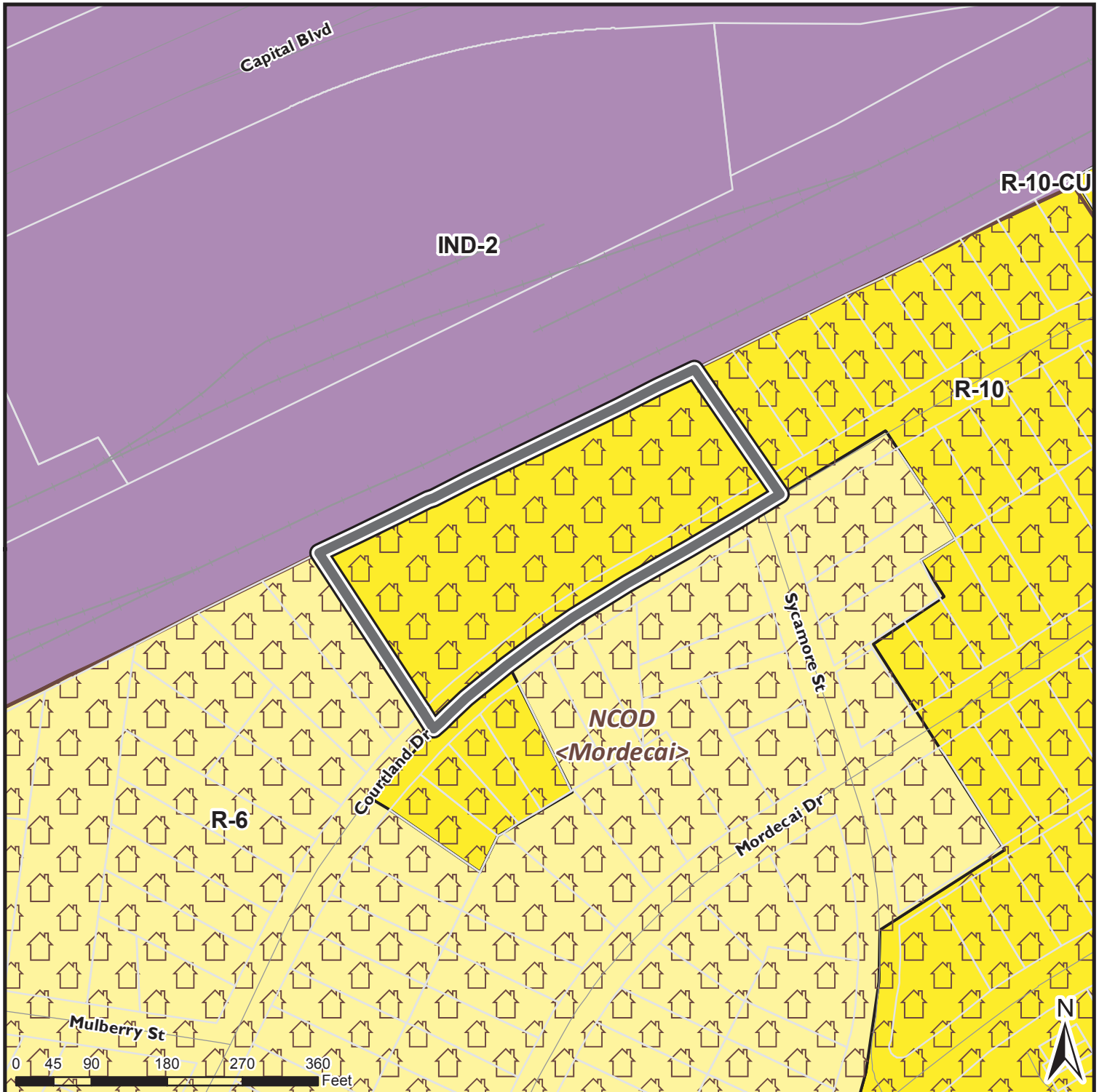


Existing Zoning Map

Z-40-2015



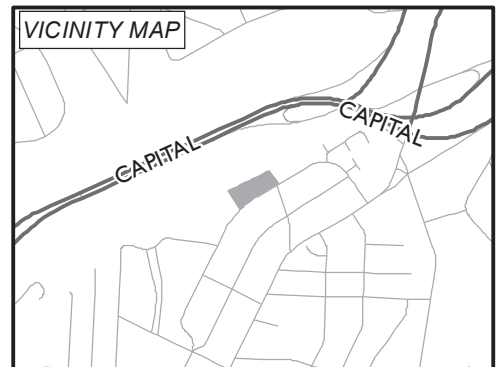
**Submittal
Date**

10/21/2015

Request:

**1.97 acres from
R-10 w/NCOD
to PD**

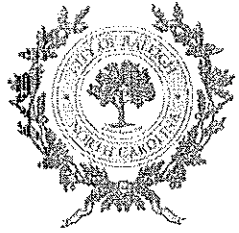
VICINITY MAP



OCT 21 2015 PM 3:0

Nivan Ekstrom master Plan
Trans# 450875

OCT 21 2015 PM 3:0



Planning & Development

**Development Services
Customer Service Center**
One Exchange Plaza
1 Exchange Plaza, Suite 400
Raleigh, North Carolina 27601
Phone 919-996-2495
Fax 919-516-2685

Rezoning Application

Rezoning Request	OFFICE USE ONLY
<input type="checkbox"/> General Use <input type="checkbox"/> Conditional Use <input checked="" type="checkbox"/> Master Plan	Transaction Number
Existing Zoning Classification Residential-10-NCOD Proposed Zoning Classification Base District PD Height Frontage	443721 Z-40-15
If the property has been previously rezoned, provide the rezoning case number.	
Provide all previous transaction numbers for Coordinated Team Reviews, Due Diligence Sessions or Pre-Submittal Conferences.	

GENERAL INFORMATION		
Property Address 1335 Courtland Drive		Date 10/19/2015
Property PIN 1704965009	Deed Reference (Book/Page) 016104/02058	
Nearest Intersection Courtland Drive & Sycamore Street		Property size (in acres) 1.94
Property Owner/Address 1335 Courtland LLC 1101 Haynes St., Ste 100 Raleigh, NC 27604-1455		Phone 919-398-3927
		Fax 919-516-0705
		Email stuart@fivehorizonsdevelopment.com
Project Contact Person/Address C. Ross Massey, PE Director of Civil Engineering Services Edensland 2314 S. Miami Blvd., Ste 151, Durham, NC 27703		Phone 919-316-1855
		Fax n/a
		Email ross.massey@edensland.com
Owner/Agent Signature 		Email stuart@fivehorizonsdevelopment.com

Stuart C. Cullinan

A rezoning application will not be considered complete until all required submittal components listed on the Rezoning Checklist have been received and approved.



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Rezoning Application Addendum

Comprehensive Plan Analysis	OFFICE USE ONLY
The applicant is asked to analyze the impact of the rezoning request. State Statutes require that the rezoning either be consistent with the adopted Comprehensive Plan, or that the request be reasonable and in the public interest.	Transaction Number 443721 Zoning Case Number Z-40-15

STATEMENT OF CONSISTENCY	
Provide brief statements regarding whether the rezoning request is consistent with the future land use designation, the urban form map and any applicable policies contained within the 2030 Comprehensive Plan.	
1.	The ProperFuture Land Use Map,ty is designated Moderate Density Residential. The proposed single family detached and townhome uses are consistent with the
2.	The Property is not located within areas or corridors designated on the Urban Form Map.
3.	The proposed zoning amendment is consistent with the applicable policies of the Comprehensive Plan including the following Policy Statements:
4.	LU 2.2 Compact Development, LU 7.6 Pedestrian Friendly Development, LU 8.10 Infill Development Neighborhoods, and LU 8.12 Infill Compatability

PUBLIC BENEFITS	
Provide brief statements regarding the public benefits derived as a result of the rezoning request.	
1.	The map amendment would allow for the continued development opportunity of residnetial development with smaller compact sustainable strategies.
2.	The map amendment would support the neighborhood be consistent with older neighborhood residential character.
3.	
4.	



