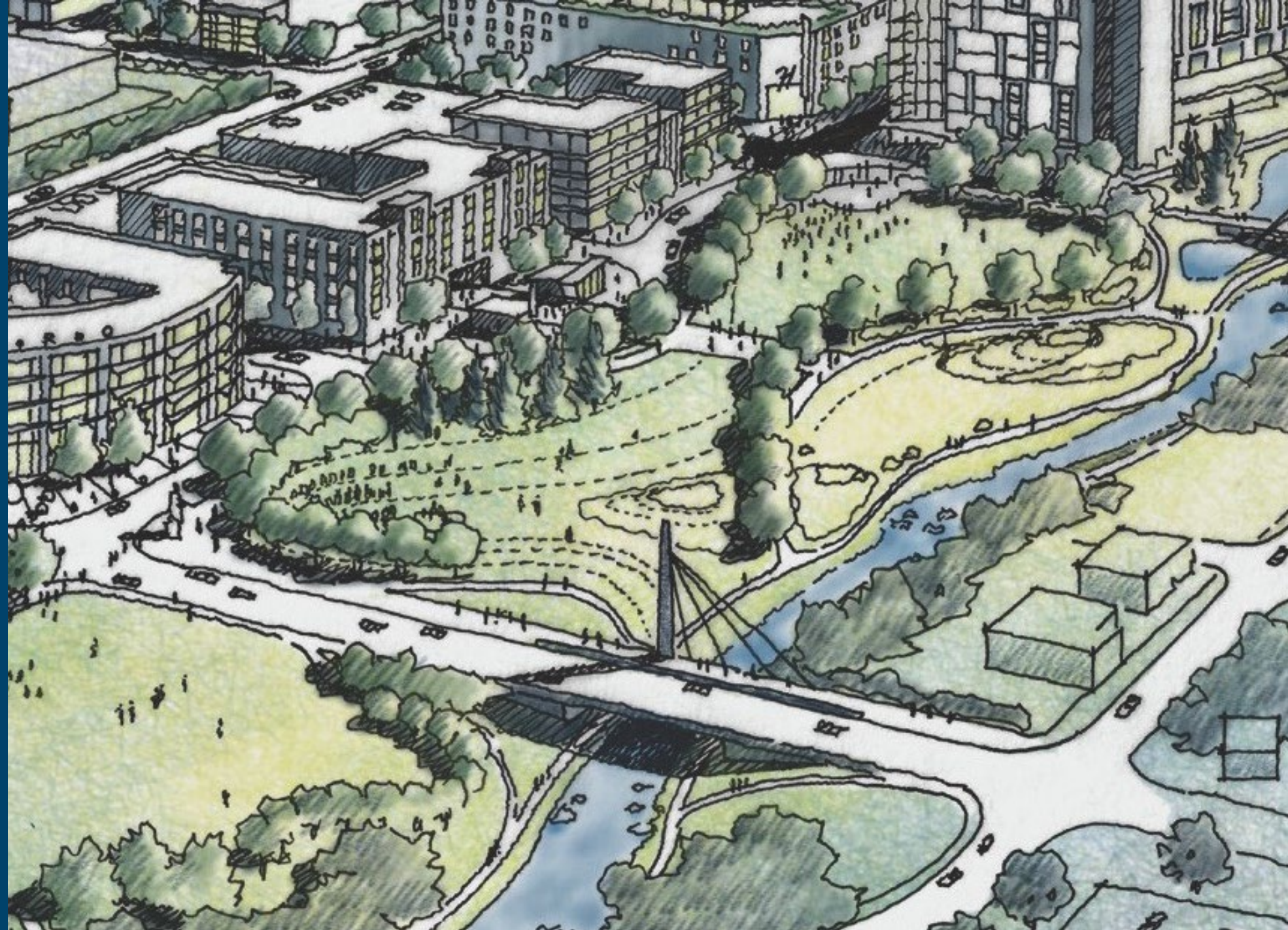


Planning and  
Development

## Midtown-St. Albans Area Plan: Ask a Planner

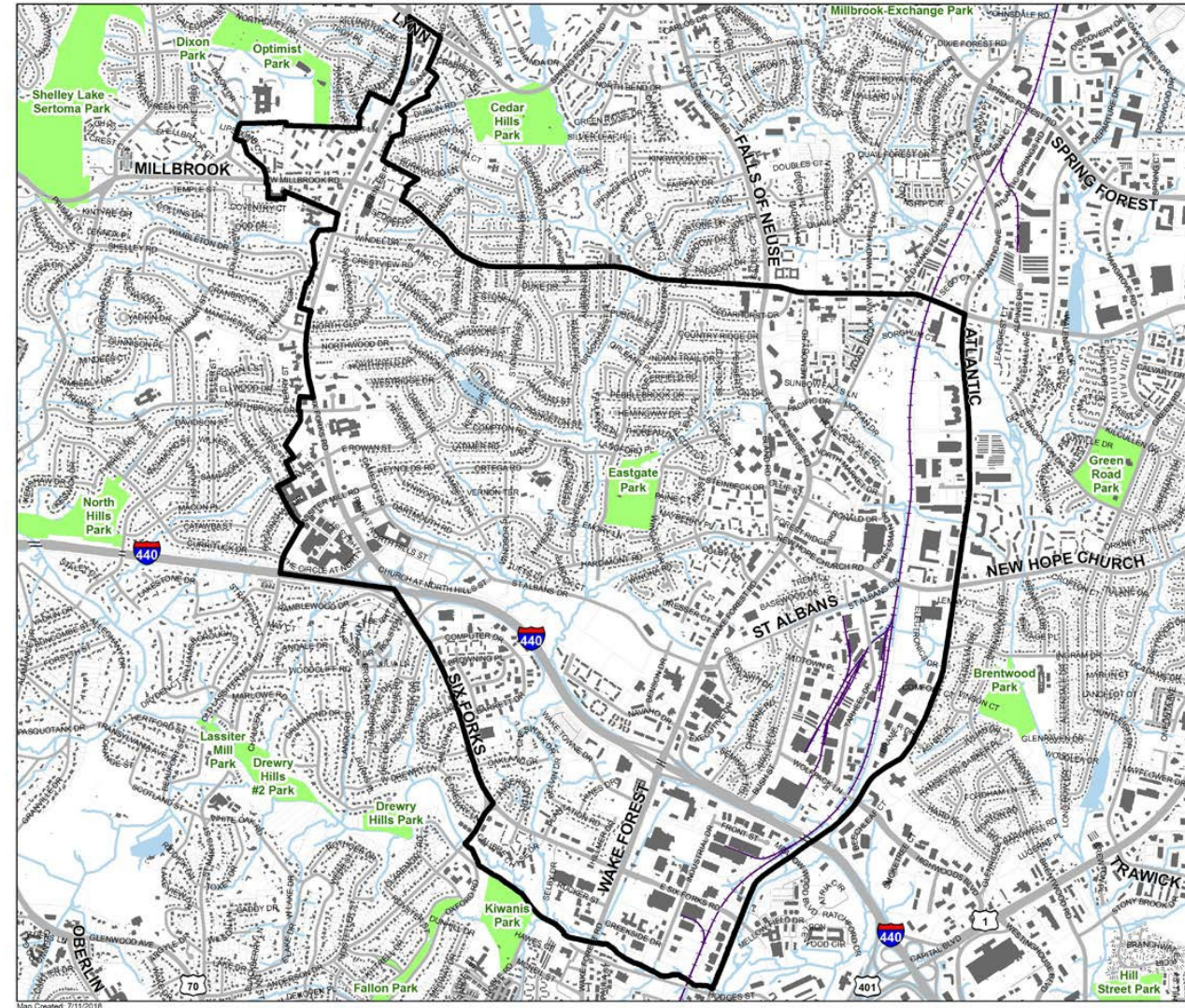
August 20, 2020





# About the Plan

- Area centered on North Hills, extends south to Crabtree Creek, north to Millbrook Road
- Originated with desire to consider infrastructure and other public improvements for an area targeted for significant growth





# Plan Process

- Began in 2018 with initial visioning efforts
- Formal plan events took place in three phases in 2019
- Final report published in 2020
- Process overseen by “Confirmation Group”
- Next step is referral to Planning Commission for review and recommendation



# Process Highlights

- Aimed to set a new standard for inclusiveness and ease of participation
- 10 in-person events at different days/times
- Online options throughout
- **The city's first all-Spanish language planning meeting**
