



# CAMERON VILLAGE

RALEIGH, NORTH CAROLINA

- THE PRESTON PARTNERSHIP, LLC
- BRANCH CAMERON, LLC
- YORK PROPERTIES
- HIGHLANDS COMPANIES
- PHILLIPS ENGINEERING GROUP, PC

STREETScape & PARKING PLAN  
FOR PEDESTRIAN BUSINESS  
OVERLAY DISTRICT

REVISED APRIL 17, 2003

Proposal Summary  
 Pedestrian Business Overlay District  
 Streetscape and Parking Plan  
 Cameron Village Shopping Center  
 Raleigh, North Carolina  
 March 2003

Goals:

1. To restore Cameron Village's genuine urban theme and enhance its contribution to the surrounding neighborhood and City of Raleigh.
2. To enhance the distinct pedestrian nature of Cameron Village, through both physical and visual improvements to the existing buildings and surroundings.
3. To promote the economic vitality of Cameron Village and the City of Raleigh.
4. To increase the attractiveness of Cameron Village to visitors by better promoting the quality and diversity of retail and office tenants.
5. To continue to demonstrate the owner's and management's commitment to promoting the interests and continued success of Cameron Village, it's surrounding neighborhoods, and the City of Raleigh.

Features:

1. An architectural revitalization of the building facades at Cameron Village proposes to create a genuine "Main Street" feel and scale. This will include the following:
  - a. The removal of the existing plexi-glass canopy, monolithic blue sign band, white concrete columns, and steel superstructure will expose the existing storefronts. The exposed storefronts will be enhanced with a new fabric awning program, covered trellises, and built canopies which will unify the building facades and storefronts.
  - b. Renovation of existing parapet walls, in the form of new architectural cornices, visible at the top of buildings throughout the project. Additionally, some parapet walls in need of repair will be done so that the existing red/brown brick will remain and add continuity to the center.
  - c. The removal of the existing parking deck to the east of Block 2 facing Daniels Street. This will expose the tenants currently under the deck, and promote increased visibility and pedestrian access to the rest of Cameron Village.
2. A significant "Main Street" renovation of the shopping center's existing tenant streetscapes in order to enhance the quality of these areas and generate a village-like pedestrian ambiance for the visitor.
  - a. Although most existing brick pavers will remain, the implementation of a new streetscape/sidewalk program will include street trees, landscaping, pedestrian light poles, planting pots, and furniture. These elements will be carried throughout the development and promote an enhanced visual and physical continuity between blocks.

(\* Indicates new and revised sheets)

- \*Cover Sheet
- \*Table of Contents
- \*SP 1.01 Illustrative Site Plan
- \*SP 1.01A Existing Conditions Plan
- \*SP 1.02 Parking Plan
- \*SP 1.03 New Tree Planting Plan
- \*SP 1.03A Existing Tree Survey
- \*SP 1.04 Site Plan
- \*SP 1.05 Lighting
- \*SP 1.06 Signage
- \*SD 2.01 Inventory
- SD 2.02 Tree Planting
- SD 2.03 Sidewalk Plan & Section
- SD 2.04 Sidewalk Sections
- SD 2.05 Sidewalk Sections
- SD 2.06 Amenity Details
- \*SD 2.07 Cut Sheet
- \*SD 2.08 Transit Stop
- \*SE 3.01 Site Elevations (Block 1)
- \*SE 3.01A Existing Site Elevations (Block 1)
- \*SE 3.02 Site Elevations (Blocks 2 & 3)
- \*SE 3.02A Existing Site Elevations (Blocks 2 & 3)
- \*SE 3.03 Site Elevations (Blocks 5 & 6)
- \*SE 3.03A Existing Site Elevations (Blocks 5 & 6)
- SG 4.01 Site Signage
- SG 4.02 Site Signage
- SG 4.03 Site Signage
- SG 4.04 Site Signage
- SG 4.05 Site Signage
- SG 4.06 Site Signage
- SR 5.01 Rendering (Day Spa)
- SR 5.02 Rendering (Village Deli)
- SR 5.03 Rendering (Block 5 South)
- SR 5.04 Rendering (Block 1 South)
- SR 5.05 Rendering (Victoria's Secret)
- UD 6.01 Unity Development Application
- UD 6.02 Unity Development Application
- UD 6.03 Unity Development Application
- \*UD 6.04 Correspondence from Branch Properties

**CAMERON  
 VILLAGE**

RALEIGH, NORTH CAROLINA

ARCHITECT:  
 THE PRESTON PARTNERSHIP, LLC  
 1000 ABERNATHY ROAD NE  
 SUITE 600  
 ATLANTA, GEORGIA 30328  
 PHONE: 770.396.7248  
 FAX: 770.396.2945

LANDSCAPE ARCHITECT:  
 THE PRESTON PARTNERSHIP, LLC  
 1000 ABERNATHY ROAD NE  
 SUITE 600  
 ATLANTA, GEORGIA 30328  
 PHONE: 770.396.7248  
 FAX: 770.396.2945

OWNER/DEVELOPER:  
 BRANCH PROPERTIES, LLC  
 400 COLONY SQUARE  
 SUITE 1630  
 ATLANTA, GEORGIA 30361  
 PHONE: 404.832.8900  
 FAX: 404.892.8898

PROPERTY MANAGER:  
 YORK PROPERTIES  
 1900 CAMERON STREET  
 RALEIGH, NORTH CAROLINA 27605  
 PHONE: 919.821.1350  
 FAX: 919.828.9240

PROJECT MANAGER:  
 HIGHLANDS PROPERTIES  
 4555 MANSELL ROAD  
 SUITE 200  
 ALPHARETTA, GEORGIA 30022  
 PHONE: 678.252.1500  
 FAX: 678.252.1510

ELECTRICAL ENGINEER:  
 PHILLIPS ENGINEERING GROUP, PC  
 500 SUGARMILL ROAD  
 BUILDING A, SUITE 105  
 ATLANTA, GEORGIA 30350  
 PHONE: 770.650.9061  
 FAX: 770.642.2410

**\*TABLE OF CONTENTS**

STREETSCAPE & PARKING PLAN FOR  
 PEDESTRIAN BUSINESS OVERLAY DISTRICT  
 REVISED APRIL 17, 2003



THE PRESTON PARTNERSHIP, LLC





# CAMERON VILLAGE

RALEIGH, NORTH CAROLINA

ARCHITECT:  
THE PRESTON PARTNERSHIP, LLC  
1000 ABERNATHY ROAD NE  
SUITE 600  
ATLANTA, GEORGIA 30328  
PHONE: 770.396.7248  
FAX: 770.396.2945

LANDSCAPE ARCHITECT:  
THE PRESTON PARTNERSHIP, LLC  
1000 ABERNATHY ROAD NE  
SUITE 600  
ATLANTA, GEORGIA 30328  
PHONE: 770.396.7248  
FAX: 770.396.2945

OWNER/DEVELOPER:  
BRANCH PROPERTIES, LLC  
400 COLONY SQUARE  
SUITE 1630  
ATLANTA, GEORGIA 30361  
PHONE: 404.832.8900  
FAX: 404.892.8898

PROPERTY MANAGER:  
YORK PROPERTIES  
1900 CAMERON STREET  
RALEIGH, NORTH CAROLINA 27605  
PHONE: 919.821.1350  
FAX: 919.828.9240

PROJECT MANAGER:  
HIGHLANDS PROPERTIES  
4555 MANSELL ROAD  
SUITE 200  
ALPHARETTA, GEORGIA 30022  
PHONE: 678.252.1500  
FAX: 678.252.1510

ELECTRICAL ENGINEER:  
PHILLIPS ENGINEERING GROUP, PC  
500 SUGARMILL ROAD  
BUILDING A, SUITE 105  
ATLANTA, GEORGIA 30350  
PHONE: 770.650.9061  
FAX: 770.642.2410