09/28/2015

RE: Courtland Street Residential

Neighboring Property Owners:

You are invited to attend a neighborhood meeting on October 13th, 2015. The meeting will be held at Mordecai Historic Visitors Center, located at 1101 Wake Forest Road (corner of Wake Forest Rd and Cedar Street), Raleigh, NC 27604 and will begin at 7:30 pm as part of the Mordecai Citizens Advisory Committee (CAC) regular meeting.

The purpose of this meeting is to discuss a potential rezoning of the property located at 1335 Courtland Drive in Raleigh, North Carolina. The current zoning of the property is R-10 (Residential-10) with NCOB (Neighborhood Conservation Overlay District) and is proposed to be rezoned to PD (Planned Development).

The City of Raleigh requires that prior to the submittal of any rezoning application, a neighborhood meeting involving the property owners within 100 feet of the area requested for rezoning.

If you have any concerns or questions, please contact me by email at ross.massey@cdensland.com or by calling (919)-316-1855.

Thank you,

EDENS LAND

A handwritten signature in dark ink, appearing to read 'C. Ross Massey'.

C. Ross Massey, PE
Director of Civil Engineering Services

- C: Stuart Cullinan, Five Horizons Development
Kim Gazella, CAC Co-chair
Damon Vaughn, CAC Co-chair
Doug Hill, AICP, Planner II, Department of City Planning
Vivian Ekstrom, Planner, Department of City Planning

SUMMARY OF ISSUES

A neighborhood meeting was held on October 13, 2015 to discuss a potential rezoning located at 1335 Courtland Ave., Raleigh, NC 27604. The neighborhood meeting was held at the Mordecai Visitor's Center, 1101 Wake Forest Rd., Raleigh, NC 27604 as part of the Mordecai CAC meeting. There were approximately 40 neighbors in attendance.

Summary of Issues:

- Location of driveways and building footprints
- Location/adequacy of guest parking or any alley surface parking spots
- Concerns about increased parking on Courtland Dr.
- Discussed appropriate building height, 3 stories maximum.
- Concerns about location of alley exit and associated car lights and entry/exit traffic.
- Discussed location of construction staging/unloading at the rear of the property to minimize impacts to residents.
- Discussed the building setbacks and location/dimensions of front porches.
- A HOA will be created to manage the open space elements.
- Discussion of the proposed grading.
- Discussion of the anticipated schedule for rezoning.
- Feasibility of piping the storm water channel/overgrown vegetation concerns
- Permanence of storm water device.
- Drainage impacts to existing properties on Courtland Dr.

not enough parking
compact cars only?

impacts on drainage
at 1401 Courtland Dr.

1335 Courtland Drive Rezoning – October 13, 2015

Attendance Roster:

Name

Address

KATHLEEN "KITTY" SMITH

1336 COURTLAND DR

Sean Farres

1334 Courtland DR

Kate Biegler

1415 Courtland Dr.

Katie Thompson

1405 Sycamore St.

Carrie Clark

1401 Courtland Dr.

William Delaney

1104 Mordocai^{dr}

Damon Vaughn

1203 Seifton

1335 Courtland Drive - Mailing List

RHODES, JAYME SHANNON
1327 COURTLAND DR
RALEIGH NC 27604-1370

TOWER, DANIEL TORRINGTON, MATTHEW
1329 COURTLAND DR
RALEIGH NC 27604-1370

FLEMING, LEON T JR
1331 COURTLAND DR
RALEIGH NC 27604-1370

MANN, JUDITH BRAME
1328 COURTLAND DR
RALEIGH NC 27604-1341

SCHWARZ, TAWNEY
1330 COURTLAND DR
RALEIGH NC 27604-1341

DALALAU, PAUL J
1133 MANHATTAN AVE
BROOKLYN NY 11222-1031

FARRES, SEAN MICHAEL
1334 COURTLAND DR
RALEIGH NC 27604-1341

SMITH, KATHLEEN M
1336 COURTLAND DR
RALEIGH NC 27604-1341

GREENSPAN, MICHAEL
5805 NORWOOD OAKS DR
RALEIGH NC 27614-9105

222 ELM LLC
627 W LANE ST
RALEIGH NC 27603-1410

1335 COURTLAND LLC
1101 HAYNES ST STE 100
RALEIGH NC 27604-1455

SELFRIIDGE INVESTMENTS LLC
3620 WILLIAMSBOROUGH CT
RALEIGH NC 27609-6356

CLARK, CARRIE
1401 COURTLAND DR
RALEIGH NC 27604-1316

LOWRY, GAYLE STOTT
1410 SYCAMORE ST
RALEIGH NC 27604-1325

MEDFORD, W MARC JR
1403 COURTLAND DR
RALEIGH NC 27604-1316

BIBB, JOHN S III VIAL, BARRY WAYNE
1405 COURTLAND DR
RALEIGH NC 27604-1316

NOLTING, MATTHEW RAY
1408 SYCAMORE ST
RALEIGH NC 27604-1325

THOMPSON, JAMES THOMPSON, KATHERINE
1405 SYCAMORE ST
RALEIGH NC 27604-1324

MASTER PLAN
“1335 COURTLAND DRIVE”
PLANNED DEVELOPMENT (PD)
+/- 1.969ACRES

MP-1-15

Developer: Stuart Cullinan
Five Horizons Construction LLC
310 Heck Street
Raleigh, North Carolina 27601
stuart@fivehorizonsdevelopment.com

Civil Engineering: C. Ross Massey, PE
Edens Land Corp.
2314 S. Miami Blvd., Suite 151
Durham, North Carolina 27703
ross.massey@edensland.com

Submitted: October 21, 2015

Resubmitted: January 04, 2016

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16. MASTER PLAN - PLAN SHEETS
17. COMMON SIGNAGE PLAN (Not Used)

1. SUMMARY INFORMATION:

- A. Name of Development: 1335 Courtland Drive
- B. Name of Owners: Five Horizons Construction LLC
- C. Applicant: Stuart Cullinan
Five Horizons Construction LLC
310 Heck Street
Raleigh, North Carolina 27601
stuart@fivehorizonsdevelopment.com

2. PROPERTY INFORMATION:

1335 Courtland Drive is located on the north side of Courtland Drive, is in the Mordecai Neighborhood Conservation Overlay District 1 and is Wake County PIN 1704965009 (the “Property”). It is approximately 1.969 acres to be rezoned from Residential-10-NCOD to Planned Development (PD) District with PD Master Plan.

- Mordecai Place Historic District Overview

The site is located in the Mordecai Place Historic District that was established in 1997 with the National Register of Historic Places and expanded in 2000 by one property. Buildings on the site are listed as non-contributing. Excerpts of the historic district physical description includes:

Architectural Classification

- Bungalow
- Colonial Revival
- Tudor Revival
- Georgian Revival
- Spanish Revival
- Italian Renaissance Revival
- Other: Minimal Traditional

Materials

- Foundation: brick
- Walls: wood, brick, stucco

- Roof: asphalt, metal
- Other: stone, synthetics

Physical Description (key descriptors)

...Mordecai Place Historic District includes approximately fifteen blocks of frame and brick buildings, principally single-family residences, constructed between c. 1916-1947....seventy-five percent of resources are contributing, and twenty-five percent are non-contributing....The historic district contains a broad range of house types located on small lots. The mix of types includes bungalows, Foursquares, I-houses, Cape Cods, and various period revival styles popular in the early twentieth century, including Georgian and Colonial Revival, Tudor, Dutch Colonial Revival, Spanish Mission, and Italian Renaissance Revival. There are also some modest post-Depression and War II-era houses Minimal Traditional Elements. Some of the lots contain small modern sheds located at the rear, but these structures, generally not visible from the street, do not detract from the overall character of the historic district. The Mordecai neighborhood, with its rich variety of house types and forms is an excellent example of the housing developments that existed before modern suburban tract house developments. The typical house in the Mordecai neighborhood occupies more of its small lot than is usually found in post-World War II suburban development, giving it a pedestrian-scaled environment....