- Proactive outreach with pop-up events
- Several thousand postcards sent at each phase to property owners and addresses in order to reach renters
- Additional outreach to employers, apartment buildings



MSA Midtown-St. Albans  
Area Plan

CITY PLANNING

## Eligiendo una alternativa

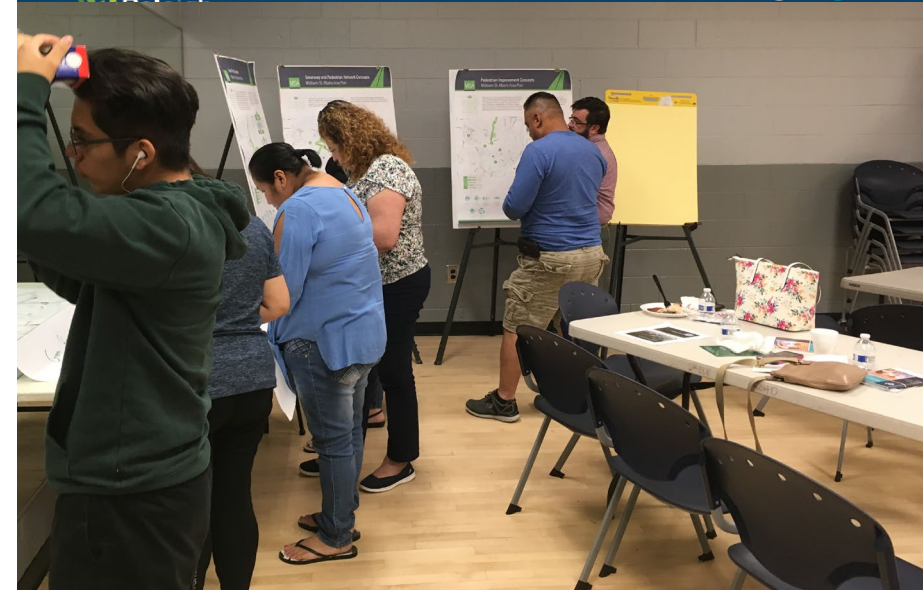
Hay varias alternativas para el futuro de Midtown y necesitamos de tu participación para decidir cuales opciones son las mejores que ayuden a Midtown a alcanzar su máximo potencial.

Por favor asista a la siguiente reunión.

 Junta en Español  
14 de Mayo de 6 p.m. a 7 p.m.  
Green Road Community Center  
4201 Green Rd

*Si no tiene la opción de asistir a alguna de estas reuniones, puede seguir el proceso y dejar sus comentarios a través de la página de internet:*  
[planningforraleigh.com/midtown](http://planningforraleigh.com/midtown)

[raleighnc.gov](http://raleighnc.gov)