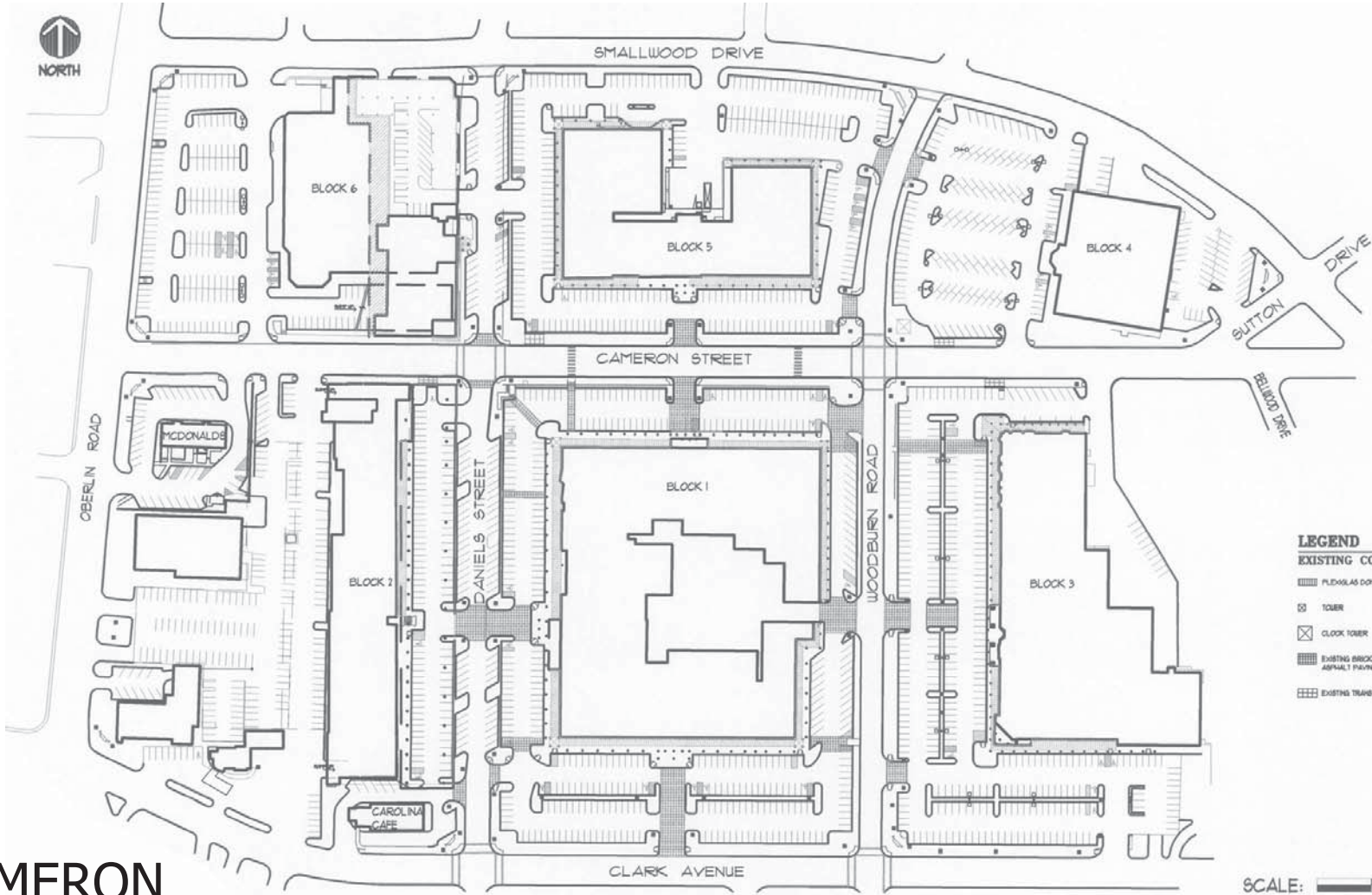
ILLUSTRATIVE SITE PLAN

**\*SP 1.01**

STREETSCAPE & PARKING PLAN FOR  
PEDESTRIAN BUSINESS OVERLAY DISTRICT  
REVISED APRIL 17, 2003



THE PRESTON PARTNERSHIP, LLC



**LEGEND**  
EXISTING CONDITIONS

- FLDGLAS DOVE CANOPY
- TOWER
- CLOCK TOWER
- EXISTING BRICK/TEXTURED ASPHALT PAVING
- EXISTING TRANSIT STOP (A)



# CAMERON VILLAGE

RALEIGH, NORTH CAROLINA

ARCHITECT:  
THE PRESTON PARTNERSHIP, LLC  
1000 ABERNATHY ROAD NE  
SUITE 600  
ATLANTA, GEORGIA 30328  
PHONE: 770.396.7248  
FAX: 770.396.2945

LANDSCAPE ARCHITECT:  
THE PRESTON PARTNERSHIP, LLC  
1000 ABERNATHY ROAD NE  
SUITE 600  
ATLANTA, GEORGIA 30328  
PHONE: 770.396.7248  
FAX: 770.396.2945

OWNER/DEVELOPER:  
BRANCH PROPERTIES, LLC  
400 COLONY SQUARE  
SUITE 1630  
ATLANTA, GEORGIA 30361  
PHONE: 404.832.8900  
FAX: 404.892.8898

PROPERTY MANAGER:  
YORK PROPERTIES  
1900 CAMERON STREET  
RALEIGH, NORTH CAROLINA 27605  
PHONE: 919.821.1350  
FAX: 919.828.9240

PROJECT MANAGER:  
HIGHLANDS PROPERTIES  
4555 MANSELL ROAD  
SUITE 200  
ALPHARETTA, GEORGIA 30022  
PHONE: 678.252.1500  
FAX: 678.252.1510

ELECTRICAL ENGINEER:  
PHILLIPS ENGINEERING GROUP, PC  
500 SUGARMILL ROAD  
BUILDING A, SUITE 105  
ATLANTA, GEORGIA 30350  
PHONE: 770.650.9061  
FAX: 770.642.2410

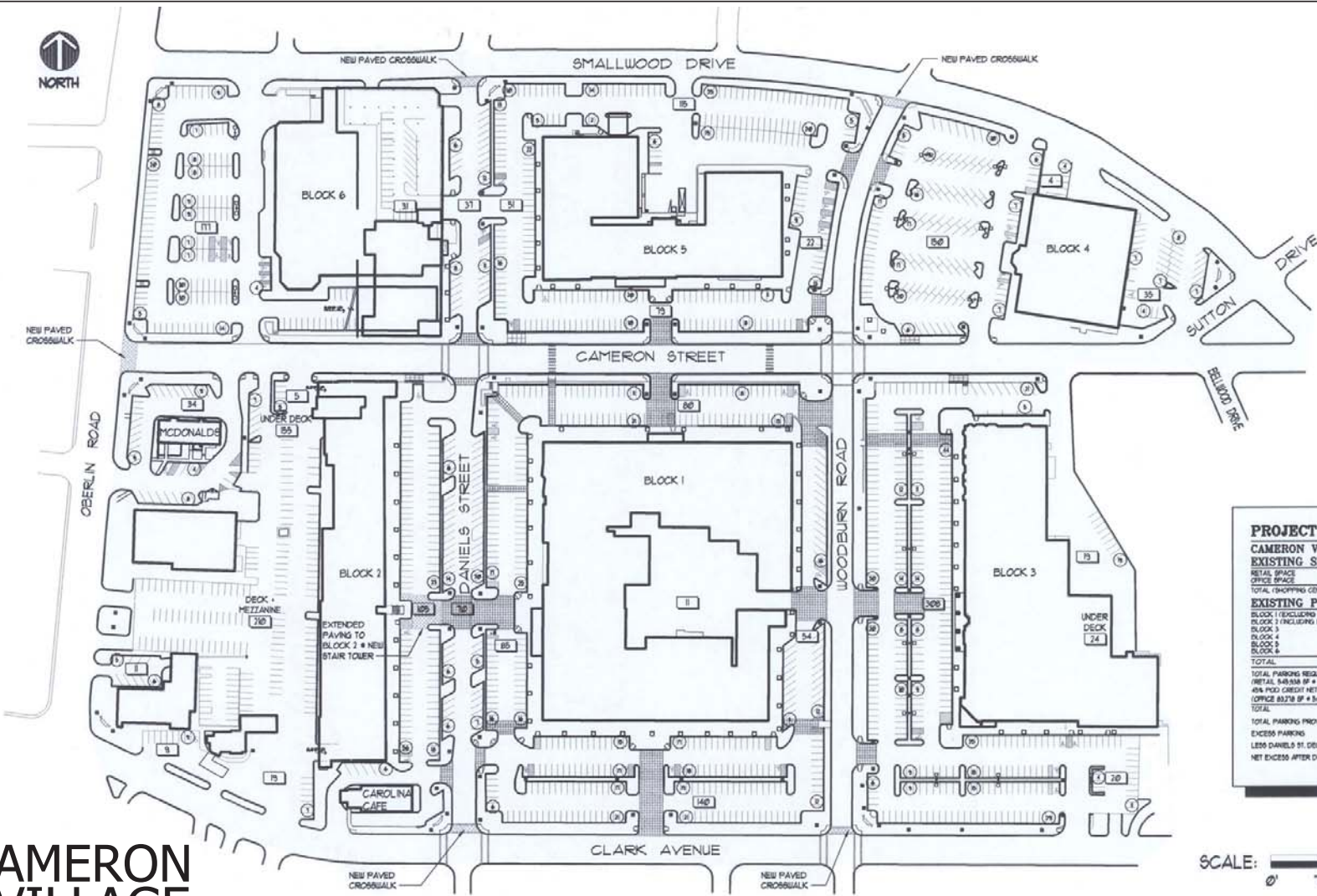
EXISTING CONDITIONS PLAN

**\*SP 1.01A**  
STREETSCAPE & PARKING PLAN FOR  
PEDESTRIAN BUSINESS OVERLAY DISTRICT  
REVISED APRIL 17, 2003



THE PRESTON PARTNERSHIP, LLC





PROJECT DATA	
<b>CAMERON VILLAGE</b>	
<b>EXISTING SITE DATA</b>	
RETAIL SPACE	540,000 SF
OFFICE SPACE	80,700 SF
TOTAL (SHOPPING CENTER)	620,700 SF
<b>EXISTING PARKING DATA</b>	
BLOCK 1 (EXCLUDING DANIELS STREET)	110 CAR
BLOCK 2 (INCLUDING DANIELS STREET)	105 CAR
BLOCK 3	311 CAR
BLOCK 4	189 CAR
BLOCK 5	284 CAR
BLOCK 6	240 CAR
<b>TOTAL</b>	<b>1,249 CAR</b>
<b>TOTAL PARKING REQUIRED</b>	
RETAIL 540,000 SF + 14,000 SF LESS	(560) CAR
40% PUDO CREDIT NET REQUIRED	(47) CAR
(OFFICE 80,700 SF + 5,000 SF)	(199) CAR
<b>TOTAL</b>	<b>(176) CAR</b>
<b>TOTAL PARKING PROVIDED</b>	<b>1,073 CAR</b>
EXCESS PARKING	393 CAR
LESS DANIELS ST. DECK	(100)
<b>NET EXCESS AFTER DECK DEVIOLITION</b>	<b>973 CAR</b>



# CAMERON VILLAGE

RALEIGH, NORTH CAROLINA

ARCHITECT:  
THE PRESTON PARTNERSHIP, LLC  
1000 ABERNATHY ROAD NE  
SUITE 600  
ATLANTA, GEORGIA 30328  
PHONE: 770.396.7248  
FAX: 770.396.2945

LANDSCAPE ARCHITECT:  
THE PRESTON PARTNERSHIP, LLC  
1000 ABERNATHY ROAD NE  
SUITE 600  
ATLANTA, GEORGIA 30328  
PHONE: 770.396.7248  
FAX: 770.396.2945

OWNER/DEVELOPER:  
BRANCH PROPERTIES, LLC  
400 COLONY SQUARE  
SUITE 1630  
ATLANTA, GEORGIA 30361  
PHONE: 404.832.8900  
FAX: 404.892.8898

PROPERTY MANAGER:  
YORK PROPERTIES  
1900 CAMERON STREET  
RALEIGH, NORTH CAROLINA 27605  
PHONE: 919.821.1350  
FAX: 919.828.9240

PROJECT MANAGER:  
HIGHLANDS PROPERTIES  
4555 MANSELL ROAD  
SUITE 200  
ALPHARETTA, GEORGIA 30022  
PHONE: 678.252.1500  
FAX: 678.252.1510

ELECTRICAL ENGINEER:  
PHILLIPS ENGINEERING GROUP, PC  
500 SUGARMILL ROAD  
BUILDING A, SUITE 105  
ATLANTA, GEORGIA 30350  
PHONE: 770.650.9061  
FAX: 770.642.2410