3. INTRODUCTION:

This document and the accompanying attachments and exhibits submitted herewith are provided pursuant to the provisions of the Unified Development Ordinance (the “UDO”) dealing with the Planned Development District (“PD”) for the 1335 Courtland Drive, a small format urban home community (the “Development”) proposed by Five Horizons Construction LLC (the “Developer”). Development of the Property will be in accordance with the Master Plan associated with the zoning case, refer to Section 16 - Appendices for the Master Plan sheets. The Development will be a pedestrian-oriented, urban infill residential development with detached single family uses and townhome uses consistent with the nature of the residential uses in the vicinity. The existing conditions of the properties include three apartment buildings with surface

parking. The property is bounded by Courtland Drive (South), CSX Railroad (North), and detached residential (East and West).

Except as noted in this PD Master Plan; development in the PD must conform to all applicable provisions of the UDO.

4. LAND USE INTENSITY:

A. Land use shall be according to UDO table 6.1.4 Allowed Principal Use Table for zoning district R-10. Accessory uses and structures will be according to UDO Article 6.7.

B. Residential density overall shall not exceed ten (10) dwelling units per acre.

C. Land Use Plan:

A conceptual Overall Site Plan ("Land Use Plan") is included with this Master Plan (see Plan Sheet DV3). The Land Use Plan is intended to provide a general idea as to the development concept proposed by the Master Plan, but shall not be considered a literal depiction of the Development. This neighborhood may provide a mix of residential detached houses and townhomes. The pedestrian scaled relationship of the buildings will form the framework of the streets will fit the more urban character of the new development.

D. Neighborhood Transitions:

Neighborhood transitions will follow UDO Article 3.5. Neighborhood Transitions are only applicable when they are either "a mixed use district" or a campus district" adjacent to a residential district.

5. TRANSPORTATION INFORMATION:

The current property includes twenty (20) apartment units. Trip generations per the ITE manual are as follows:

A. Existing Use: ITE Land Use Code 220 - 20 apartments

246 average trips per day

14 peak hour AM trips per day

29 peak hour PM trips per day

B. Proposed Use: ITE Land Use Code 210 - 17 detached single family and 2 townhomes

174 average trips per day

14 peak hour AM trips per day

18 peak hour PM trips per day

Due to the small size of the development the traffic impacts would be minimal and is

anticipated to have a negligible impact on traffic operations on the surrounding road network.

6. CIRCULATION PLAN:

A. The Development will provide an internal street network (Proposed Neighborhood Yield Street) that connects thru traffic to the existing Courtland Drive. Street Design will meet the requirements of the UDO Article 4.7.2(f) and applicable street sections of the Street Design Manual or as modified under section 12 Alternate Design. Street widths shall be as follows:

1. Courtland Drive: Shall meet the standards of the Street Design Manual for roadway cross-section widths: 4.2.2 Neighborhood-Local-Street.
2. Street A: Shall meet the standards of the Street Design Manual for roadway cross-section widths: 4.2.1. Neighborhood-Yield-Street or as modified under section 12 Alternate Design.

B. Sidewalk locations and widths shall be as follows:

1. Sidewalks will be located along both streets to provide connections for pedestrians.
2. Sidewalk widths shall meet the roadway sections specified in the Street Design Manual.

C. Driveway locations and widths shall be as follow:

1. Driveways shall meet the minimum width requirement specified in City of Raleigh standard details (T-10.01.2).
2. Corner lot Driveways shall have a distance from the end of the street curb radius to the beginning of the driveway radius of 1'.
3. Driveway aprons can be shared between lots but shall not be greater than the maximum residential driveway width specified in City of Raleigh standard details (T-10.01.2).
4. Driveway separation has no minimum between adjacent lots.

D. The site circulation including access points, public street and driveway locations, existing streets adjoining the site, and improvements to Courtland Drive are shown on the Detailed Layout Map (Sheet DV3).

7. UTILITY/STORMWATER INFORMATION

A. Utility Plan

The existing utility service locations for this project were obtained from field surveys of the site. Both water and sewer service is available on-site or in proximity to the site. A

conceptual water and sewer plan is illustrated in the Exhibit labeled Overall Utilities Plan (Sheet DV4)

1. Water Service: 12-inch waterline within Courtland Drive right-of-way
2. Sewer Service: 6-inch sewer line within Courtland Drive right-of-way
8-inch sewer through Property line within 20' width easement

B. Storm Water Management Plan

1. The site as currently developed has no stormwater management. A non-jurisdictional channel bi-sects the site. The channel is a tributary to Pigeon House Branch that is within the Neuse River Basin. There are no identified Neuse Riparian Buffer features on the site.

2. Best Management Practices (BMPs) may be utilized to meet UDO Article 9.2 Stormwater Management if deemed required at Subdivision Review. All BMP measures included in the “North Carolina Division of Water Quality Stormwater Best Management Practices Manual” may be utilized. These BMPs will be selected based on drainage area, type of stormwater (i.e. rooftop drainage), and located as needed.

3. Conditions:

- All major design elements listed in the current “North Carolina Division of Water Quality Stormwater Best Management Practices Manual” for the selected BMP must be met in order to claim TN reduction credit for the device. This must be demonstrated at the subdivision plan submittal.

8. OPEN SPACE REQUIREMENT/GREENWAY/TREE PRESERVATION

A. Open Space Requirement

A minimum of ten percent (10%) of the Development will be devoted as an open space area and meet the requirements specified in the UDO Article 2.5. The open space area is illustrated on the Overall Site Plan (Sheet DV3).

B. Greenway

There are no greenways within close proximity to the site.

C. Tree Conservation

The proposed development is less than two acres and is therefore exempt from the 10% Tree Conservation Area Requirement (min.) per UDO Article 9.1.3.

9. BUILDINGS AND HEIGHTS

A. Layout Requirements:

1. Homes along Courtland Drive shall front Courtland Drive but have driveway service off on an internal street network where available.
2. All the homes facing the internal street network will include front porches or stoops. Stoops may be recessed.
3. All homes facing Courtland Drive may have porches or stoops although shall not be required to have front porches or stoops.

4. Building heights shall be measured in accordance with UDO Article 1.5.7. Refer to Section 10. Yard Setbacks/Building Characteristics for building heights.

5. Trash receptacles and HVAC units will be screened with fencing suitable for residential neighborhoods (See Sheet DV3).

B. Architectural Requirements:

Only buildings with the characteristics noted, will be constructed in the Development:

a) Detached House

a. Primary Features

Format:	detached single family row homes
Height:	3 stories maximum and 38 feet maximum
Entrance:	front doors visible from street
Fenestration:	symmetrical patterns on front façade, noticeable lintels and sills of wood, brick, or cast cement
Roofs:	gable or hip primary roof

b. Masonry homes

Siding:	brick front facades, with sides and back in brick
Entrance:	covered front porches, minimum of 6' deep, wood front steps with wood balustrades

c. Clapboard homes

Siding:	fiber cement siding with corner boards
Entrance:	covered front porches, minimum of 6' deep, wood front steps with wood balustrades

b) Townhouse

a. Primary Features

Format:	shed attached town homes
Height:	3 stories maximum and 38 feet maximum
Entrance:	covered front porches, minimum of 6' deep, wood front steps with wood balustrades