# What we heard

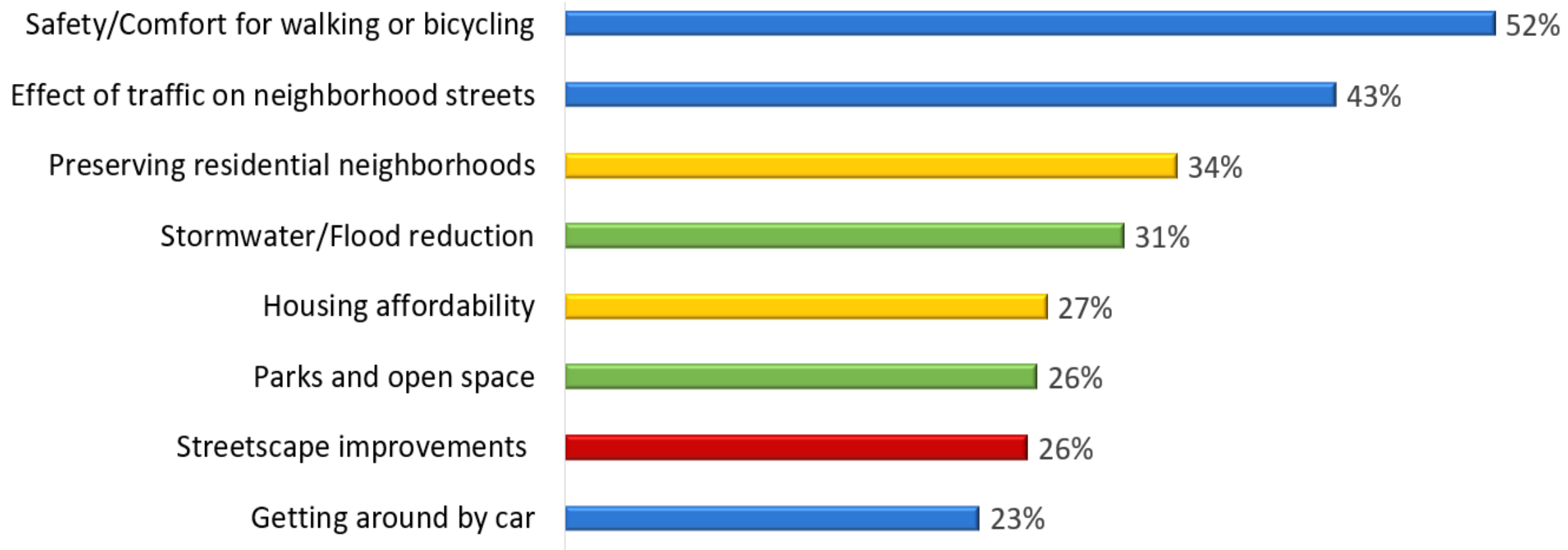
## Walkability is a must





# What we heard

## Top three issues to address





# Key Principles



Midtown Moves: Healthy, Safe, and Reliable Transportation



Midtown Living: Residential Neighborhoods and Housing Choices



Midtown Works: Innovation and Opportunity



Aesthetics: Beautiful Midtown



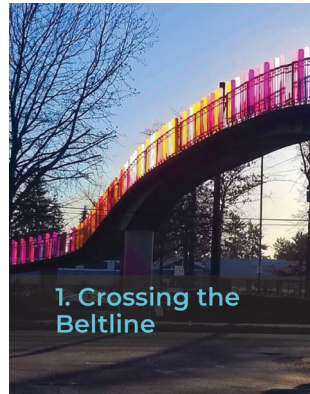
Midtown Green and Blue: Parks, Trees, and Stormwater



# Implementing the Principles

- Seven Big Moves
  - Overarching topics containing multiple projects/policies
  - Each connects to principles
  - Taken together, realize the vision for a more walkable, livable Midtown

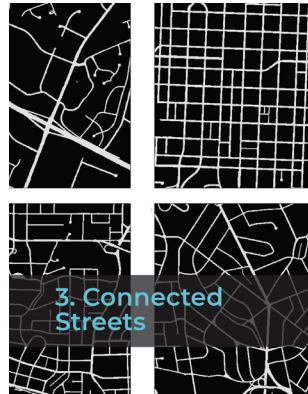
**Crossing  
the Beltline**



**Green  
Streets**



**Connected  
Streets**



**Serious  
Transit**



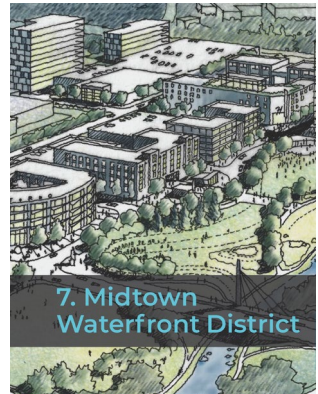
**The  
Midtown  
Ring**



**Midtown  
Living/Works**



**Waterfront  
District**





# Big Move 1: Crossing the Beltline

- Two new bridges
  - One critical multimodal connection between Six Forks and Wake Forest
  - One bike/ped crossing connecting Midtown East with Wake Tech and points north

- Survey: Walkability the **number one** issue
- Both in the **top half** in results of “Midtown Bucks” prioritization exercise





# Big Move 2: Green Streets

- Projects use Green Stormwater Infrastructure to do quadruple duty:
    - Slow traffic on wide streets
    - Beautify neighborhoods
    - Collect stormwater
    - Make walking and biking safer
  - Key streets: Quail Hollow, Hardimont, Bush, Wake Towne
- Survey: **61 percent** say speed is an issue on neighborhood streets
  - Survey: Stormwater a **top-four** issue to tackle