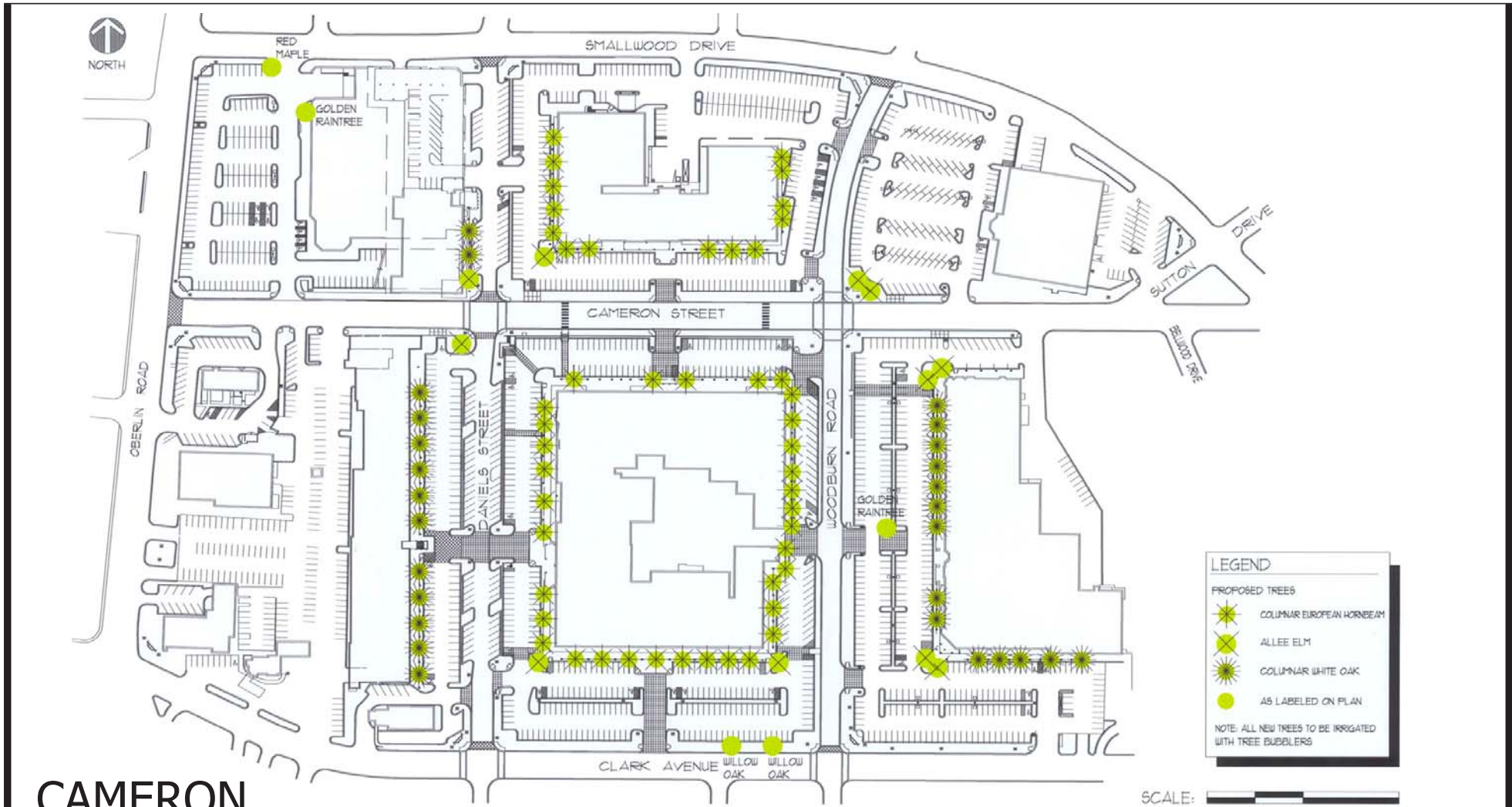
## PARKING PLAN

# \*SP 1.02

STREETSCAPE & PARKING PLAN FOR  
PEDESTRIAN BUSINESS OVERLAY DISTRICT  
REVISED APRIL 17, 2003



THE PRESTON PARTNERSHIP, LLC



# CAMERON VILLAGE

RALEIGH, NORTH CAROLINA

ARCHITECT:  
 THE PRESTON PARTNERSHIP, LLC  
 1000 ABERNATHY ROAD NE  
 SUITE 600  
 ATLANTA, GEORGIA 30328  
 PHONE: 770.396.7248  
 FAX: 770.396.2945

LANDSCAPE ARCHITECT:  
 THE PRESTON PARTNERSHIP, LLC  
 1000 ABERNATHY ROAD NE  
 SUITE 600  
 ATLANTA, GEORGIA 30328  
 PHONE: 770.396.7248  
 FAX: 770.396.2945

OWNER/DEVELOPER:  
 BRANCH PROPERTIES, LLC  
 400 COLONY SQUARE  
 SUITE 1630  
 ATLANTA, GEORGIA 30361  
 PHONE: 404.832.8900  
 FAX: 404.892.8898

PROPERTY MANAGER:  
 YORK PROPERTIES  
 1900 CAMERON STREET  
 RALEIGH, NORTH CAROLINA 27605  
 PHONE: 919.821.1350  
 FAX: 919.828.9240

PROJECT MANAGER:  
 HIGHLANDS PROPERTIES  
 4555 MANSELL ROAD  
 SUITE 200  
 ALPHARETTA, GEORGIA 30022  
 PHONE: 678.252.1500  
 FAX: 678.252.1510

ELECTRICAL ENGINEER:  
 PHILLIPS ENGINEERING GROUP, PC  
 500 SUGARMILL ROAD  
 BUILDING A, SUITE 105  
 ATLANTA, GEORGIA 30350  
 PHONE: 770.650.9061  
 FAX: 770.642.2410

## NEW TREE PLANTING PLAN

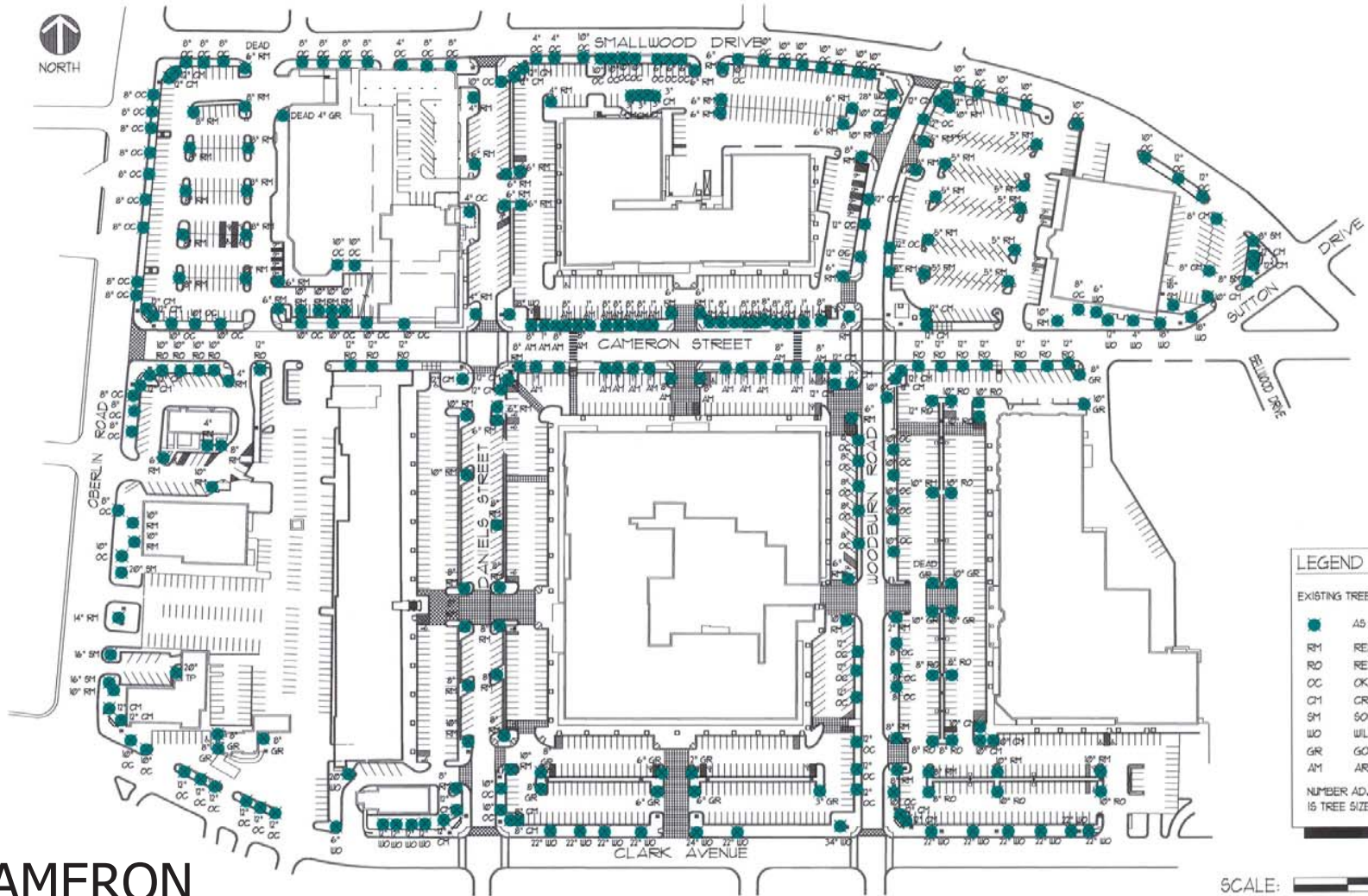
**\*SP 1.03**

STREETSCAPE & PARKING PLAN FOR  
 PEDESTRIAN BUSINESS OVERLAY DISTRICT  
 REVISED APRIL 17, 2003



THE PRESTON PARTNERSHIP, LLC





**LEGEND**

EXISTING TREES

- AS NOTED ON PLAN
- RM1 RED MAPLE
- RO RED OAK
- OC OKAME CHERRY
- CM1 CRAPE MYRTLE
- SM SOUTHERN MAGNOLIA
- WO WILLOW OAK
- GR GOLDEN RAINTREE
- AM ARMSTRONG MAPLE