Fenestration: symmetrical patterns on front façade, square cut casements

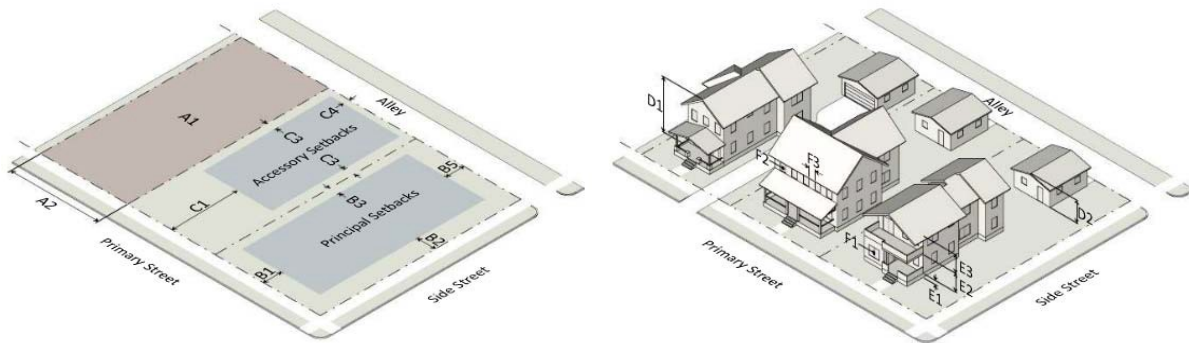
Roofs: gable or hip primary roof

Siding: fiber cement siding with corner boards

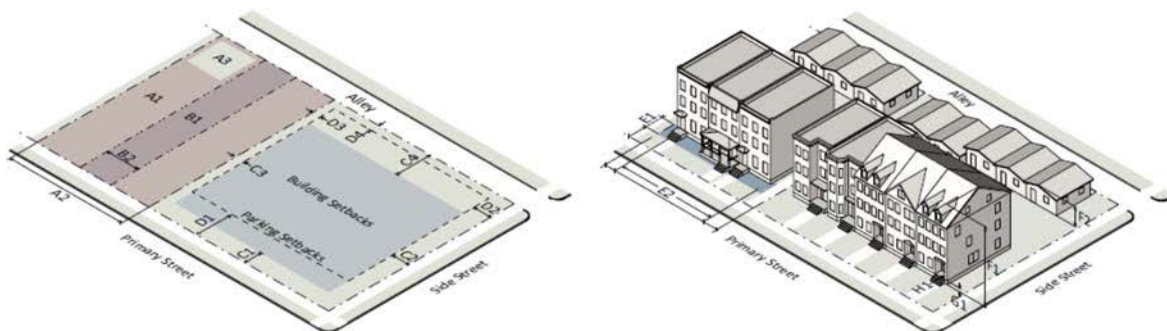
10. YARD SETBACKS/BUILDING CHARACTERISTICS

- A. The Schedule of minimum /maximum yard setbacks are shown below. The building placement will be similar to historic neighborhoods providing a compact, pedestrian oriented neighborhood, while also providing sufficient parking and community gathering spaces.
- B. Building Setback Encroachments will be as set forth in the UDO Sec. 1.5.4. D Setback Encroachments. Porches, stoops, balconies, galleries and awnings and steps as set forth in the UDO Sec 1.5.11.

Detached House:



Townhouse:



Setbacks/Building Characteristics:

	<u>DETACHED HOUSE</u>			
<u>A.</u>	<u>Lot Dimensions</u>	<u>R-10</u>	<u>NCOD</u>	<u>PD</u>
A1	Area (min)	4,000 SF	7,256 SF (14,520 SF max)	1,500 SF
A2	Width (min)	45'	50' (100' max)	27'
A2	Width – corner lot (min)	60'		30'
A3	Depth (min)	60'		56'
A4	Density (max)	10 u/a		10 u/a
<u>B.</u>	<u>Principal Building Setbacks</u>	<u>R-10</u>		<u>PD</u>
B1	From primary street (min)	10'	35'	10' (20' lots 17, 18, and 19)
B2	From side street (min)	10'		3'
B3	From side lot line (min)	5'		2'
B4	Sum of side setbacks (min)	10'		7'
B5	From rear lot line (min)	20'		10'
B6	Residential infill rules may apply	yes		N/A
<u>C.</u>	<u>Accessory Structure Setbacks</u>	<u>R-10</u>		<u>PD</u>
C1	From primary street (min)	50'		36'
C2	From side street (min)	20'		3'
C3	From Side lot line (min)	5'		0'
C4	From rear lot line (min)	20'		0'
C4	From alley	4' or 20' min		4'
<u>D.</u>	<u>Height</u>	<u>R-10</u>		<u>PD</u>
D1	Principal building (max)	40'/3 stories	35'	38'/3 stories
D2	Accessory structure (max)	25'		25'
D3	Residential infill rules may apply	yes		N/A
<u>E.</u>	<u>Ground Floor Elevation</u>	<u>R-10</u>		<u>PD</u>
E1	20' or less from front property line (min)	2'		2'
E2	More than 20' from front property line (min)	n/a		n/a
<u>F.</u>	<u>Allowed Building Elements</u>	<u>R-10</u>		<u>PD</u>
	Porch, stoop	Allowed		Allowed
	Balcony	Allowed		Allowed

	<u>TOWNHOUSE</u>			
A.	<u>Site Dimensions</u>	<u>R-10</u>	<u>NCOD</u>	<u>PD</u>
A1	Area (min)	3,300 SF	7,256 SF (14,520 SF max)	3,300 SF
A2	Width (min)	16'	50' (100' max)	16'
A3	Outdoor amenity area (min)	10%		10%
A4	Density	10 u/a		10 u/a
B.	<u>Lot Dimensions</u>	<u>R-10</u>		<u>PD</u>
B1	Area (min)	n/a		n/a
B2	Width (min)	16'		16'
C.	<u>Building/Structure Setbacks</u>	<u>R-10</u>		<u>PD</u>
C1	From primary street (min)	10'	35'	10'
C2	From side street (min)	10'		3'
C3	From Side lot line (min)	0'-6'		0'
C4	From rear lot line (min)	20'		10'
C4	From alley	4' or 20' min		4'
C5	Residential infill rules may apply	yes		no
D.	<u>Parking Setbacks</u>	<u>R-10</u>		<u>PD</u>
D1	From primary street (min)	20'		0'
D2	From side street (min)	10'		3'
D3	From side (min)	0'-3'		0'
D4	From rear lot line (min)	23'		14'
D4	From alley, garage only (min)	4'		4'
E.	<u>Build-to (Site)</u>	<u>R-10</u>		<u>PD</u>
E1	From primary street (min/max)	10'/30'		10'/30'
E2	Building width in the primary build-to (min)	70%		70%
F.	<u>Height</u>	<u>R-10</u>		<u>PD</u>
F1	Principal building (max)	45'/3 stories	35'	38'/3 stories
F2	Accessory structure (max)	25'		25'
F3	Residential infill rules may apply	yes		N/A
G.	<u>Ground Floor Elevation</u>	<u>R-10</u>		<u>PD</u>
G1	Within build-to(min)	2'		2'
G1	Outside of build-to (min)	n/a		n/a
H.	<u>Pedestrian Access</u>	<u>R-10</u>		<u>PD</u>
H1	Street-facing entrance required for units fronting	yes		yes
L	<u>Allowed Building Elements</u>	<u>R-10</u>		<u>PD</u>
	Porch, stoop	Allowed		Allowed
	Balcony	Allowed		Allowed