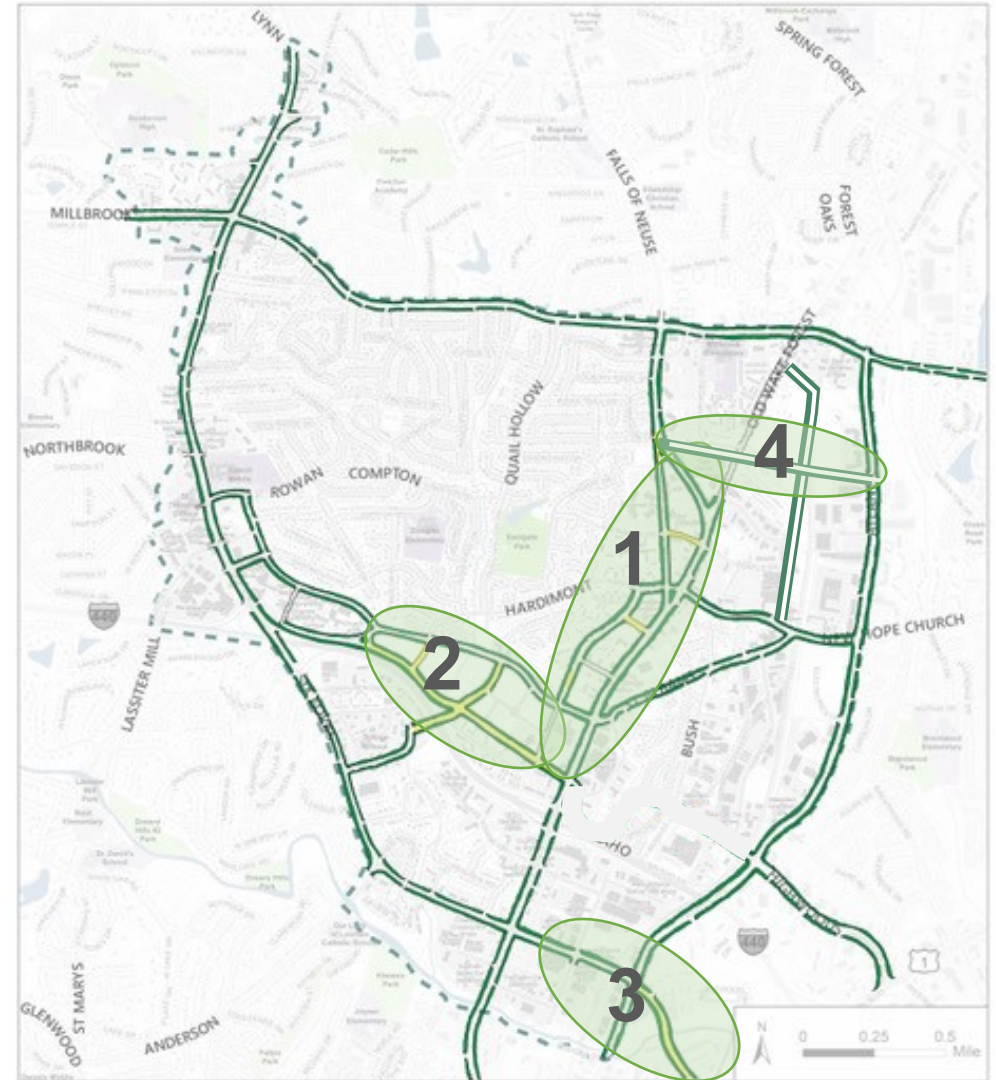




# Big Move 3: Connected Streets

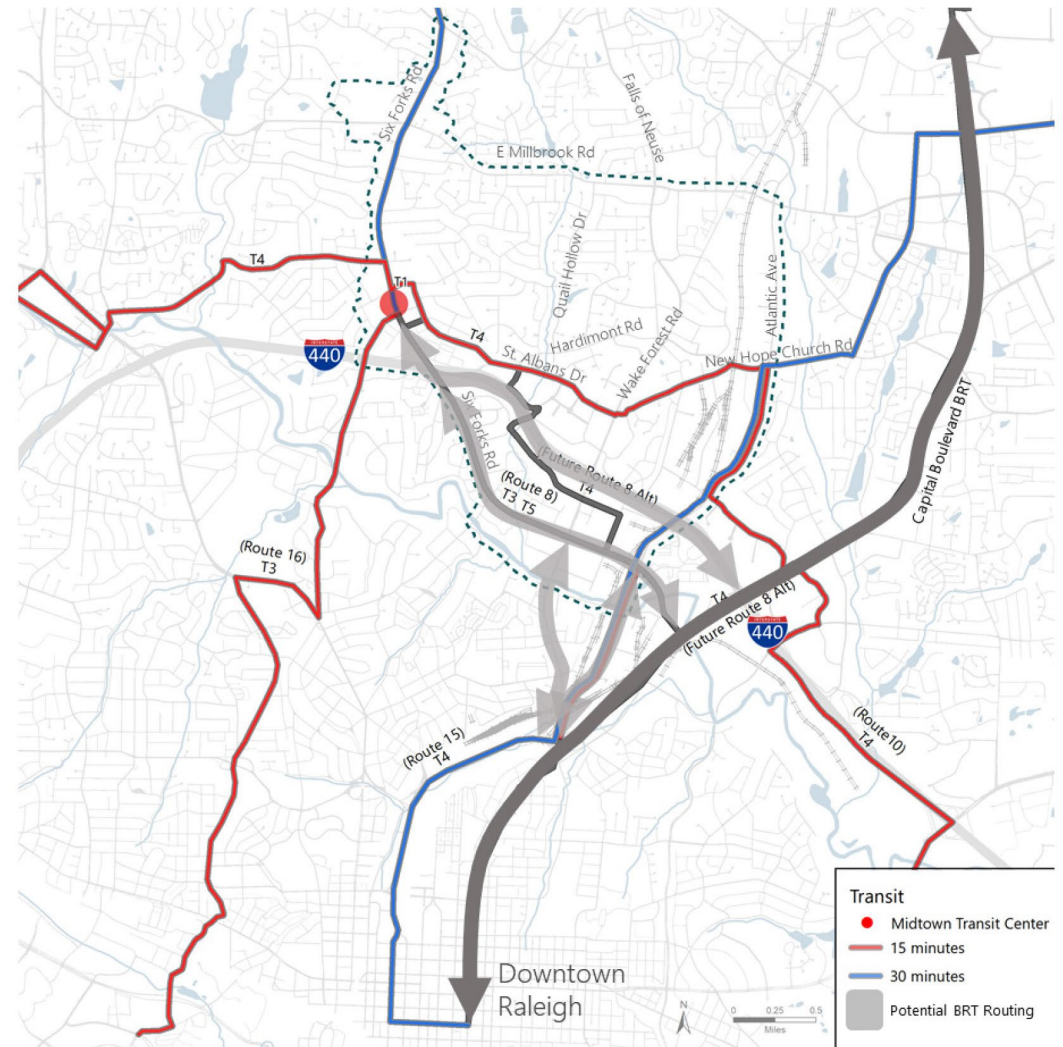
- Handle transportation through a grid, not widening
- Provide alternatives to busy arterials
- New streets will be friendly for people walking, not just for cars
- Key connections:
  1. Wake Forest parallel network
  2. St. Albans parallel/440 bridge
  3. Six Forks-Capital connector
  4. “Ocean connector” (Pacific-Atlantic)

Supports multiple survey priorities  
(transportation options and reliability,  
walkability)