NUMBER ADJACENT TO TREE LABEL IS TREE SIZE IN CALIPER INCHES



# CAMERON VILLAGE

RALEIGH, NORTH CAROLINA

ARCHITECT:  
 THE PRESTON PARTNERSHIP, LLC  
 1000 ABERNATHY ROAD NE  
 SUITE 600  
 ATLANTA, GEORGIA 30328  
 PHONE: 770.396.7248  
 FAX: 770.396.2945

LANDSCAPE ARCHITECT:  
 THE PRESTON PARTNERSHIP, LLC  
 1000 ABERNATHY ROAD NE  
 SUITE 600  
 ATLANTA, GEORGIA 30328  
 PHONE: 770.396.7248  
 FAX: 770.396.2945

OWNER/DEVELOPER:  
 BRANCH PROPERTIES, LLC  
 400 COLONY SQUARE  
 SUITE 1630  
 ATLANTA, GEORGIA 30361  
 PHONE: 404.832.8900  
 FAX: 404.892.8898

PROPERTY MANAGER:  
 YORK PROPERTIES  
 1900 CAMERON STREET  
 RALEIGH, NORTH CAROLINA 27605  
 PHONE: 919.821.1350  
 FAX: 919.828.9240

PROJECT MANAGER:  
 HIGHLANDS PROPERTIES  
 4555 MANSELL ROAD  
 SUITE 200  
 ALPHARETTA, GEORGIA 30022  
 PHONE: 678.252.1500  
 FAX: 678.252.1510

ELECTRICAL ENGINEER:  
 PHILLIPS ENGINEERING GROUP, PC  
 500 SUGARMILL ROAD  
 BUILDING A, SUITE 105  
 ATLANTA, GEORGIA 30350  
 PHONE: 770.650.9061  
 FAX: 770.642.2410

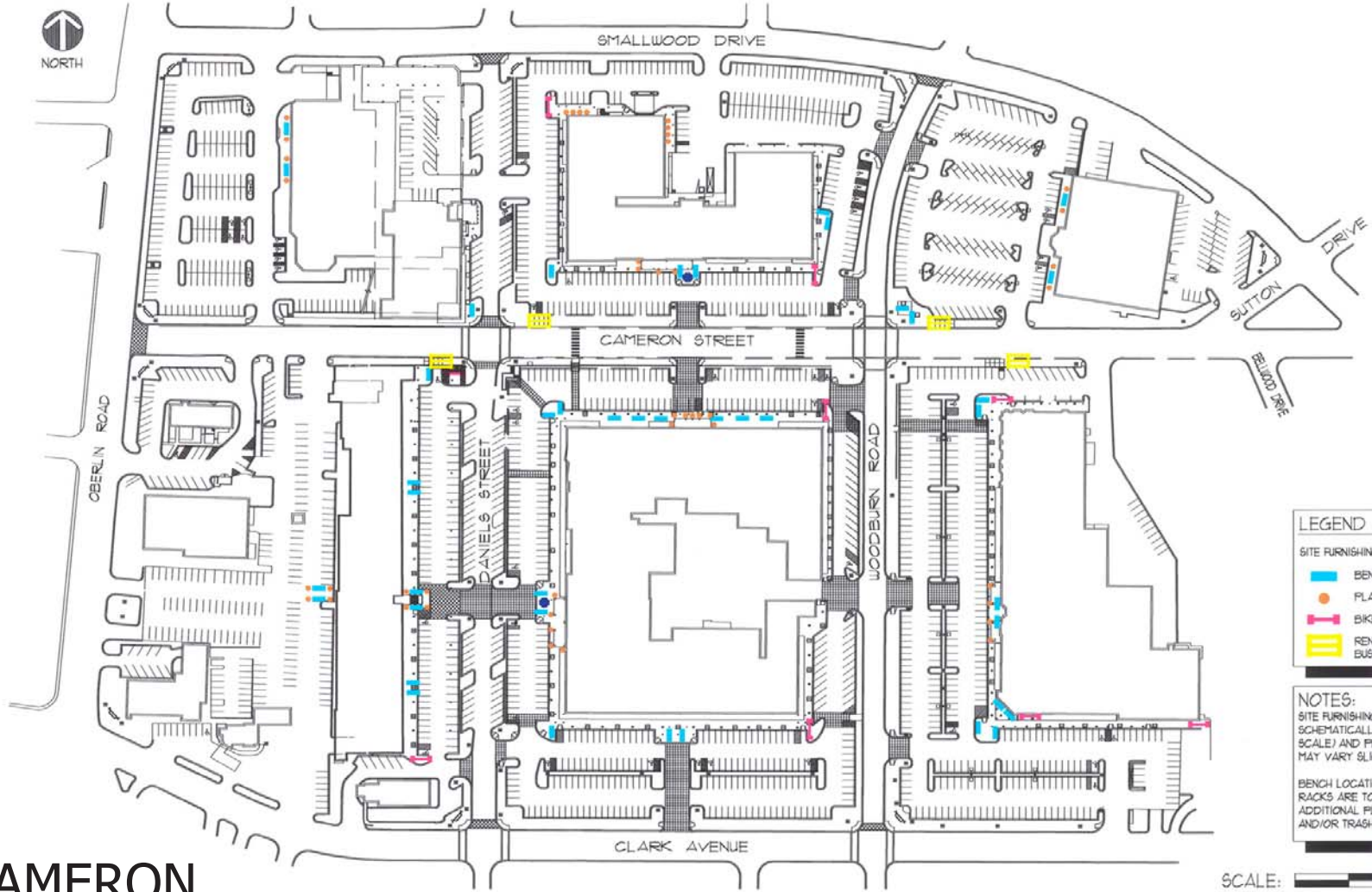
## EXISTING TREE SURVEY

# \*SP 1.03A

STREETSCAPE & PARKING PLAN FOR  
 PEDESTRIAN BUSINESS OVERLAY DISTRICT  
 REVISED APRIL 17, 2003



THE PRESTON PARTNERSHIP, LLC



**LEGEND**

**SITE FURNISHINGS**

-  BENCH LOCATION
-  PLANTER POT
-  BIKE RACK
-  RENOVATED BUS STOP

**NOTES:**

SITE FURNISHINGS ARE SHOWN SCHEMATICALLY (DUE TO DRAWING SCALE) AND PRECISE LOCATIONS MAY VARY SLIGHTLY.

BENCH LOCATIONS AND BIKE RACKS ARE TO BE PROVIDED WITH ADDITIONAL PLANTER POTS AND/OR TRASH RECEPTACLES.

SCALE: 

# CAMERON VILLAGE

RALEIGH, NORTH CAROLINA

**ARCHITECT:**  
THE PRESTON PARTNERSHIP, LLC  
1000 ABERNATHY ROAD NE  
SUITE 600  
ATLANTA, GEORGIA 30328  
PHONE: 770.396.7248  
FAX: 770.396.2945

**LANDSCAPE ARCHITECT:**  
THE PRESTON PARTNERSHIP, LLC  
1000 ABERNATHY ROAD NE  
SUITE 600  
ATLANTA, GEORGIA 30328  
PHONE: 770.396.7248  
FAX: 770.396.2945

**OWNER/DEVELOPER:**  
BRANCH PROPERTIES, LLC  
400 COLONY SQUARE  
SUITE 1630  
ATLANTA, GEORGIA 30361  
PHONE: 404.832.8900  
FAX: 404.892.8898

**PROPERTY MANAGER:**  
YORK PROPERTIES  
1900 CAMERON STREET  
RALEIGH, NORTH CAROLINA 27605  
PHONE: 919.821.1350  
FAX: 919.828.9240

**PROJECT MANAGER:**  
HIGHLANDS PROPERTIES  
4555 MANSELL ROAD  
SUITE 200  
ALPHARETTA, GEORGIA 30022  
PHONE: 678.252.1500  
FAX: 678.252.1510

**ELECTRICAL ENGINEER:**  
PHILLIPS ENGINEERING GROUP, PC  
500 SUGARMILL ROAD  
BUILDING A, SUITE 105  
ATLANTA, GEORGIA 30350  
PHONE: 770.650.9061  
FAX: 770.642.2410