11. URBAN DESIGN GUIDELINES

- A. Elements: The development will be a pedestrian oriented, urban infill residential development with detached single family and townhouse uses arranged in a compact and pedestrian friendly form, and will not have retail or commercial establishments.
- B. Transition to Surrounding Neighborhoods: The height and massing of the development will closely be reflected in the Architectural Illustrations see Master Plan sheet DV7. Houses are brought close to the street to frame the street. Heights will be limited to no more than 3 stories and 38 feet tall.
- C. Blocks, Streets and the Corridor:
 - 1. *Interconnection*: The Development will have homes facing an existing road (Courtland Avenue), in keeping with the historic fabric of the neighborhoods in the area. An internal street network [Neighborhood Yield Street(s)] will be added with the same scale and design speed as the local neighborhood roads to connect directly into the existing road network.
 - 2. *Street Interconnection*: The internal streets [Neighborhood Yield Street(s)] will be designed to integrate effectively with the existing Courtland Drive and to circulate traffic with two points of connection point to Courtland Drive.
 - 3. *Blocks*: The maximum block perimeter will be 4,000 feet. The maximum dead end street will be 400 feet.
- D. Building placements:
 - 1. *Shared-Use*: All streets will be lined by single family homes or the open space.
 - 2. *Buildings Placement*: Each detached home will be located close to the primary street and townhomes will be within the Build-To limits and will have off-street parking provided between it and the adjacent, with driveways off the new internal streets (Neighborhood Yield Streets) as shown on sheet DV3. Note lots 16, 17, 18, and 19 will have driveways off of Courtland Drive.
- E. Urban Open Space:
 - 1. *Urban open space*: Open space and open space areas for “parks”, “green spaces”, and other open areas. The common open space for this development will be available by access from the internal street.
 - 2. *Amenity Area*: Amenity area will include a “parklet” style common area along Street A as shown on sheet DV3.
- F. Public Seating: (1) Bench(s) will be provided in the amenity area.
- G. Pedestrian, amenities: All the homes and common areas of the development will be connected via sidewalks. Sidewalks will be minimum width 6 feet or fee in lieu and will

be connected to the “parklet” style amenity and to the existing streetscape. Sidewalks will be lined with trees providing shade spaced s required by the Street Design Manual and interest foredestrians. A minimum of (2) bicycle parking spaces will be provided at the common area open space.

- H. Parking lots: Each detached home will provide its own off-street parking as mentioned before in Building Placements.
- I. Parking Structures: The Development will have no parking structures.
- J. Transit Stops: Courtland Drive is nearest to GoRaleigh Bus Route 3 - Glascock. The development is within easy walking distance of the Glascock Bus Route at the intersection of Poplar Street and Mordecai Street. A transit easement is not anticipated with the development.
- K. Environmental Protection: No impacts to natural resource areas are anticipated by the project.
- L. Sidewalks: Sidewalks shall conform to the Street Design manual.
- M. Street trees: Street trees shall conform to the Street Design Manual.
- N. Spatial definition: The height to width ratio of all buildings (detached homes and townhomes) will not exceed 1:3 height to width ratio.
- O. Street Design/Spatial Definition: buildings and street trees lines the street to make the street edge aligned in a disciplined manner.
- P. Building Design/façade treatment: primary entrance should be both architecturally and functionally on the front facade facing the primary street.
- Q. Ground Level of Building: ground level of building should offer pedestrian interest along sidewalks. Porches are provided close to sidewalks.

12. ALTERNATE DESIGNS PROPOSED

The elements of this Master Plan proposed as alternative means of compliance with respect to the provisions of Article 4.7.2, are as follows:

- A. Lot Sizes – Article 4.7.2(b)
 - 1. Single Family:
 - a) Minimum Lot Area: 1,500 sq.ft.
 - b) Lot width 27 feet
 - c) Minimum setbacks – see paragraph 10
 - d) Principal Building Height – see paragraph 10
 - 2. Townhouse:

- a) Minimum Lot Area: 3,300 sq.ft.
 - b) Building and Parking setbacks – see paragraph 10
 - c) Principal Building Height – see paragraph 10
- B. Solid waste collection location and screening Article 7.2.5.C.3.
 Service Area Screening – trash receptacles (96-gallon residential individual roll-out refuse containers) will be located as required by the City of Raleigh Solid Waste Services Collection Design Manual and will be screened with fencing according to Wood Spaced Picket Fence detail. (See Sheet DV3)
- C. Driveway Design Article 4.7.2(b)5
 Alternatives to the Driveway Details are as follows (see plan sheet DV3):
 - 1. Corner lot Driveways shall have a distance from the end of the street curb radius to the beginning of the driveway radius of 1’.
 - 2. With recorded access maintenance covenant, driveway aprons can be shared between lots but shall not be greater than the maximum residential driveway width specified in City of Raleigh standard details (T-10.01.2).
 - 3. Driveway separation has no minimum between adjacent lots.
- D. Parking Article 7.1.2.C.
 - 1. A minimum of 2 parking spaces per residential unit will be provided as shown on the Detailed Layout Map (DV3).
 - 2. Parking is allowed offsite (to cross lot lines) within an access and parking easement.
- E. Alternate Design Article 8.3.6 (8.3.5.D. Cross-Access)
 An Alternate Design is requested to the requirement of 8.3.5 D. Cross-Access to eliminate the required cross access to adjacent parcels. Justification required by Sec. 8.3.6
 - 1. The presence of existing buildings, and railroad;
 - 2. Site layout of developed properties;
 - 3. Adjoining uses or their vehicles are incompatible (rail road);
- F. Alternate Design Article 8.3.6 (8.5.2 Streetscape Types)
 An Alternate Design is requested to the requirement of 8.5.2 Streetscape Types to allow “street trees” (a requirement of the Subdivision Plan) to be placed on private property as shown on the Layout Map (sheet DV3). Justification required by Sec. 8.3.6
 - 1. Steep topographic changes through the site;
 - 2. Site layout of developed properties;
- G. Alternate Design Article 8.3.6 (8.4.4 Local Streets)
 An Alternate Design is requested to the requirement of 8.4.4 Local Streets to allow

Public Street A as shown on the Layout Map (sheet DV3) a minimum right-of-way width of 33 feet is necessary due to site constraints in lieu of the typically required 55 foot right-of-way for a Neighborhood Yield Street. Justification required by Sec. 8.3.6

1. Steep topographic changes through the site;
2. Site layout of developed properties;

13. COMPREHENSIVE PLAN

Comprehensive Plan: The Property is designated on the City's 2030 Comprehensive Plan as Moderate Density Residential. Of this future land use category, the Comprehensive Plan states:

“This category applies to some of the city’s older single family residential neighborhoods, along with newer small lot single family subdivisions and patio home developments. Other housing types including townhouses and multifamily dwellings would be consistent with this designation as long as an overall gross density not exceeding 14 units per acre was maintained. Gross density in these areas would be 6 to 14 units per acre. Corresponding zoning districts are R-6 and R-10, or RX conditioned to limit density.”

This project will implement elements of the Policy Statements by supporting Infill Development, Neighborhood Revitalization, and Conservation of Single Family Neighborhoods. To further the policies of the City's 2030 Comprehensive Plan, the Development will be pedestrian oriented residential neighborhood and will preserve open space with a compact residential footprint. It will extend/replace the residential character of the street front similar to single family neighborhoods of older neighborhoods.

The Urban Form Map of the Comprehensive Plan does not provide a center or corridor designation for the site.

The following policies are pertinent to your request:

Policy LU 1.2 - Future Land Use Map and Zoning Consistency

Policy LU 2.1 - Placemaking

Policy LU 2.2 - Compact Development

Policy LU 2.6 - Zoning and Infrastructure Impacts

Policy LU 4.5 - Connectivity

Policy LU 5.1 - Reinforcing the Urban Pattern

Policy LU 8.3 - Conserving, Enhancing, and Revitalizing Neighborhoods

Policy LU 8.5 - Conservation of Single-Family Neighborhoods

Policy LU 8.9 - Open Space in New Development

Policy LU 8.12 - Infill Compatibility

Policy T 2.4 - Road Connectivity

Policy T 2.5 - Multi-modal Grids

Policy T 5.4 – Pedestrian and Bicycle Network Connectivity

Policy T 5.5 – Sidewalk Requirements

Policy UD 1.1 – Protecting Neighborhood Identity

14. DISTRICT INTENT STATEMENT

As required by UDO Article 4.1.1.F. Planned Development (PD), the 1335 Courtland Drive PD District will be designed to evoke local history and relate to the exiting architectural fabric of the residential homes. Many of the homes and buildings were constructed between the early 1900's through the early 1950's. Smaller lot sizes and building setbacks are supportive of connecting residents to the surrounding community.

15. MODIFICATIONS

Modifications will be according to UDO Article 4.7.6 Master Plan Amendments.