# Big Move 4: Serious Transit

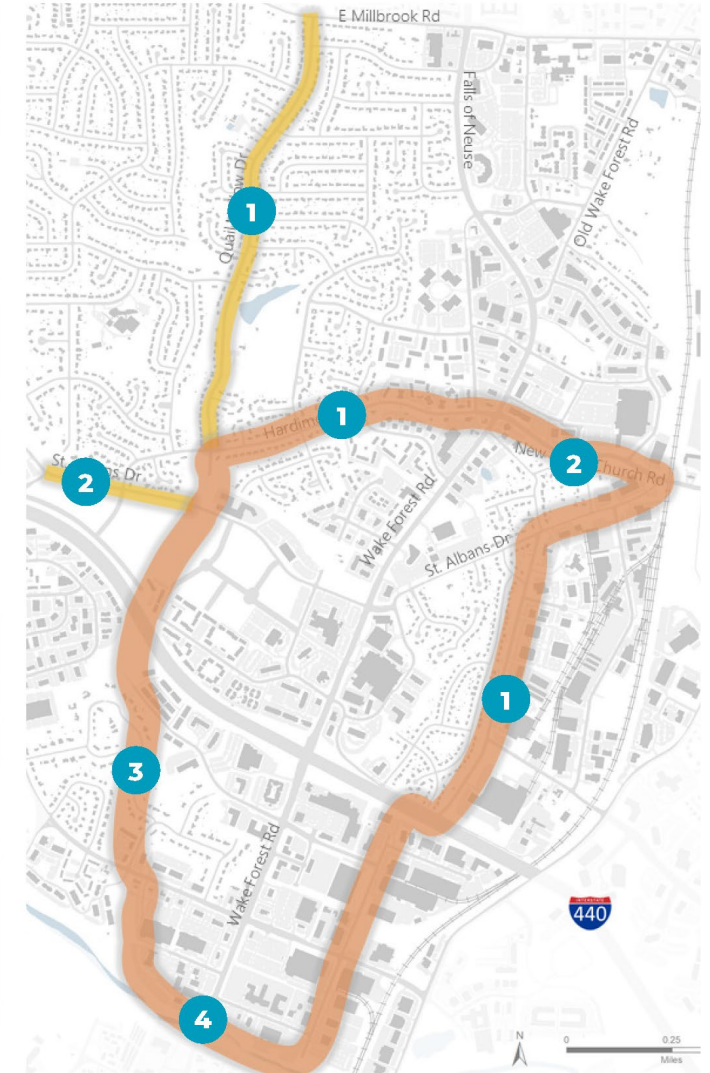
- Phase 1: Frequent Transit
    - 15-minute routes to:
      - Downtown
      - N.C. State
      - Beltline parallel route to Crabtree/WakeMed
  - Phase 2: BRT Connection
    - Study feasibility and route options
- Survey: Transit frequency the **number one** factor in making transit more usable





# Big Move 5: The Midtown Ring

- A safe and comfortable way to connect to all destinations in Midtown
  - Uses greenways, new bridges, protected bike lanes, and green streets
  - Provides space for recreation, no-carbon transportation
- Survey: Only 8 percent are comfortable walking or biking – but 78 percent would walk/bike more if safe places are built
  - Walkability the **number 1** priority for participants







Raleigh

# Big Move 5: The Midtown Ring



The Ring will include both off-street (above) and protected off-street segments (below).



*The Little Sugar Creek Greenway In Charlotte*



# Big Move 6: Midtown Living/Midtown Works

- Land use and urban form recommendations in a few key areas. Goals include:
  - Allow housing and employment opportunities
  - Incentivize affordable housing
  - Ensure gentle transitions between taller mixed-use areas and lower-scale residential areas
  - Ensure buildings create a comfortable pedestrian experience



- Survey: Housing affordability a top-5 issue in upper half of priorities; only 27 percent say growth should be accommodated elsewhere



# Big Move 7: Midtown Waterfront District

- Vacant/underused properties between Beltline and Crabtree Creek are seeing redevelopment interest
- Opportunity to create a first in Raleigh: an urban waterfront district
- Industrial Drive becomes the walkable “Main Street” connecting the Beltline bike/ped bridge to the Crabtree waterfront

Survey: Park space a **top-three** priority; Waterfront park **top three** in “Midtown Bucks” exercise

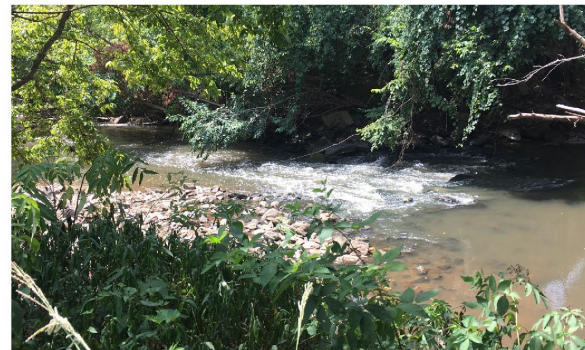




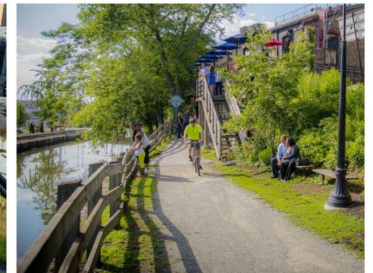
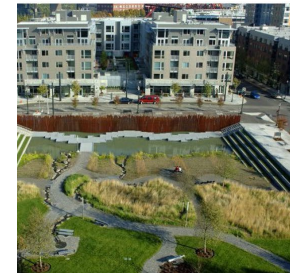
# Big Move 7: Midtown Waterfront District

- Midtown currently turns its back on the Crabtree
- Plan envisions reversing that and creating a focal point
- A resilient waterfront park does double duty as public space and stormwater control
- Involves acquiring relatively inexpensive parcels in floodplain

Waterfront now



Precedents





Existing Greenway and  
future connection to  
North Hills

Pedestrian Bridge

Greenway-  
facing  
restaurant  
and retail

South Side Greenway  
(future)

Crabtree Greenway

Pedestrian Bridge

Wake Forest Road

Creekside Drive

Six Forks Road

Industrial Drive "Main Street"