## SCHEMATIC SITE FINISHING PLAN

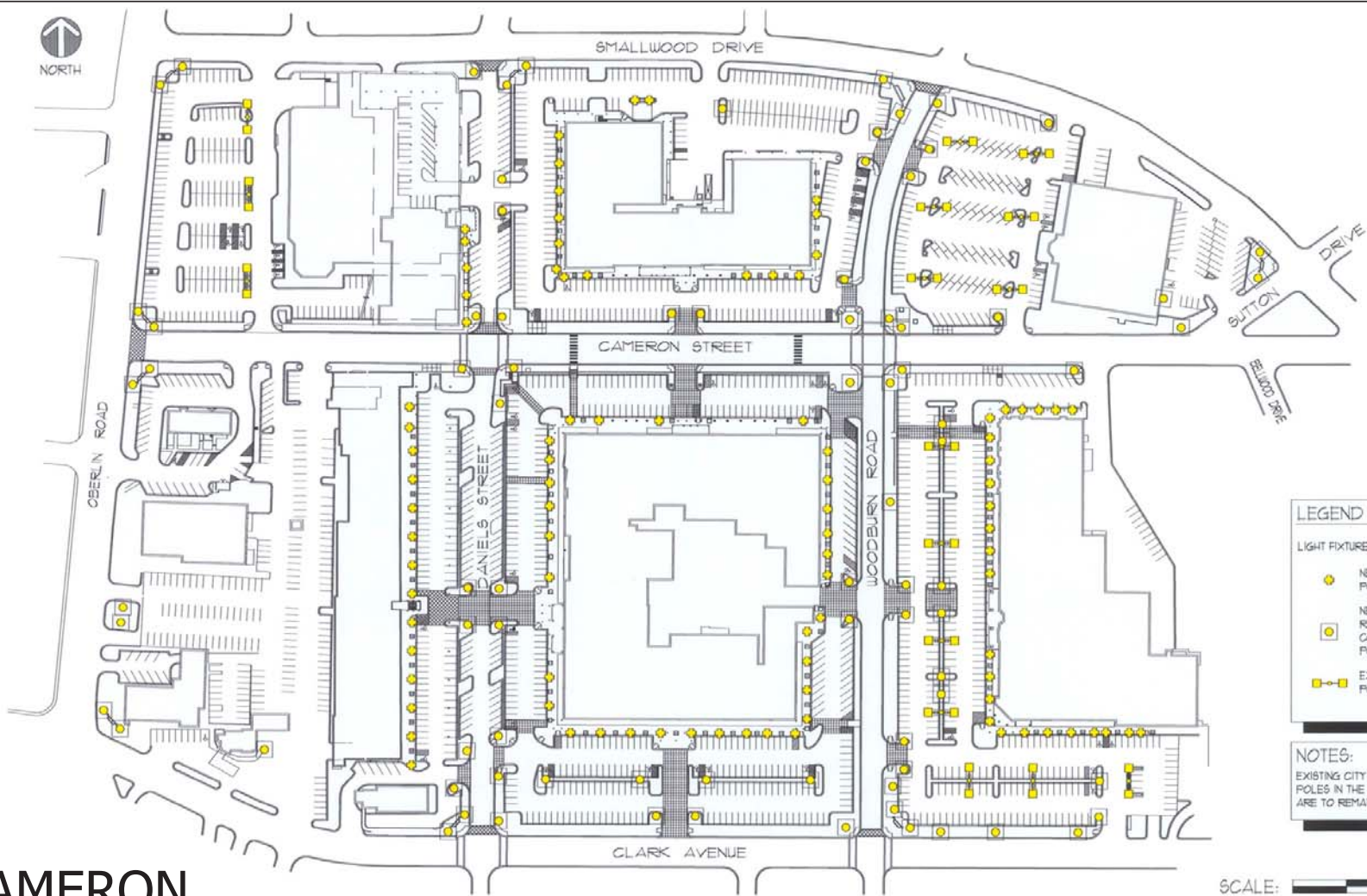
**\*SP 1.04**

STREETSCAPE & PARKING PLAN FOR  
PEDESTRIAN BUSINESS OVERLAY DISTRICT  
REVISED APRIL 17, 2003



THE PRESTON PARTNERSHIP, LLC





**LEGEND**

**LIGHT FIXTURES**

- NEW PEDESTRIAN LIGHT POLES @ SIDEWALK
- NEW LIGHT POLES TO REPLACE EXISTING CONCRETE COLUMN POLES
- EXISTING PARKING LOT POLES

**NOTES:**  
EXISTING CITY STREET LIGHTS AND POLES IN THE PUBLIC RIGHT OF WAY ARE TO REMAIN AS EXISTING



# CAMERON VILLAGE

RALEIGH, NORTH CAROLINA

**ARCHITECT:**  
THE PRESTON PARTNERSHIP, LLC  
1000 ABERNATHY ROAD NE  
SUITE 600  
ATLANTA, GEORGIA 30328  
PHONE: 770.396.7248  
FAX: 770.396.2945

**LANDSCAPE ARCHITECT:**  
THE PRESTON PARTNERSHIP, LLC  
1000 ABERNATHY ROAD NE  
SUITE 600  
ATLANTA, GEORGIA 30328  
PHONE: 770.396.7248  
FAX: 770.396.2945

**OWNER/DEVELOPER:**  
BRANCH PROPERTIES, LLC  
400 COLONY SQUARE  
SUITE 1630  
ATLANTA, GEORGIA 30361  
PHONE: 404.832.8900  
FAX: 404.892.8898

**PROPERTY MANAGER:**  
YORK PROPERTIES  
1900 CAMERON STREET  
RALEIGH, NORTH CAROLINA 27605  
PHONE: 919.821.1350  
FAX: 919.828.9240

**PROJECT MANAGER:**  
HIGHLANDS PROPERTIES  
4555 MANSELL ROAD  
SUITE 200  
ALPHARETTA, GEORGIA 30022  
PHONE: 678.252.1500  
FAX: 678.252.1510

**ELECTRICAL ENGINEER:**  
PHILLIPS ENGINEERING GROUP, PC  
500 SUGARMILL ROAD  
BUILDING A, SUITE 105  
ATLANTA, GEORGIA 30350  
PHONE: 770.650.9061  
FAX: 770.642.2410

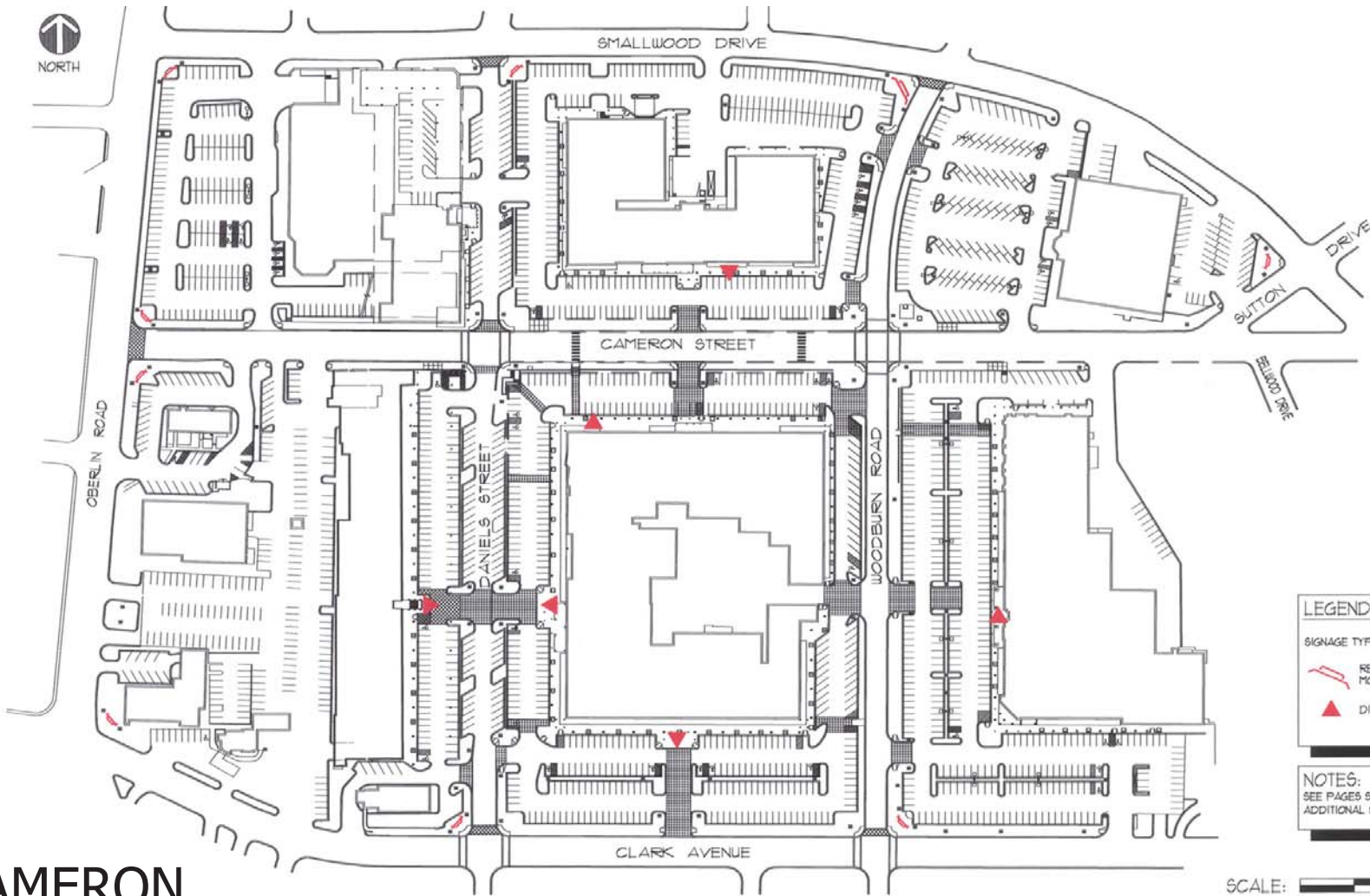
## LIGHTING PLAN

# \*SP 1.05

STREETSCAPE & PARKING PLAN FOR  
PEDESTRIAN BUSINESS OVERLAY DISTRICT  
REVISED APRIL 17, 2003



THE PRESTON PARTNERSHIP, LLC



**LEGEND**

SIGNAGE TYPE

- REDESIGNED EXISTING MONUMENT SIGN
- DIRECTORIES

**NOTES:**  
SEE PAGES SG 3.01-SG 4.08 FOR ADDITIONAL SIGNAGE INFORMATION



# CAMERON VILLAGE

RALEIGH, NORTH CAROLINA

ARCHITECT:  
THE PRESTON PARTNERSHIP, LLC  
1000 ABERNATHY ROAD NE  
SUITE 600  
ATLANTA, GEORGIA 30328  
PHONE: 770.396.7248  
FAX: 770.396.2945

LANDSCAPE ARCHITECT:  
THE PRESTON PARTNERSHIP, LLC  
1000 ABERNATHY ROAD NE  
SUITE 600  
ATLANTA, GEORGIA 30328  
PHONE: 770.396.7248  
FAX: 770.396.2945

OWNER/DEVELOPER:  
BRANCH PROPERTIES, LLC  
400 COLONY SQUARE  
SUITE 1630  
ATLANTA, GEORGIA 30361  
PHONE: 404.832.8900  
FAX: 404.892.8898

PROPERTY MANAGER:  
YORK PROPERTIES  
1900 CAMERON STREET  
RALEIGH, NORTH CAROLINA 27605  
PHONE: 919.821.1350  
FAX: 919.828.9240

PROJECT MANAGER:  
HIGHLANDS PROPERTIES  
4555 MANSELL ROAD  
SUITE 200  
ALPHARETTA, GEORGIA 30022  
PHONE: 678.252.1500  
FAX: 678.252.1510

ELECTRICAL ENGINEER:  
PHILLIPS ENGINEERING GROUP, PC  
500 SUGARMILL ROAD  
BUILDING A, SUITE 105  
ATLANTA, GEORGIA 30350  
PHONE: 770.650.9061  
FAX: 770.642.2410

## SIGNAGE PLAN

# \*SP 1.06

STREETSCAPE & PARKING PLAN FOR  
PEDESTRIAN BUSINESS OVERLAY DISTRICT  
REVISED APRIL 17, 2003



THE PRESTON PARTNERSHIP, LLC



## LANDSCAPE MATERIALS

### Proposed Plant Material

QUANTITY	COMMON NAME	BOTANICAL NAME	SIZE & SPECIFICATION
27	Columnar White Oak	Quercus robur 'Rose Hill'	4" Cal.; 14'x 7'; 6' C.T.; Full; Nursery Grown
9	Allee Elm	Ulmus parvifolia 'Allee'	4" Cal.; 14'x 7'; 6' C.T.; Full; Nursery Grown
2	Willow Oak	Quercus phellos	4" Cal.; 14'x 7'; 6' C.T.; Full; Nursery Grown
1	Red Maple	Acer rubrum	4" Cal.; 14'x 7'; 6' C.T.; Full; Nursery Grown
2	Golden Raintree	Koelreuteria paniculata	4" Cal.; 14'x 7'; 6' C.T.; Full; Nursery Grown
48	Columnar Hornbeam	Cardinus betulus 'Fastigiata'	4" Cal.; 14'x 7'; 6' C.T.; Full; Nursery Grown

