate material "precision cut" NOTE: Custom "corporate logo/letters with corresponding colors (as approved by GLARB)
• Generic tenant lettering ~ painted Black Anodic #41-335 (Matthews Acrylic Polyurethane) Letters = TIMES NEW ROMAN BOLD "size to fit"– Installation: All logo & letters flush mounted to aluminum TENANT SIGN PANEL with (3m brand or approved equal) clear silicone adhesive

- M4** TENANT SIGN PANEL (aluminum): fabricated aluminum construction with 1/8" thk. aluminum face "seamless" ~ color = Light Sandblast (paint & finish To Match Building) – Installation: Panel flush mounted to pre-cast reveal system with angle "mounting" clips. Clips secured with lag & expansion type hardware. All holes filled with (3m brand or approved equal) clear silicone adhesive
- M5** PRECAST REVEAL SYSTEM (concrete): custom concrete material "as manufactured by Gate Precast Products" ~ color = AS REQUIRED (To Match Building) – Installation: Reveal system permanently set below grade (as recommended per soil conditions)
- M6** DEVELOPER LOGO (stainless steel): 1/4" thk. stainless steel plate material "precision cut" with individual details and applied to back panel ~ Natural grained stainless steel finish – Installation: Flush mounted to pre-cast panel with (3m brand or approved equal) clear silicone adhesive

3 panel option

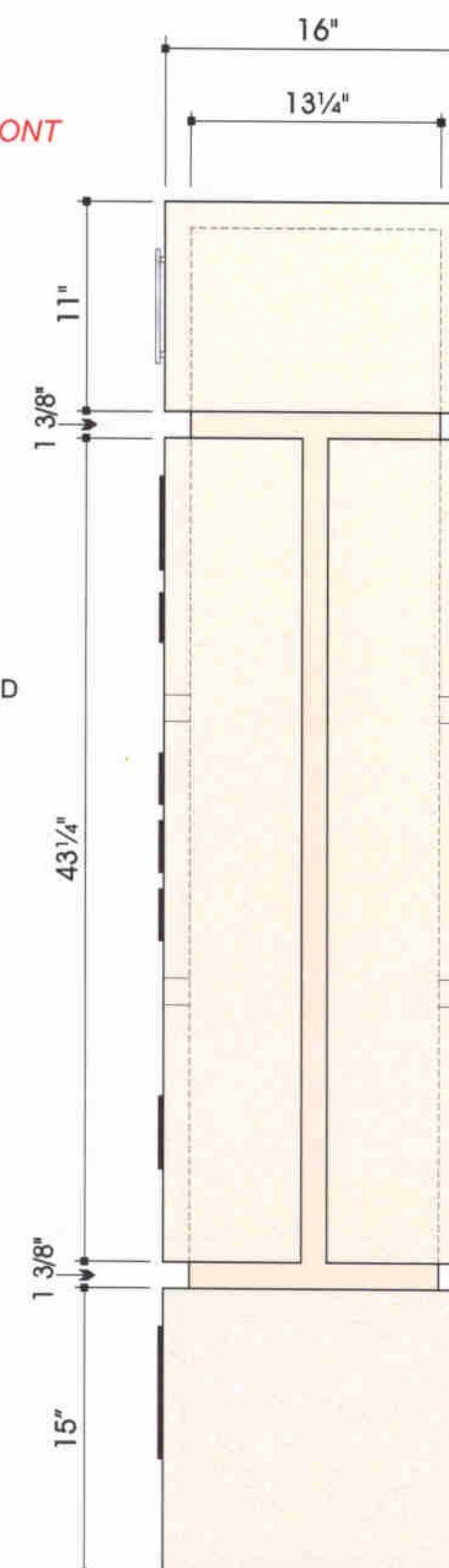


Multi-Tenant ID Sign (double face) - Front Elevation

Scale: 1" = 1'-0"

Sign located @ BUILDING FRONT

NOTE: ALL ® SYMBOLS TO BE 1ST SURFACE APPLIED (BLACK) "MATTE" VINYL



Side Elevation

Scale: 1" = 1'-0"