COURTLAND DRIVE PLANNED DEVELOPMENT MASTER PLAN

1335 COURTLAND DRIVE
RALEIGH, NC 27604

OCTOBER 21, 2015

REVISÉ: JANUARY 04, 2016

MP-1-15

TRANSACTION #450875

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SITE VICINITY MAP

SHEET INDEX

CV1	COVER
DV1	EXISTING CONDITIONS PLAN
DV2	SURVEY
DV3	DETAILED LAYOUT MAP
DV4	PEDESTRIAN PLAN / DETAILS
DV5	STORMWATER PLAN
DV6	UTILITY PLAN/UTILITY SERVICE PLAN
DV7	ARCHITECTURAL ILLUSTRATIVES

OWNER/APPLICANT

FIVE HORIZONS DEVELOPMENT
310 HECK ST
RALEIGH, NC 27601
PH: 919.398.3927
EMAIL: STUART@FIVEHORIZONSDEVELOPMENT.COM
CONTACT: STUART CULLINAN

ENGINEERING/AGENT

EDENS LAND
2314 S. MIAMI BLVD
SUITE 151
DURHAM, NC 27703
PH: 919.316.1855
EMAIL: ROSS.MASSEY@EDENSLAND.COM
CONTACT: ROSS MASSEY, P.E.

SURVEYING

CHANCE SURVEY COMPANY, P.A.
6900 FIELD HILL ROAD
RALEIGH, NC 27603
PH: 919.329.5795
EMAIL: KCHANCE@NC.RR.COM
CONTACT: KEVIN CHANCE

GENERAL NOTES

1. DEVELOPER ACKNOWLEDGES HE/SHE HAS REVIEWED AND ASSERTS THE PROPOSED DEVELOPMENT IS COMPLIANT WITH THE REQUIREMENTS SET FORTH IN THE RALEIGH SOLID WASTE DESIGN MANUAL. SOLID WASTE TO BE PROVIDED BY RALEIGH SOLID WASTE SERVICES (SWS). REFER TO SHEET DV-3 FOR LOCATION AND ACCESS TO STANDARD 96-GALLON RESIDENTIAL INDIVIDUAL ROLL-OUT CONTAINERS AND HOW ACCESS ROUTE IS PROVIDED BY RESIDENTS AT THE CURB. REFUSE CONTAINERS WILL BE STORED OUTSIDE AND BE SCREENED BY FENCE ENCLOSURES.

SITE SUMMARY

LOCATION: 1335 COURTLAND DRIVE
TOTAL TRACT AREA: 1.967 AC.
PIN: 1704965009
EXISTING ZONING: R-10
PROPOSED ZONING: PD
RIVER BASIN: NEUSE
OVERLAY DISTRICTS: NCOD
CITY LIMITS: INSIDE

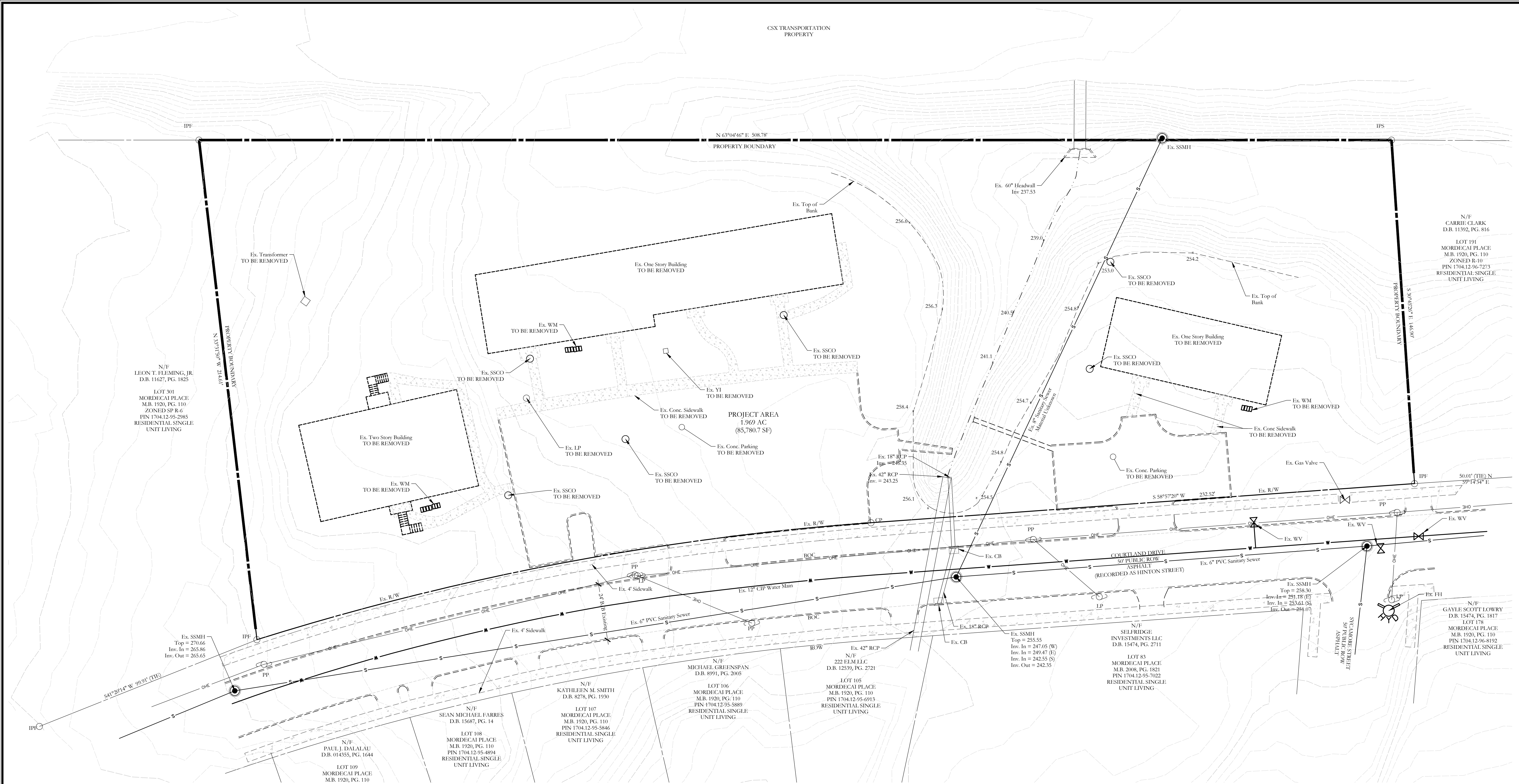


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Durham, NC 27703

www.edensland.com
919.316.1855

EDENSLAND #: 1131-001
SUBMITTED: 10/19/15
MUNICIPALITY: RALEIGH
REFERENCE #

PROJECT: 170412-95-5889 MORDECAI PLACE, LOT 107, PIN 170412-95-5889, RESIDENTIAL SINGLE UNIT LIVING. DATE: 10/04/16. DRAWN BY: GCHANCE SURVEY COMPANY, P.A. CHECKED BY: GCHANCE SURVEY COMPANY, P.A.



GENERAL NOTES

- BOUNDARY AND UTILITY INFORMATION IS BASED UPON SURVEY BY GHANCE SURVEY COMPANY, P.A.
- TOPOGRAPHIC INFORMATION TAKEN FROM CITY OF RALEIGH GIS.
- INFORMATION REGARDING THE LOCATION OF EXISTING UTILITIES HAS BEEN BASED UPON AVAILABLE INFORMATION AND MAY BE INCOMPLETE, AND WHERE SHOWN SHOULD BE CONSIDERED APPROXIMATE. THE LOCATION OF ALL EXISTING UTILITIES SHOULD BE CONFIRMED PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL CALL "NC ONE CALL: 1-800-632-4949", CONTRACTOR SHALL MAINTAIN MARKINGS WHERE NEEDED DURING PROJECT. ALL UTILITY LOCATIONS THAT DO NOT MATCH THE VERTICAL OR HORIZONTAL CONTROL SHOWN ON THE PLANS SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR RESOLUTION. THE CONTRACTOR SHALL VERIFY LOCATIONS OF UTILITIES AND SERVICE LATERALS PRIOR TO CONSTRUCTION. ANY CONFLICTS WITH LOCATIONS OF LIGHT POLES, TREES, ETC. SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR RESOLUTION PRIOR TO CONSTRUCTION.
- EDENSLAND ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY OF MAPS AND DATA WHICH HAVE BEEN SUPPLIED BY OTHERS.
- ALL DIMENSIONS AND ELEVATIONS SHALL BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.