## SITE FURNISHINGS

(ALSO SEE ATTACHED CUT SHEET ADDENDUM - SELECTIONS APPROVED FOR DESIGN INTENT MAY BE REVISED ADMINISTRATIVELY PRIOR TO PERMITTING)

QUANTITY	FURNISHING	MODEL NO.	COMPANY
45-50	Bench	Classic Series: VC-12	Victor Stanley, Inc
10-12	Bicycle Rack	5 Loop Heavy Duty Challenger	Madrax
Varies	Planter Pots	Mediterranean: X (Round)	Dura Art Stone
Varies	Planter Pots	Galveston: Ga (Round)	Dura Art Stone
20	Trash Receptacles	Ironsites Series: SD-42	Victor Stanley, Inc.
90-100	Light Pole	Dover (6100-T4)	SternbergVintage Lighting
	Globe	Home Town (G743)	Sternberg Vintage Lighting

# CAMERON VILLAGE

RALEIGH, NORTH CAROLINA

ARCHITECT:  
THE PRESTON PARTNERSHIP, LLC  
1000 ABERNATHY ROAD NE  
SUITE 600  
ATLANTA, GEORGIA 30328  
PHONE: 770.396.7248  
FAX: 770.396.2945

LANDSCAPE ARCHITECT:  
THE PRESTON PARTNERSHIP, LLC  
1000 ABERNATHY ROAD NE  
SUITE 600  
ATLANTA, GEORGIA 30328  
PHONE: 770.396.7248  
FAX: 770.396.2945

OWNER/DEVELOPER:  
BRANCH PROPERTIES, LLC  
400 COLONY SQUARE  
SUITE 1630  
ATLANTA, GEORGIA 30361  
PHONE: 404.832.8900  
FAX: 404.892.8898

PROPERTY MANAGER:  
YORK PROPERTIES  
1900 CAMERON STREET  
RALEIGH, NORTH CAROLINA 27605  
PHONE: 919.821.1350  
FAX: 919.828.9240

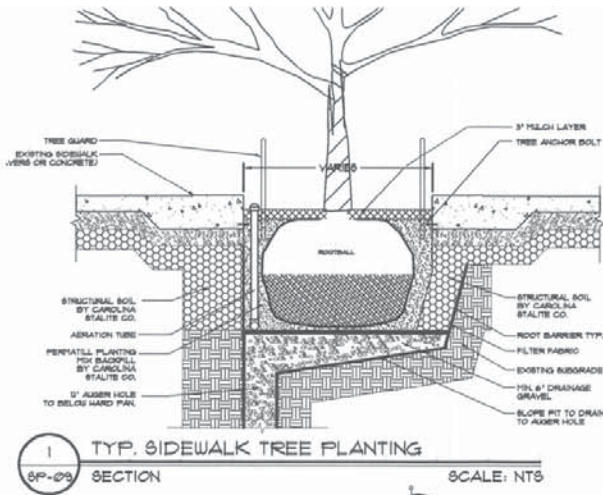
PROJECT MANAGER:  
HIGHLANDS PROPERTIES  
4555 MANSELL ROAD  
SUITE 200  
ALPHARETTA, GEORGIA 30022  
PHONE: 678.252.1500  
FAX: 678.252.1510

ELECTRICAL ENGINEER:  
PHILLIPS ENGINEERING GROUP, PC  
500 SUGARMILL ROAD  
BUILDING A, SUITE 105  
ATLANTA, GEORGIA 30350  
PHONE: 770.650.9061  
FAX: 770.642.2410

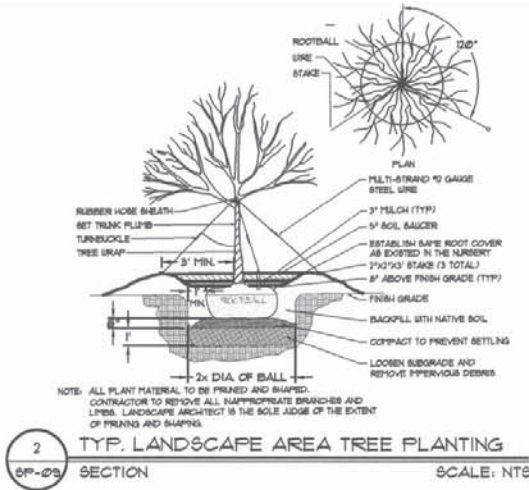
INVENTORY  
**\*SD 2.01**  
STREETSCAPE & PARKING PLAN FOR  
PEDESTRIAN BUSINESS OVERLAY DISTRICT  
REVISED APRIL 17, 2003



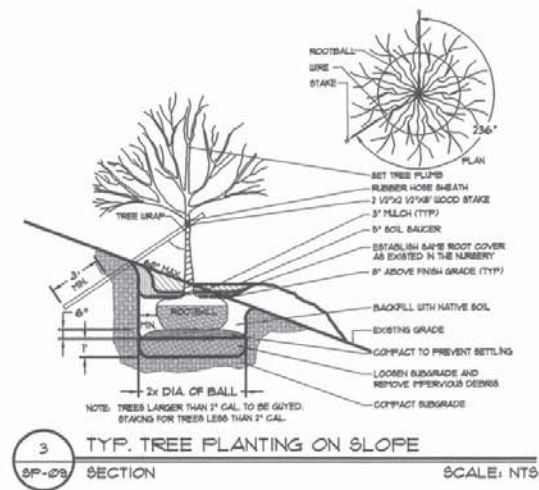
THE PRESTON PARTNERSHIP, LLC



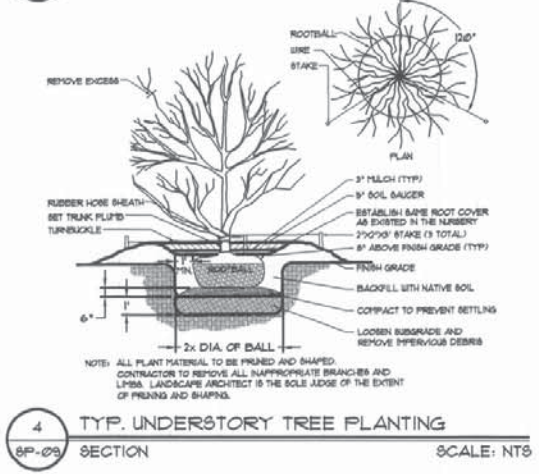
1 TYP. SIDEWALK TREE PLANTING  
SECTION SCALE: NTS



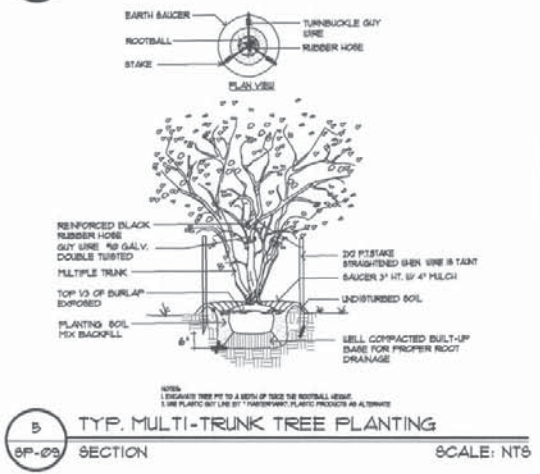
2 TYP. LANDSCAPE AREA TREE PLANTING  
SECTION SCALE: NTS



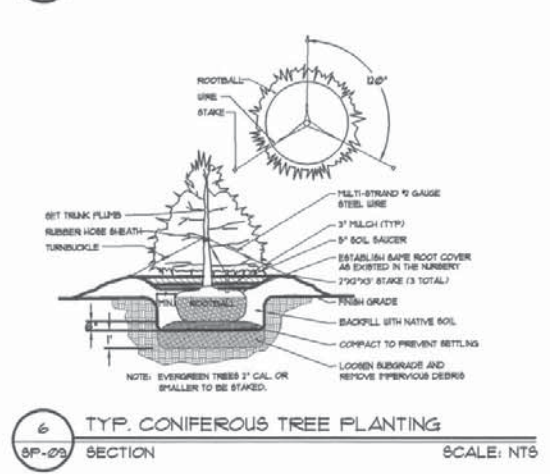
3 TYP. TREE PLANTING ON SLOPE  
SECTION SCALE: NTS



4 TYP. UNDERSTORY TREE PLANTING  
SECTION SCALE: NTS



5 TYP. MULTI-TRUNK TREE PLANTING  
SECTION SCALE: NTS



6 TYP. CONIFEROUS TREE PLANTING  
SECTION SCALE: NTS

# CAMERON VILLAGE

RALEIGH, NORTH CAROLINA

ARCHITECT:  
THE PRESTON PARTNERSHIP, LLP  
1000 ABERNATHY ROAD NE  
SUITE 600  
ATLANTA, GEORGIA 30328  
PHONE: 770.396.7248  
FAX: 770.396.2945

LANDSCAPE ARCHITECT:  
THE PRESTON PARTNERSHIP, LLP  
1000 ABERNATHY ROAD NE  
SUITE 600  
ATLANTA, GEORGIA 30328  
PHONE: 770.396.7248  
FAX: 770.396.2945

OWNER/DEVELOPER:  
BRANCH PROPERTIES, LLC  
400 COLONY SQUARE  
SUITE 1630  
ATLANTA, GEORGIA 30361  
PHONE: 404.832.8900  
FAX: 404.892.8898

PROPERTY MANAGER:  
YORK PROPERTIES  
1900 CAMERON STREET  
RALEIGH, NORTH CAROLINA 27605  
PHONE: 919.821.1350  
FAX: 919.828.9240

PROJECT MANAGER:  
HIGHLANDS PROPERTIES  
4555 MANSELL ROAD  
SUITE 200  
ALPHARETTA, GEORGIA 30022  
PHONE: 678.252.1500  
FAX: 678.252.1510