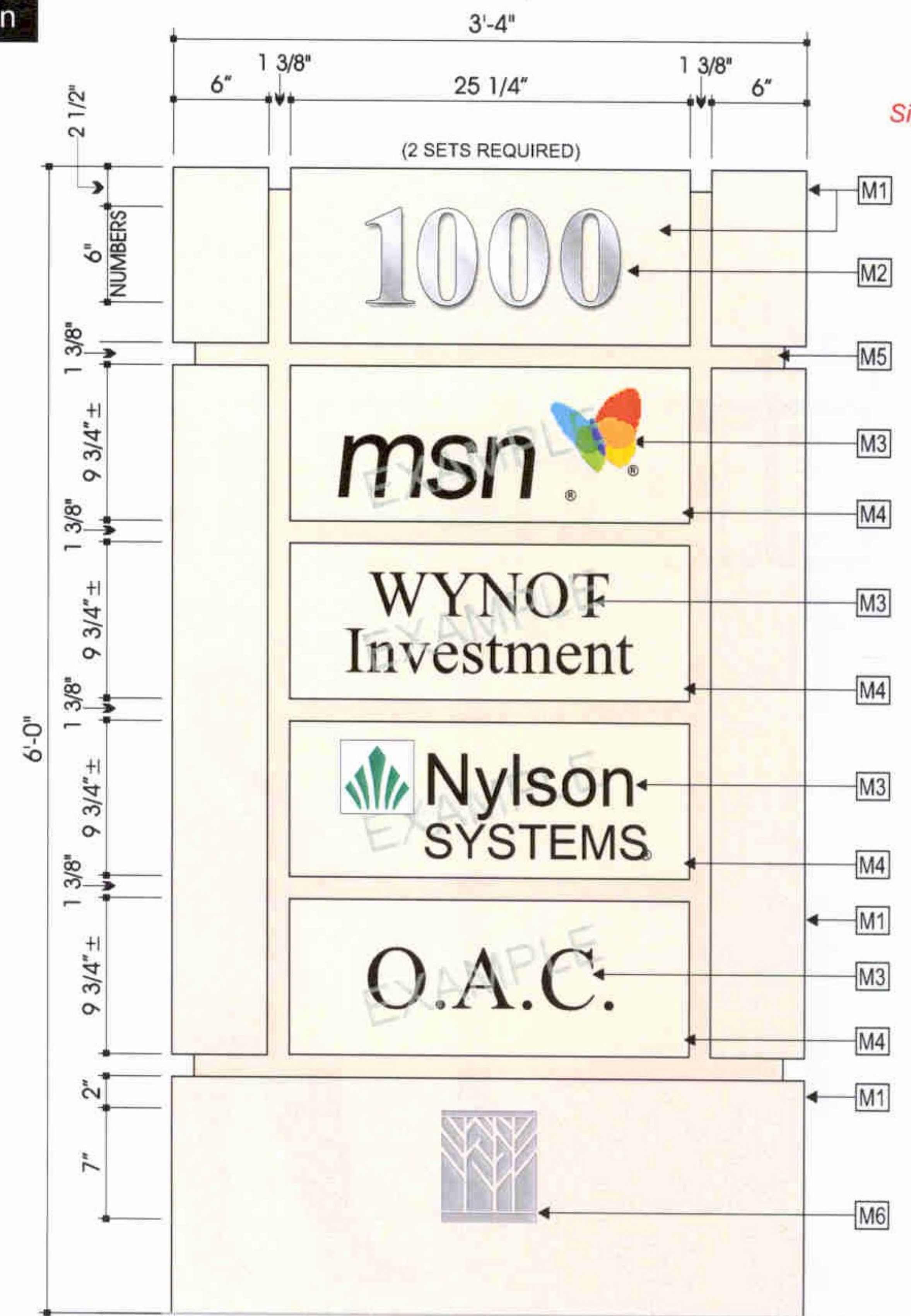
NOTE: The colors shown on design presentation is for illustration only and may not be exact. Refer to the color #'s indicated on DRAWING.