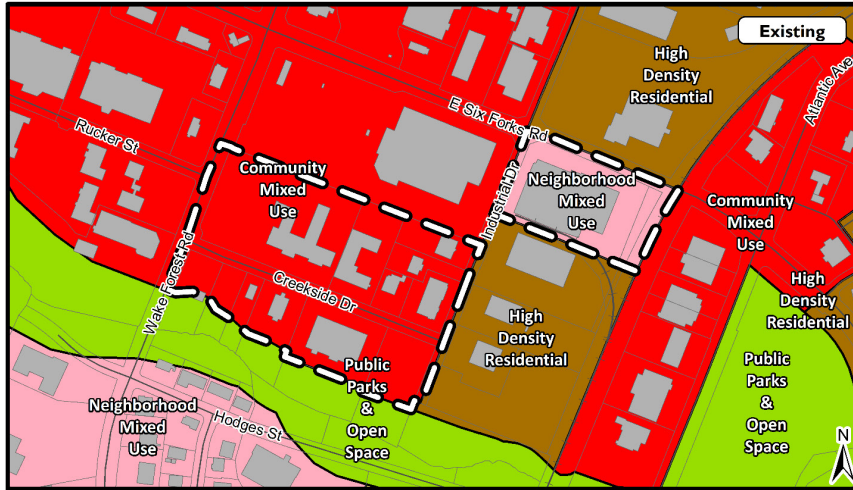
Waterfront  
Park

The  
Midtown  
Waterfront  
District

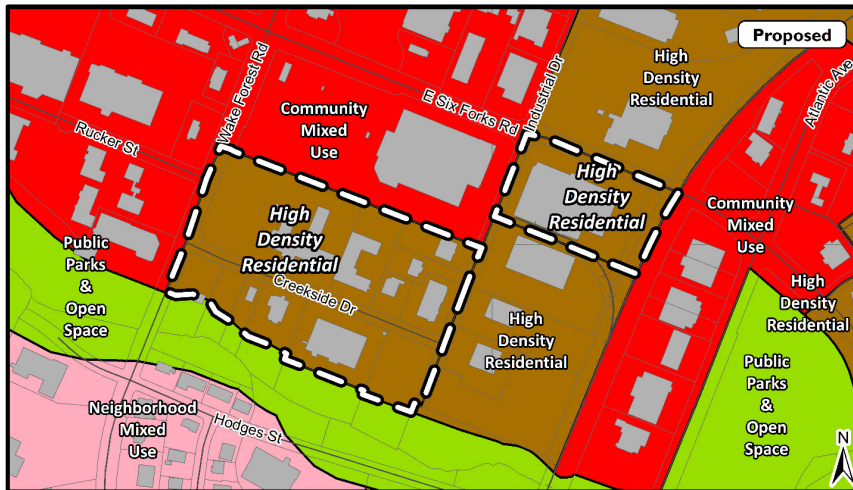


## Proposal to Amend the Future Land Use Map

Existing Designation: Neighborhood Mixed Use and Community Mixed Use



Proposed Designation: High Density Residential

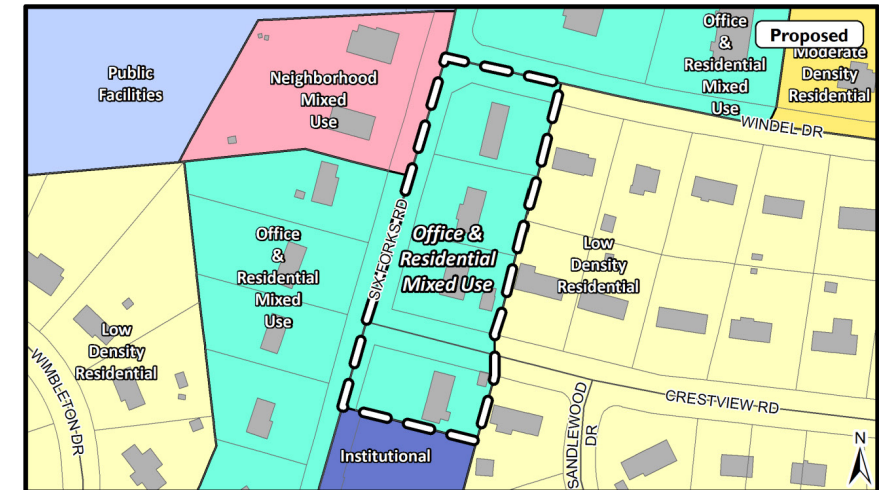


## Proposal to Amend the Future Land Use Map

Existing Designation: Low Density Residential



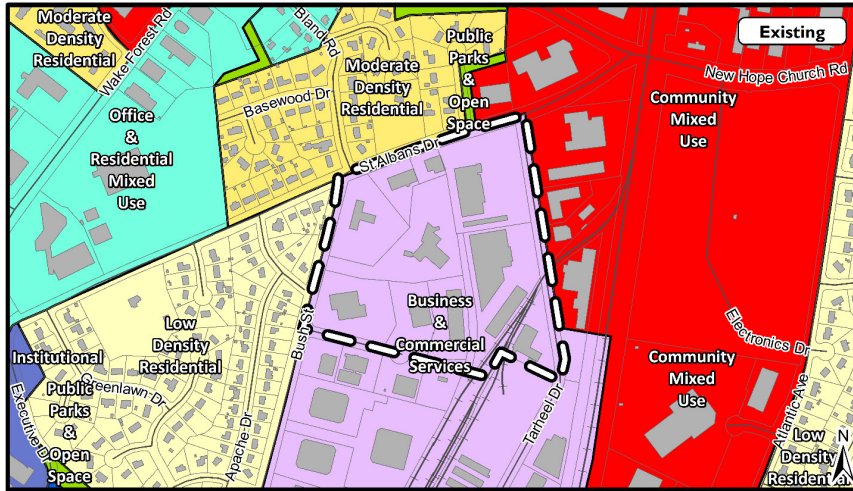
Proposed Designation: Office & Residential Mixed Use