EX.ISTING LEGEND	
	STREET LINE
	PROPERTY LINE
	WETLAND BUFFER LINE
	SETBACK LINE
	MAJOR CONTOUR
	MINOR CONTOUR
	SPOT GRADE
	TREE LINE
	UTILITY POLE
	HYDRANT
	WATER METER
	WATER VALVE
	GAS VALVE
	SANITARY SEWER W/MANHOLE
	STORM PIPE W/CATCH BASIN
	WATER MAIN

NAD 83
NAVD 88

0 10' 20'

PLAN REVISIONS

NO.	DATE	DESCRIPTION
1	10/04/16	CITY OF RALEIGH

EXISTING CONDITIONS PLAN

COURTLAND DRIVE
1335 COURTLAND DRIVE
RALEIGH, NC

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SCALE
1"=20'

DATE
OCTOBER 21, 2015

DESIGN	DRAFT	CHECK
SJK	SJK	CRM

PROJECT NUMBER
1131-001

PLAN NUMBER
DV1



1. THIS SURVEY PERFORMED AND MAPPED WITHOUT THE BENEFIT OF A TITLE SEARCH BY A LICENSED NORTH CAROLINA REAL ESTATE ATTORNEY. THE SURVEYOR ASSUMES NO LIABILITY FROM ANY FACTS AND/OR OMISSIONS (SUCH AS EASEMENTS, ETC.) THAT MAY BE REVEALED BY A TITLE SEARCH BY A LICENSED NORTH CAROLINA REAL ESTATE ATTORNEY.
3. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES.
4. NORTH IS TO THE S.W. CORNER OF SECTION 27 WITHIN 2000.
5. SUBJECT PROPERTY IS LOCATED IN FLOOD ZONE "X" (AREAS DETERMINED TO BE OUTSIDE 0.2% ANNUAL CHANCE AND FUTURE CONDITIONS 1% ANNUAL CHANCE FLOOD). SEE FIRM #3720170400J, EFFECTIVE DATE MAY 2, 2006.



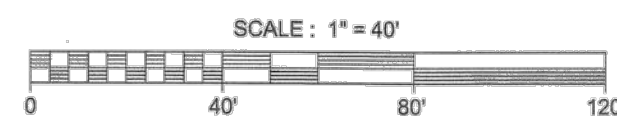
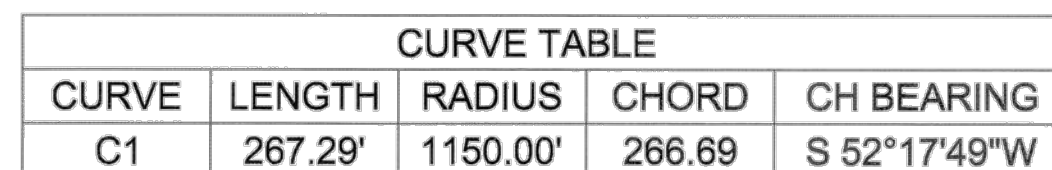
AREA = 1.969 AC.
85,780.7 sq.ft.

REFERENCES:
1. D.B. 15067, PG. 2316
2. M.B. 1920, PG. 110
3. PIN 1704.12-96-5009

LEGEND:
IPF = IRON PIPE FOUND
IP = IRON PIPE SET
CP = COMPUTED POINT
N/F = NOW OR FORMERLY
R/W = RIGHT OF WAY
LP = LIGHT POLE
PP = POWER POLE
-OE- OVERHEAD ELECTRIC LINE
-OT- OVERHEAD TELEPHONE LINE
SSWH = SAN. SEWER MANHOLE
SS = SAN. SEWER LINE
-SB = CATCH BASIN
RCP = REINFORCED CONCRETE PIPE
CPP = CORRUGATED PLASTIC PIPE
SDMH = STORM DRAIN MANHOLE
WM = WATER METER
WV = WATER VALVE
FH = FIRE HYDRANT

N/F
LEON T. FLEMING, JR
D.B. 11627, PG. 1825

LOT 301
MORDECAI PLACE
M.B. 1920, PG. 110
ZONED SP R-6
PIN 1704.12-95-2985



STATE OF NORTH CAROLINA

WAKE COUNTY
I, KEVIN S. CHANCE, CERTIFY THAT THIS MAP WAS
DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY
WAKE COUNTY (OR UNDER MY DIRECT SUPERVISION -
(DEED DESCRIPTION RECORDED IN BOOK _____ PAGE _____);
THAT THE RATIO OF PRECISION AS CALCULATED BY LATITUDES
AND DEPARTURES IS 1/10,000; THAT THE BOUNDARIES
NOT SURVEYED ARE SHOWN AS BROKEN LINES DRAWN FROM
INFORMATION FOUND IN BOOK _____ PAGE _____; THAT
THIS MAP WAS PREPARED IN ACCORDANCE WITH G.S. 47-30
AS AMENDED.
WITNESS MY HAND AND SEAL THIS 14th DAY OF MAY, 2014.

I, KEVIN S. CHANCE, PROFESSIONAL LAND SURVEYOR NO. L-4585, CERTIFY TO ONE OR MORE OF THE FOLLOWING AS INDICATED THUS, ☐ OR ☐:

☐ D. THAT THE SURVEY CREATES A SUBDIVISION OF LAND WITHIN THE AREA OF A COUNTY OR MUNICIPALITY THAT HAS AN ORDINANCE THAT REGULATES PARCELS OF LAND;

☐ E. THAT THE SURVEY IS LOCATED IN A PORTION OF A COUNTY OR MUNICIPALITY THAT IS UNINCORPORATED AND THEREFORE THAT NO ORDINANCE THAT REGULATES PARCELS OF LAND,

☒ X ANY ONE OF THE FOLLOWING:

☐ 1. THAT THE SURVEY IS OF AN EXISTING PARCEL OR PARCELS OF LAND AND DOES NOT CREATE A NEW STREET OR CHANGE AN EXISTING STREET;

☐ 2. THAT THE SURVEY IS OF AN EXISTING BUILDING OR OTHER STRUCTURE, OR NATURAL FEATURE, SUCH AS A WATERCOURSE, OR

☐ 3. THAT THE SURVEY IS A CONTROL SURVEY;

☐ D. THAT THE SURVEY IS OF ANOTHER CATEGORY SUCH AS THE RECONSTRUCTION OF EXISTING PARCELS, A COURT-ORDERED SURVEY OR OTHER EXCEPTION TO THE DEFINITION OF SUBDIVISION;

☐ E. THAT THE INFORMATION AVAILABLE TO THE SURVEYOR IS SUCH THAT THE SURVEYOR IS UNABLE TO MAKE A DETERMINATION TO THE BEST OF THE SURVEYOR'S PROFESSIONAL JUDGMENT AS TO PROVISIONS CONTAINED IN (A) THROUGH (D) ABOVE.

P.L.S. (4-6585)

DATE:	14 MAY 2014
SCALE:	1" = 40'
DRAWN BY:	KSC
CHECKED BY:	KEVIN S. CHANCE
FILE NAME:	13355 Courtland.dwg

[illegible]

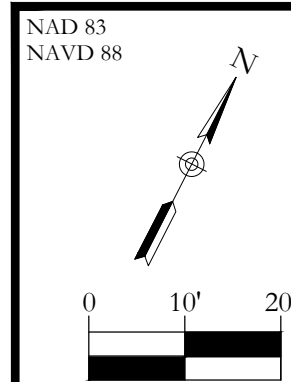
EXISTING CONDITIONS SURVEY OF
1335 COURTLAND DRIVE
FOR
STUART CULLINAN
RALEIGH TOWNSHIP - WAKE COUNTY - NORTH CAROLINA

TITLE 5.