ELECTRICAL ENGINEER:  
PHILLIPS ENGINEERING GROUP, PC  
500 SUGARMILL ROAD  
BUILDING A, SUITE 105  
ATLANTA, GEORGIA 30350  
PHONE: 770.650.9061  
FAX: 770.642.2410

## TREE PLANTING DETAILS

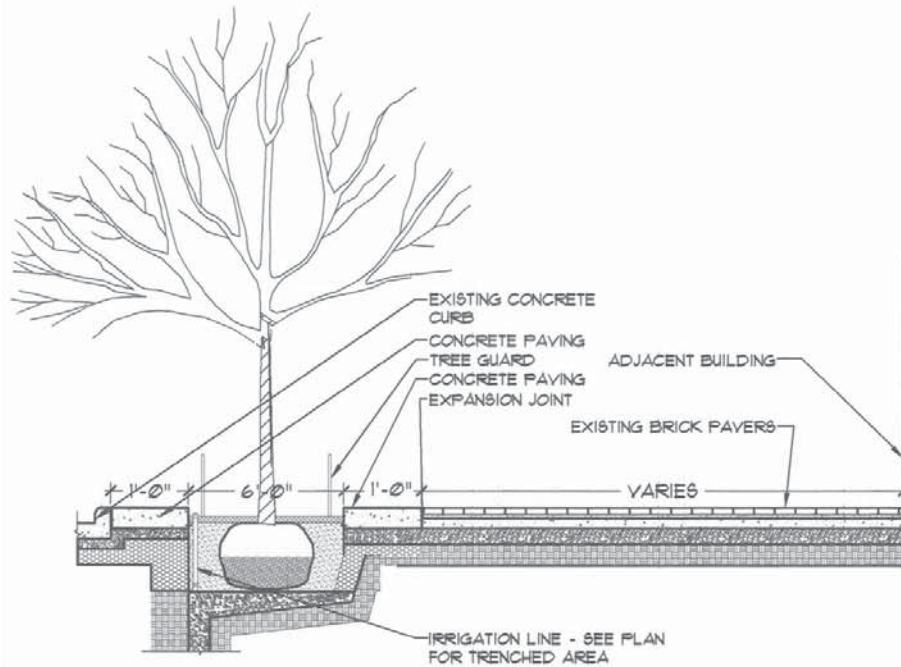
# SD 2.02

STREETSCAPE & PARKING PLAN FOR  
PEDESTRIAN BUSINESS OVERLAY DISTRICT  
MARCH 7, 2003

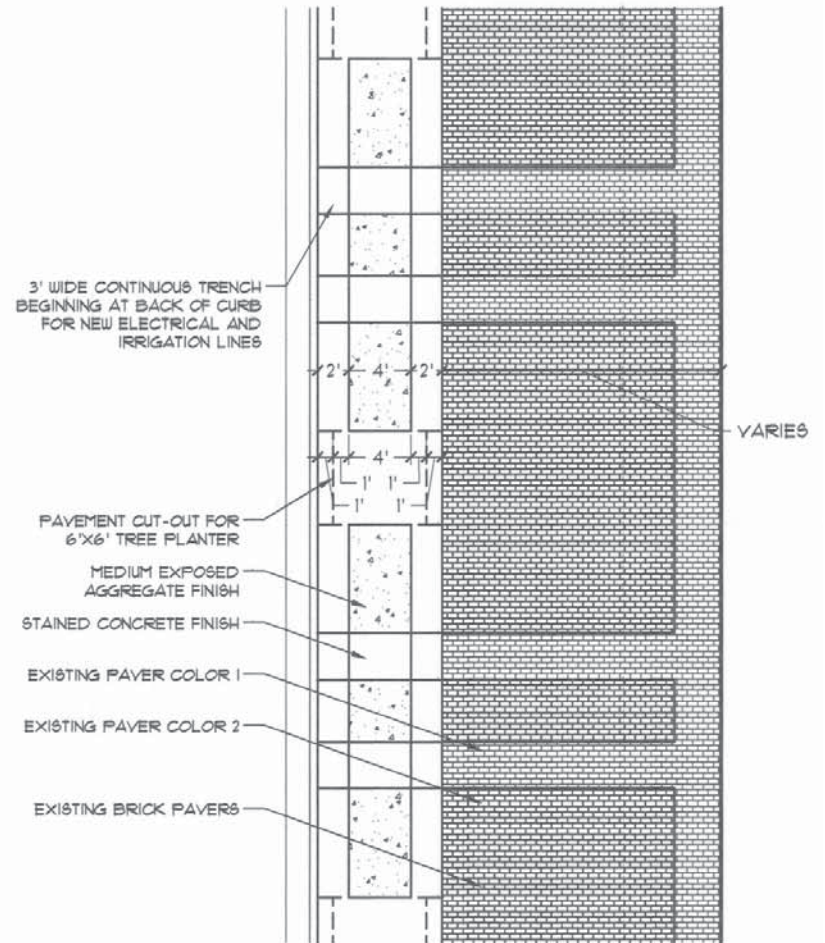


THE PRESTON PARTNERSHIP, LLP





**SIDEWALK SECTION**  
SCALE: N.T.S.



**SIDEWALK PLAN**  
SCALE: 1/8"=1'

# CAMERON VILLAGE

RALEIGH, NORTH CAROLINA

## SIDEWALK PLAN & SECTION

ARCHITECT:  
THE PRESTON PARTNERSHIP, LLC  
1000 ABERNATHY ROAD NE  
SUITE 600  
ATLANTA, GEORGIA 30328  
PHONE: 770.396.7248  
FAX: 770.396.2945

LANDSCAPE ARCHITECT:  
THE PRESTON PARTNERSHIP, LLC  
1000 ABERNATHY ROAD NE  
SUITE 600  
ATLANTA, GEORGIA 30328  
PHONE: 770.396.7248  
FAX: 770.396.2945

OWNER/DEVELOPER:  
BRANCH PROPERTIES, LLC  
400 COLONY SQUARE  
SUITE 1630  
ATLANTA, GEORGIA 30361  
PHONE: 404.832.8900  
FAX: 404.892.8898

PROPERTY MANAGER:  
YORK PROPERTIES  
1900 CAMERON STREET  
RALEIGH, NORTH CAROLINA 27605  
PHONE: 919.821.1350  
FAX: 919.828.9240

PROJECT MANAGER:  
HIGHLANDS PROPERTIES  
4555 MANSELL ROAD  
SUITE 200  
ALPHARETTA, GEORGIA 30022  
PHONE: 678.252.1500  
FAX: 678.252.1510

ELECTRICAL ENGINEER:  
PHILLIPS ENGINEERING GROUP, PC  
500 SUGARMILL ROAD  
BUILDING A, SUITE 105  
ATLANTA, GEORGIA 30350  
PHONE: 770.650.9061  
FAX: 770.642.2410

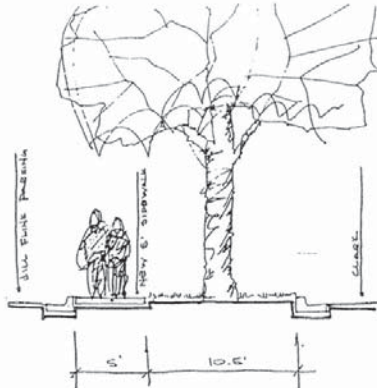
**SD 2.03**  
STREETSCAPE & PARKING PLAN FOR  
PEDESTRIAN BUSINESS OVERLAY DISTRICT  
MARCH 7, 2003



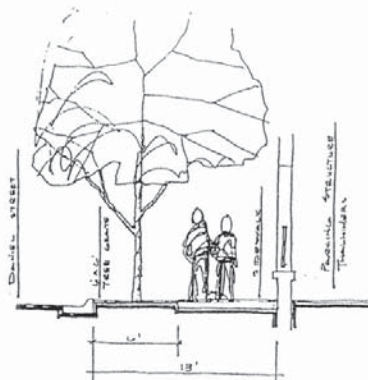
THE PRESTON PARTNERSHIP, LLC



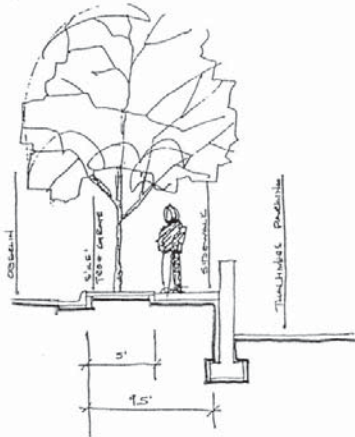
STREETYARD SKETCH  
SMALLWOOD AT ABC  
N.T.S.



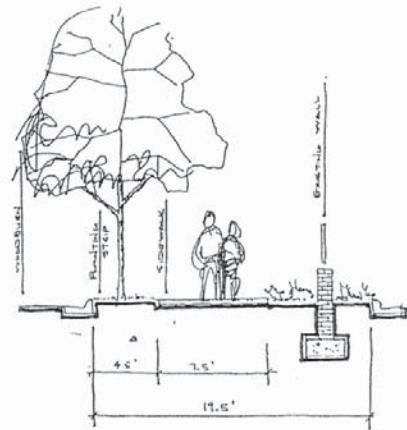
STREETYARD SKETCH  
JILL FLINK AT CLARK  
N.T.S.



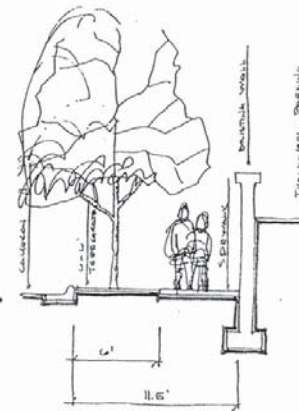
STREETYARD SKETCH  
HARRIS TEETER AT DANIEL  
N.T.S.



STREETYARD SKETCH  
OBERLIN AT HARRIS TEETER  
N.T.S.



STREETYARD SKETCH  
WOODBURN AT TALBOTS  
N.T.S.



STREETYARD SKETCH  
CAMERON AT HARRIS TEETER  
N.T.S.