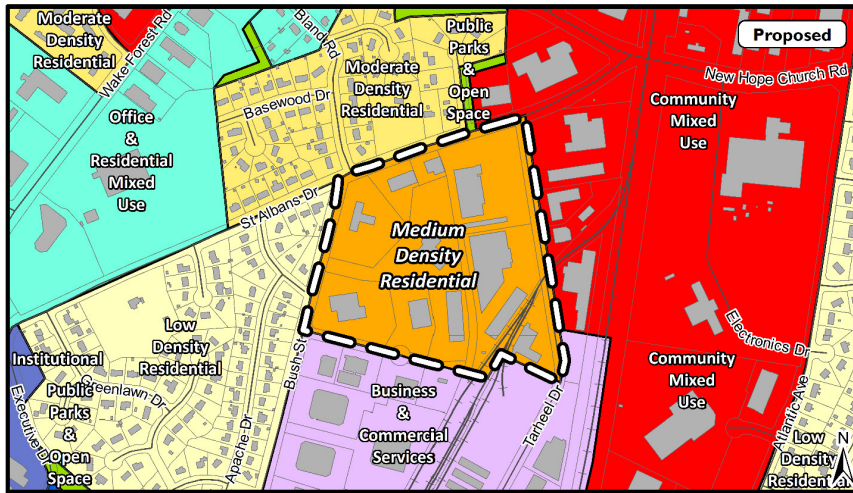


## Proposal to Amend the Future Land Use Map

Existing Designation: Business & Commercial Services

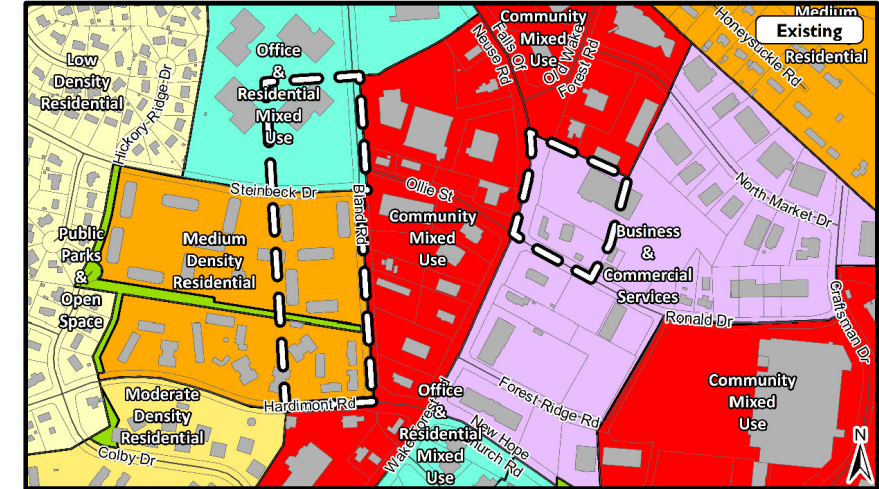


Proposed Designation: Medium Density Residential

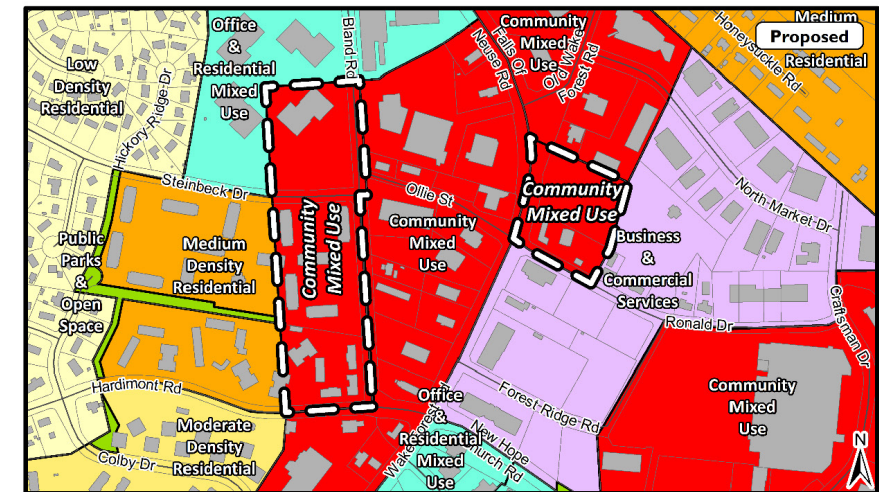


## Proposal to Amend the Future Land Use Map

Existing Designation: Medium Density Residential, Office & Residential Mixed Use, Business & Commercial Services, and Public Parks & Open Space