SCOPE OF WORK & COLOR KEY

- M1** PRECAST PANELS (concrete): 1 3/8" thk. concrete material "as manufactured by Gate Precast Products" ~ color = Heavy Sandblast (To Match Building) – Installation: Pre-cast panels permanently set into freestanding concrete block
- M2** PLATE NUMBERS (stainless steel): 1/2" thk. stainless steel plate material "precision cut" ~ Natural grained stainless steel finish Numbers = 6" high TIMES NEW ROMAN BOLD – Installation: Numbers stud mounted 1/4" off pre-cast and permanently set into drilled holes filled with (3m brand or approved equal) clear silicone adhesive
- M3** TENANT PLATE LETTERS (aluminum): 1/4" thk. aluminum plate material "precision cut"
 NOTE: Custom "corporate logo/letters with corresponding colors (as approved by GLARB)
 • Generic tenant lettering ~ painted Black Anodic #41-335 (Matthews Acrylic Polyurethane)
 Letters = TIMES NEW ROMAN BOLD "size to fit" – Installation: All logo & letters flush mounted to aluminum TENANT SIGN PANEL with (3m brand or approved equal) clear silicone adhesive
- M4** TENANT SIGN PANEL (aluminum): fabricated aluminum construction with 1/8" thk. aluminum face "seamless" ~ color = Light Sandblast (paint & finish To Match Building) – Installation: Panel flush mounted to pre-cast reveal system with angle "mounting" clips. Clips secured with lag & expansion type hardware. All holes filled with (3m brand or approved equal) clear silicone adhesive
- M5** PRECAST REVEAL SYSTEM (concrete): custom concrete material "as manufactured by Gate Precast Products" ~ color = AS REQUIRED (To Match Building) – Installation: Reveal system permanently set below grade (as recommended per soil conditions)
- M6** DEVELOPER LOGO (stainless steel): 1/4" thk. stainless steel plate material "precision cut" with individual details and applied to back panel ~ Natural grained stainless steel finish – Installation: Flush mounted to pre-cast panel with (3m brand or approved equal) clear silicone adhesive

4 panel option

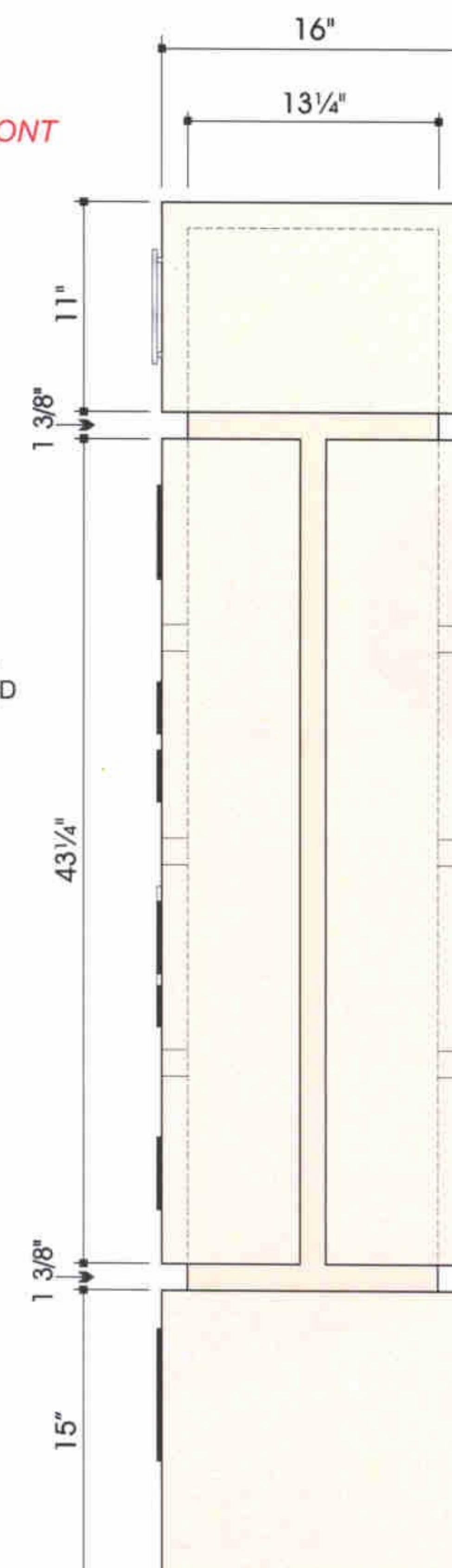


Sign located @ BUILDING FRONT

NOTE: ALL ® SYMBOLS TO BE 1ST SURFACE APPLIED (BLACK) "MATTE" VINYL

Multi-Tenant ID Sign (double face) - Front Elevation

Scale: 1" = 1'-0"



Side Elevation

Scale: 1" = 1'-0"