SHEET.

LICENSE NO. C-2964
PHONE (919) 329-5795
www.chancesurvey.com
E-MAIL: kchance@ncrr.com

6900 FIELD HILL ROAD
RALEIGH, NORTH CAROLINA - 27603



PLAN REVISIONS

01/04/16

SURVEY

COURTLAND DRIVE
1335 COURTLAND DRIVE
RALEIGH, NC

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DATE _____

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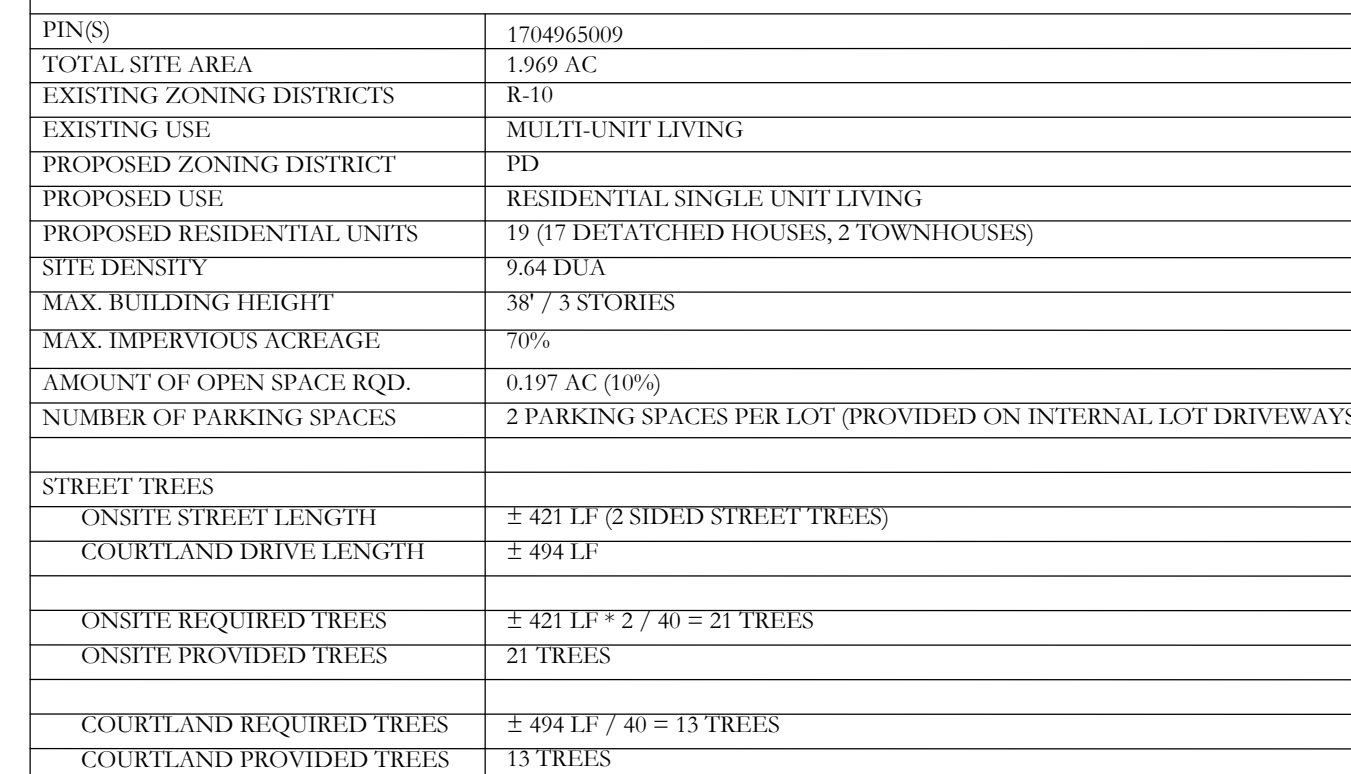
SJK	SJK	CRM
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PROJECT NUMBER

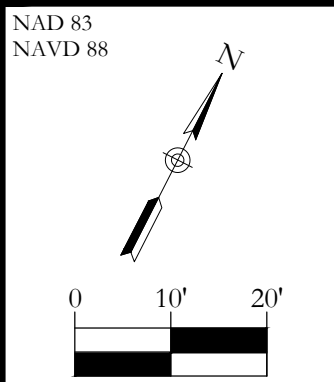
1131-00


PLAN NUMBER

DVS





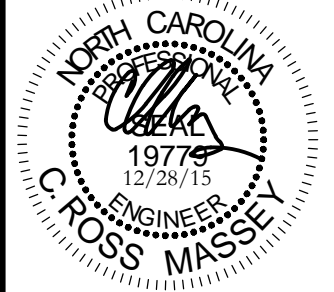


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	CITY OF RALEIGH

COURTLAND DRIVE
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RALEIGH, NC

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<u>DATE</u> OCTOBER 21, 2015		
<u>DESIGN</u> SJK	<u>DRAFT</u> SJK	<u>CHECK</u> CRM
<u>PROJECT NUMBER</u> 1131-001		
<u>PLAN NUMBER</u> DV6		

EDENS LAND ARCHITECTURAL ILLUSTRATIONS



COURTLAND DRIVE A



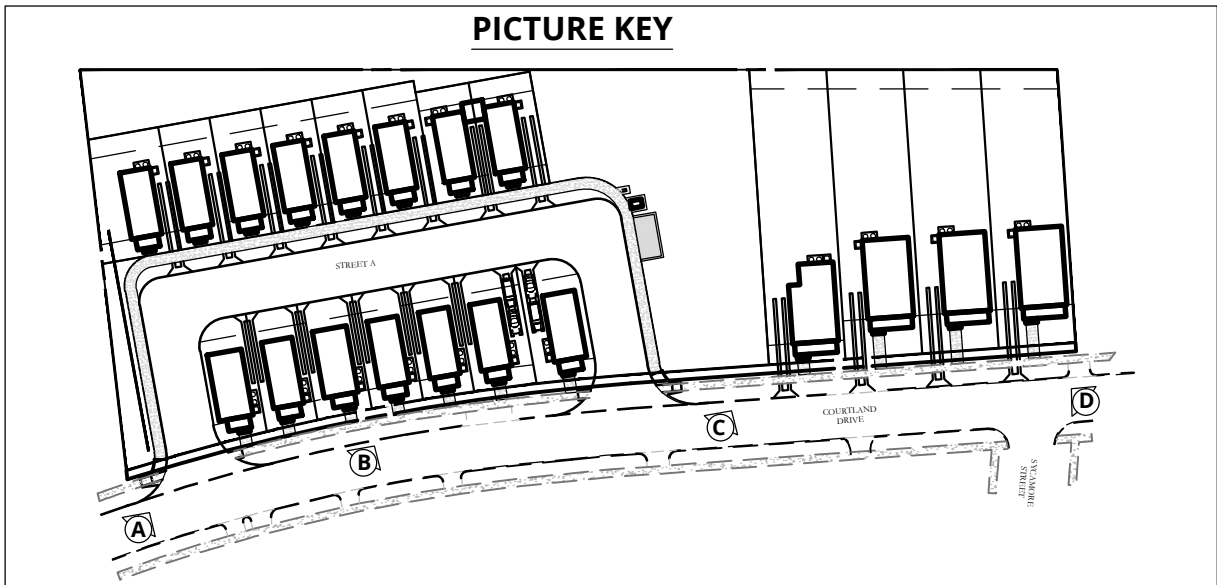
COURTLAND DRIVE B



COURTLAND DRIVE C



COURTLAND DRIVE D



NAD 83
NAVD 88

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CITY OF RALEIGH
01/04/16

ARCHITECTURAL ILLUSTRATIVES
COURTLAND DRIVE
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RALEIGH, NC

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PROJECT NUMBER
1131-001
PLAN NUMBER
DV7