Proposed Designation: Community Mixed Use

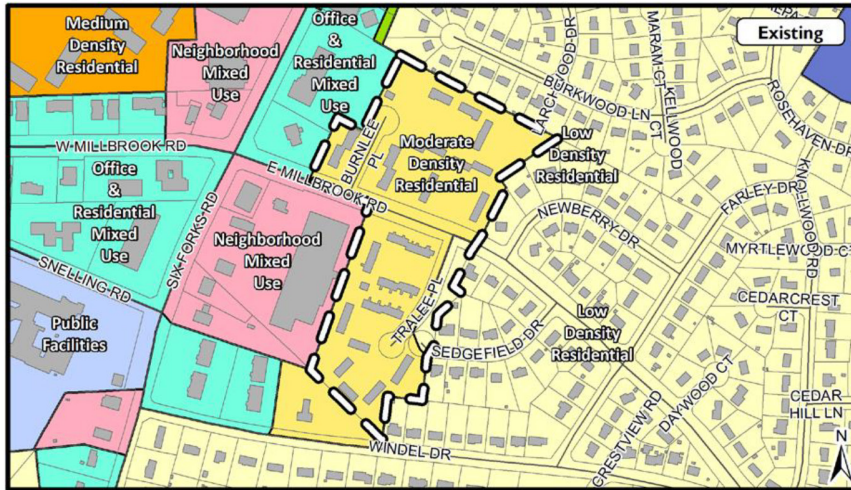




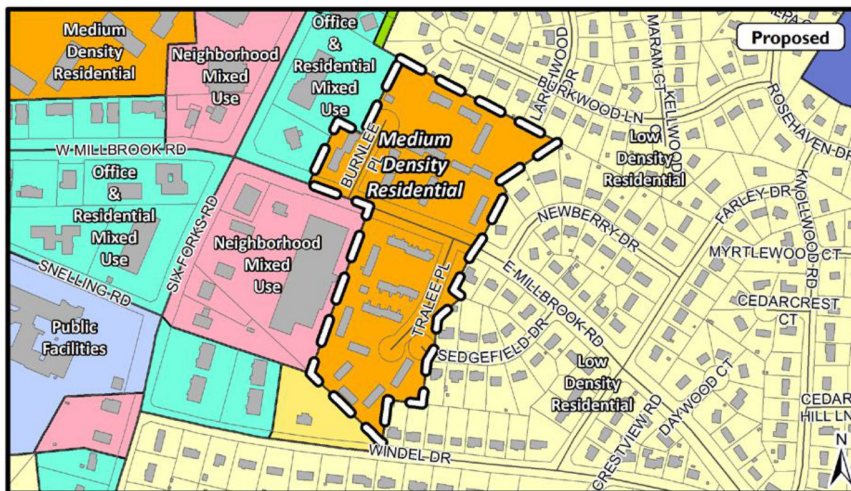
# Living/Midtown Works

## Proposal to Amend the Future Land Use Map

Existing Designation: Moderate & Low Density Residential



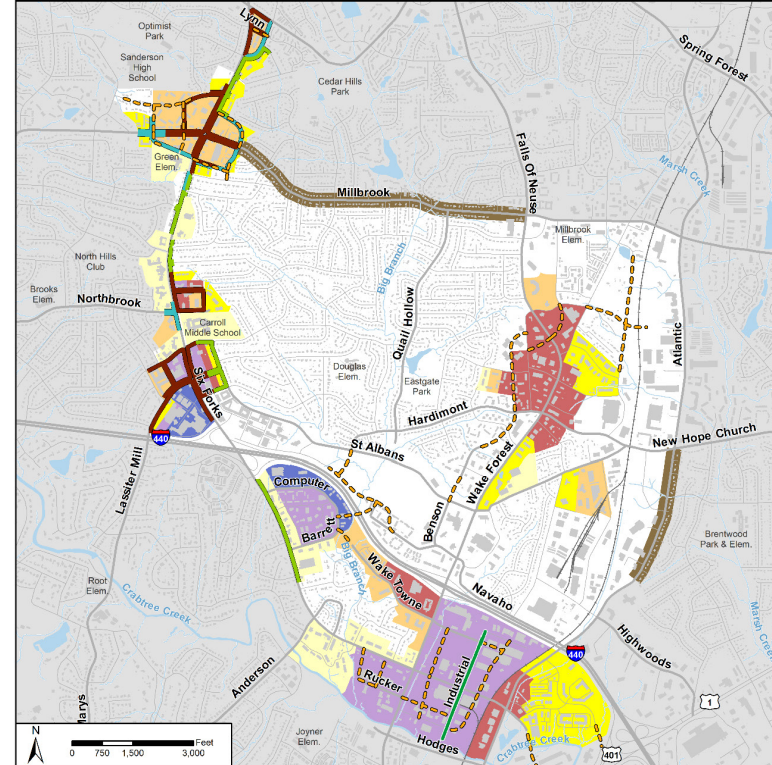
Proposed Designation: Medium Density Residential





Map AP-MT1: Midtown Land Use / Urban Form

Adopted: TBD



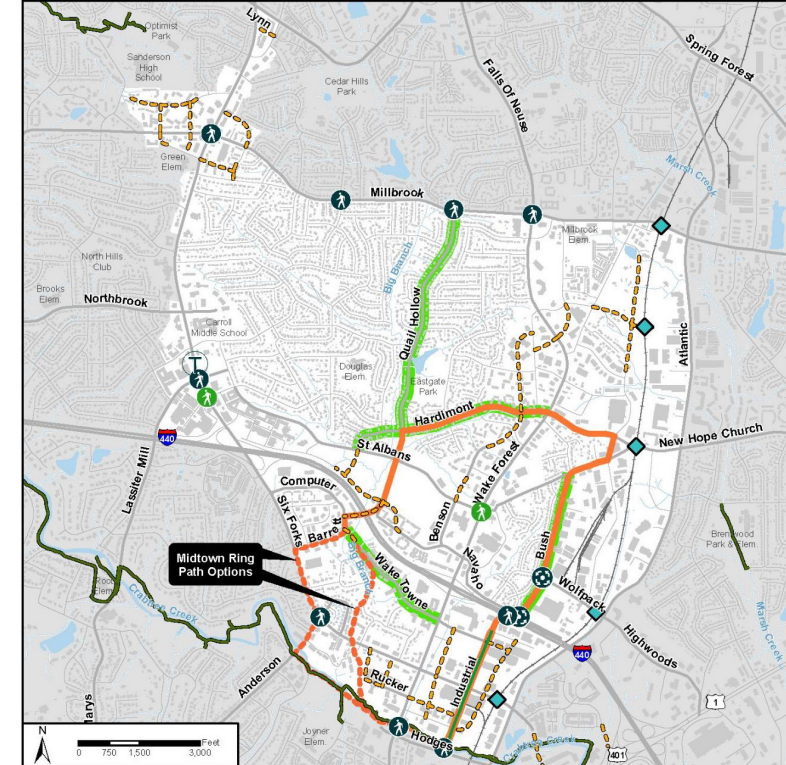
- |   |                |
|---|----------------|
| --- Proposed Street                             | 3 stories      |
| --- Proposed "Waterfront District" Main Street* | 4 stories      |
| --- Additional Housing Type Opportunities       | 5 stories      |
| <b>Recommended Zoning Frontage</b>              | 5 - 7 stories  |
| --- Green                                       | 7 - 12 stories |
| --- Urban Limited                               | 20 stories     |
| --- Parking Limited                             |                |

\*see policy guidance for specifics

Map created 4/13/2020 by the Raleigh Department of City Planning

Map AP-MT2: Midtown Transportation

Adopted: TBD



- |   |   |
|---|---|
| ⓧ Proposed Transit Hub                  | --- Proposed Street                             |
| ◆ Proposed Grade Separation             | --- Proposed Green Streets                      |
| ⓧ Proposed Pedestrian & Bike Facilities | --- Proposed "Waterfront District" Main Street* |
| ⓧ Proposed Bike/Ped Overpass            | --- Proposed Midtown Ring*                      |
| ⓧ Proposed Roundabout Location          | --- Existing Greenway Trail                     |

\*see policy guidance for specifics

Map created 5/15/2020 by the Raleigh Department of City Planning



# Next Steps

- Planning Commission will review and make recommendation to City Council
- Meeting next Thursday at 4 p.m. Can comment in person or send email to Commission
- City Council will hold a public hearing once they receive a recommendation
- Implementation will begin with high-priority projects