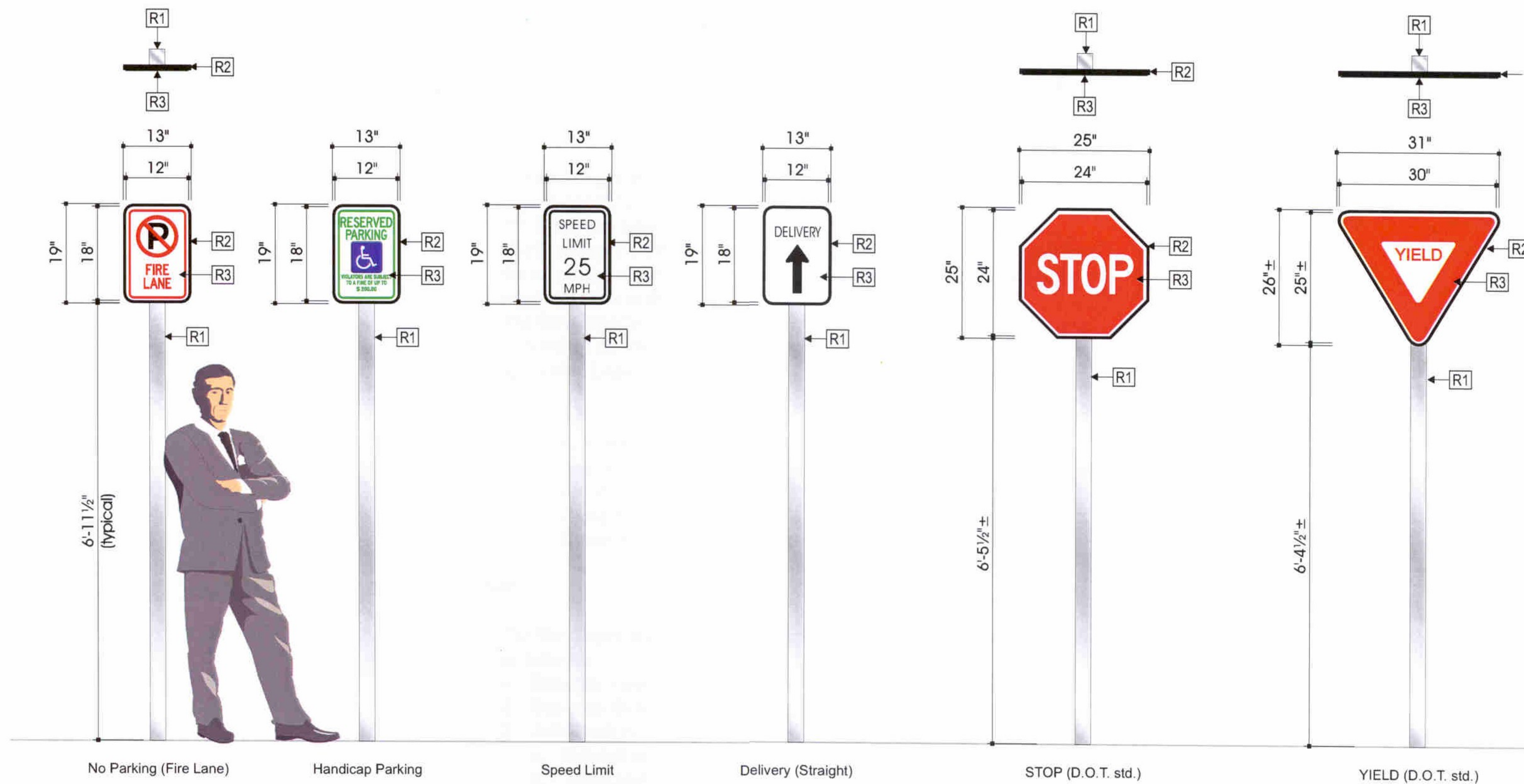
NOTE: The colors shown on design presentation is for illustration only and may not be exact. Refer to the color #'s indicated on DRAWING.



SCOPE OF WORK & COLOR KEY

- M1** PRECAST PANELS (concrete): 1 3/8" thk. concrete material "as manufactured by Gate Precast Products" ~ color = Heavy Sandblast (To Match Building) – Installation: Pre-cast panels permanently set into freestanding concrete block
- M2** PLATE NUMBERS (stainless steel): 1/2" thk. stainless steel plate material "precision cut" ~ Natural grained stainless steel finish Numbers = 6" high TIMES NEW ROMAN BOLD – Installation: Numbers stud mounted 1/4" off pre-cast and permanently set into drilled holes filled with (3m brand or approved equal) clear silicone adhesive
- M3** TENANT PLATE LETTERS (aluminum): 1/4" thk. aluminum plate material "precision cut" NOTE: Custom "corporate logo/letters with corresponding colors (as approved by GLARB)
• Generic tenant lettering ~ painted Black Anodic #41-335 (Matthews Acrylic Polyurethane)
Letters = TIMES NEW ROMAN BOLD "size to fit" – Installation: All logo & letters flush mounted to aluminum TENANT SIGN PANEL with (3m brand or approved equal) clear silicone adhesive

- M4** TENANT SIGN PANEL (aluminum): fabricated aluminum construction with 1/8" thk. aluminum face "seamless" ~ color = Light Sandblast (paint & finish To Match Building) – Installation: Panel flush mounted to pre-cast reveal system with angle "mounting" clips. Clips secured with lag & expansion type hardware. All holes filled with (3m brand or approved equal) clear silicone adhesive
- M5** PRECAST REVEAL SYSTEM (concrete): custom concrete material "as manufactured by Gate Precast Products" ~ color = AS REQUIRED (To Match Building) – Installation: Reveal system permanently set below grade (as recommended per soil conditions)
- M6** DEVELOPER LOGO (stainless steel): 1/4" thk. stainless steel plate material "precision cut" with individual details and applied to back panel ~ Natural grained stainless steel finish – Installation: Flush mounted to pre-cast panel with (3m brand or approved equal) clear silicone adhesive



Regulatory Signs - Front & Top Elevations

Scale: 1/2" = 1'-0"

SCOPE OF WORK & COLOR KEY

- R1** SIGN POST (extruded aluminum): 3"x3"x8'-6 1/2" long "above grade" ~ painted Brushed Aluminum #41-342 (Matthews Acrylic Polyurethane - satin finish) or Natural Satin grained stainless steel – Installation: Post permanently set into drilled footing with 3000psi concrete
- R2** SIGN PANEL (aluminum): 1" deep fabricated aluminum construction with 1/8" thk. aluminum faces ~ painted Black Anodic #41-335 (Matthews Acrylic Polyurethane) – Installation: Panel permanently attached to 3" sq. post with (2-3) countersunk stainless steel fasteners.
- R3** SIGN FACE (aluminum): 1/8" thk. flat aluminum material "one side only" ~ edges painted White #42-202 (Matthews Acrylic Polyurethane - satin finish) All graphics "including text & arrows" are surface applied "engineer grade" reflective vinyl (3M brand or approved equal) in colors conforming to DOT standards – Installation: Face permanently attached to sign panel with 2-part chemical adhesive (Versilok® or approved equal)

STREETSCAPE MAINTENANCE PLAN

1. General

- a. The Developer shall at all times maintain the Streetscape and its improvements thereon in a safe, clean, attractive and good state of condition and repair.
- b. The Developer's maintenance obligation shall include, but be limited to the repairing, reconstruction, renewing of all non-standard dedicated improvements in the right of way.
- c. The Developer's maintenance shall also include the storage and prompt removal of all litter, trash, garbage and waste in accordance with applicable Legal requirements.

2. Lighting

- a. CP&L Roadway light fixtures will be maintained by CP&L
- b. The Developer shall maintain non-city standard pole lights, fixture lights, bollards in the streetscape plan as follows:
 - 1. Lamp replacement
 - 2. Finish repair, including repainting of painted finishes

3. Furniture

- a. The Developer will maintain all streetscape furniture and ancillary fixtures as follows:
 - 1. Benches – painted as needed
 - 2. Bus stop shelter-painted as needed
 - 3. Ash/Trash receptacles
 - a. Painted as needed
 - b. Trash and ash receptacles are cleaned and emptied every day
 - 4. Bicycle racks – painted as needed

4. Landscaping

- a. The Developer will maintain all streetscape landscaping as follows:
 - 1. Trimming of bushes and tree limbs as necessary to maintain a neat appearance
 - 2. Edging and cutting the grass weekly
 - 3. Planting of annuals and pots (if any) – 2 times per year
 - 4. Picking up of trash daily
 - 5. Blowing leaves – weekly as needed
 - 6. Installing sod as needed
 - 7. Pine straw refurbishment – 2 times per year