# CAMERON VILLAGE

RALEIGH, NORTH CAROLINA

ARCHITECT:  
THE PRESTON PARTNERSHIP, LLC  
1000 ABERNATHY ROAD NE  
SUITE 600  
ATLANTA, GEORGIA 30328  
PHONE: 770.396.7248  
FAX: 770.396.2945

LANDSCAPE ARCHITECT:  
THE PRESTON PARTNERSHIP, LLC  
1000 ABERNATHY ROAD NE  
SUITE 600  
ATLANTA, GEORGIA 30328  
PHONE: 770.396.7248  
FAX: 770.396.2945

OWNER/DEVELOPER:  
BRANCH PROPERTIES, LLC  
400 COLONY SQUARE  
SUITE 1630  
ATLANTA, GEORGIA 30361  
PHONE: 404.832.8900  
FAX: 404.892.8898

PROPERTY MANAGER:  
YORK PROPERTIES  
1900 CAMERON STREET  
RALEIGH, NORTH CAROLINA 27605  
PHONE: 919.821.1350  
FAX: 919.828.9240

PROJECT MANAGER:  
HIGHLANDS PROPERTIES  
4555 MANSELL ROAD  
SUITE 200  
ALPHARETTA, GEORGIA 30022  
PHONE: 678.252.1500  
FAX: 678.252.1510

ELECTRICAL ENGINEER:  
PHILLIPS ENGINEERING GROUP, PC  
500 SUGARMILL ROAD  
BUILDING A, SUITE 105  
ATLANTA, GEORGIA 30350  
PHONE: 770.650.9061  
FAX: 770.642.2410

## EXISTING SIDEWALK SECTIONS

# SD 2.04

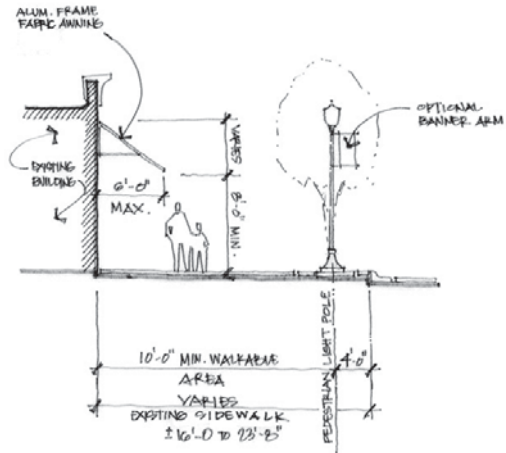
STREETSCAPE & PARKING PLAN FOR  
PEDESTRIAN BUSINESS OVERLAY DISTRICT

MARCH 7, 2003

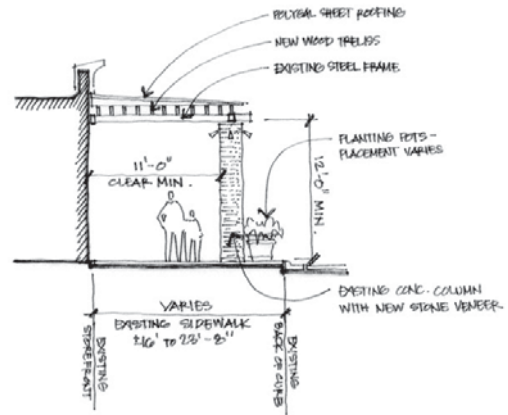


THE PRESTON PARTNERSHIP, LLC

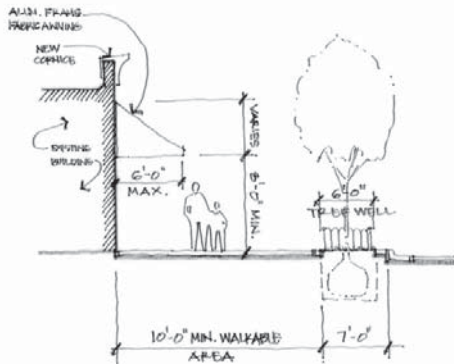




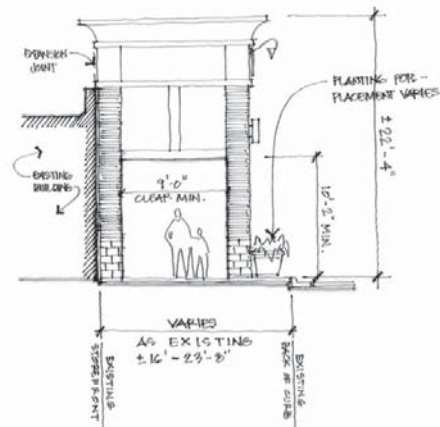
SIDEWALK SECTION  
TYPICAL PEDESTRIAN LIGHT POLE  
N.T.S.



SIDEWALK SECTION  
COVERED TRELIS  
N.T.S.



SIDEWALK SECTION  
TYPICAL TREE PLANTING  
N.T.S.



SIDEWALK SECTION  
PAVILION CANOPY  
N.T.S.

# CAMERON VILLAGE

RALEIGH, NORTH CAROLINA

ARCHITECT:  
THE PRESTON PARTNERSHIP, LLC  
1000 ABERNATHY ROAD NE  
SUITE 600  
ATLANTA, GEORGIA 30328  
PHONE: 770.396.7248  
FAX: 770.396.2945

LANDSCAPE ARCHITECT:  
THE PRESTON PARTNERSHIP, LLC  
1000 ABERNATHY ROAD NE  
SUITE 600  
ATLANTA, GEORGIA 30328  
PHONE: 770.396.7248  
FAX: 770.396.2945

OWNER/DEVELOPER:  
BRANCH PROPERTIES, LLC  
400 COLONY SQUARE  
SUITE 1630  
ATLANTA, GEORGIA 30361  
PHONE: 404.832.8900  
FAX: 404.892.8898

PROPERTY MANAGER:  
YORK PROPERTIES  
1900 CAMERON STREET  
RALEIGH, NORTH CAROLINA 27605  
PHONE: 919.821.1350  
FAX: 919.828.9240

PROJECT MANAGER:  
HIGHLANDS PROPERTIES  
4555 MANSELL ROAD  
SUITE 200  
ALPHARETTA, GEORGIA 30022  
PHONE: 678.252.1500  
FAX: 678.252.1510

ELECTRICAL ENGINEER:  
PHILLIPS ENGINEERING GROUP, PC  
500 SUGARMILL ROAD  
BUILDING A, SUITE 105  
ATLANTA, GEORGIA 30350  
PHONE: 770.650.9061  
FAX: 770.642.2410

## SKETCHED SIDEWALK SECTIONS

# SD 2.05

STREETSCAPE & PARKING PLAN FOR  
PEDESTRIAN BUSINESS OVERLAY DISTRICT

MARCH 7, 2003



THE PRESTON PARTNERSHIP, LLC



Typical Bench and Planter Pot Configuration

# CAMERON VILLAGE

RALEIGH, NORTH CAROLINA

ARCHITECT:  
THE PRESTON PARTNERSHIP, LLC  
1000 ABERNATHY ROAD NE  
SUITE 600  
ATLANTA, GEORGIA 30328  
PHONE: 770.396.7248  
FAX: 770.396.2945

LANDSCAPE ARCHITECT:  
THE PRESTON PARTNERSHIP, LLC  
1000 ABERNATHY ROAD NE  
SUITE 600  
ATLANTA, GEORGIA 30328  
PHONE: 770.396.7248  
FAX: 770.396.2945

OWNER/DEVELOPER:  
BRANCH PROPERTIES, LLC  
400 COLONY SQUARE  
SUITE 1630  
ATLANTA, GEORGIA 30361  
PHONE: 404.832.8900  
FAX: 404.892.8898

PROPERTY MANAGER:  
YORK PROPERTIES  
1900 CAMERON STREET  
RALEIGH, NORTH CAROLINA 27605  
PHONE: 919.821.1350  
FAX: 919.828.9240

PROJECT MANAGER:  
HIGHLANDS PROPERTIES  
4555 MANSELL ROAD  
SUITE 200  
ALPHARETTA, GEORGIA 30022  
PHONE: 678.252.1500  
FAX: 678.252.1510

ELECTRICAL ENGINEER:  
PHILLIPS ENGINEERING GROUP, PC  
500 SUGARMILL ROAD  
BUILDING A, SUITE 105  
ATLANTA, GEORGIA 30350  
PHONE: 770.650.9061  
FAX: 770.642.2410

AMENITY DETAILS

## SD 2.06

STREETSCAPE & PARKING PLAN FOR  
PEDESTRIAN BUSINESS OVERLAY DISTRICT

MARCH 7, 2003



THE PRESTON PARTNERSHIP, LLC





Typical Bench



Selected Globe



Selected Pole Base



Typical Planter, Colors, and Finish

Dura Art Stone  
6835 Southlake Parkway  
Morrow, GA 30260  
(800) 232-0332  
www.duraartstone.com



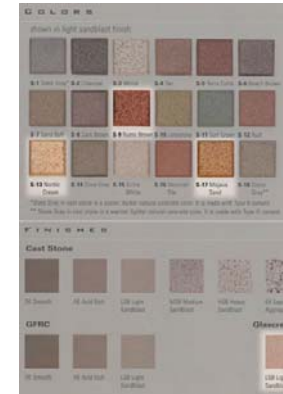
Typical Trash Receptacle



Typical Bike Rack



Similar Pole with Banners



NOTE:

ALSO SEE ATTACHED CUT SHEET ADDENDUM.  
SELECTIONS APPROVED FOR DESIGN INTENT MAY  
BE REVISED ADMINISTRATIVELY  
PRIOR TO PERMITTING.

# CAMERON VILLAGE

RALEIGH, NORTH CAROLINA

ARCHITECT:  
THE PRESTON PARTNERSHIP, LLC  
1000 ABERNATHY ROAD NE  
SUITE 600  
ATLANTA, GEORGIA 30328  
PHONE: 770.396.7248  
FAX: 770.396.2945

LANDSCAPE ARCHITECT:  
THE PRESTON PARTNERSHIP, LLC  
1000 ABERNATHY ROAD NE  
SUITE 600  
ATLANTA, GEORGIA 30328  
PHONE: 770.396.7248  
FAX: 770.396.2945

OWNER/DEVELOPER:  
BRANCH PROPERTIES, LLC  
400 COLONY SQUARE  
SUITE 1630  
ATLANTA, GEORGIA 30361  
PHONE: 404.832.8900  
FAX: 404.892.8898

PROPERTY MANAGER:  
YORK PROPERTIES  
1900 CAMERON STREET  
RALEIGH, NORTH CAROLINA 27605  
PHONE: 919.821.1350  
FAX: 919.828.9240

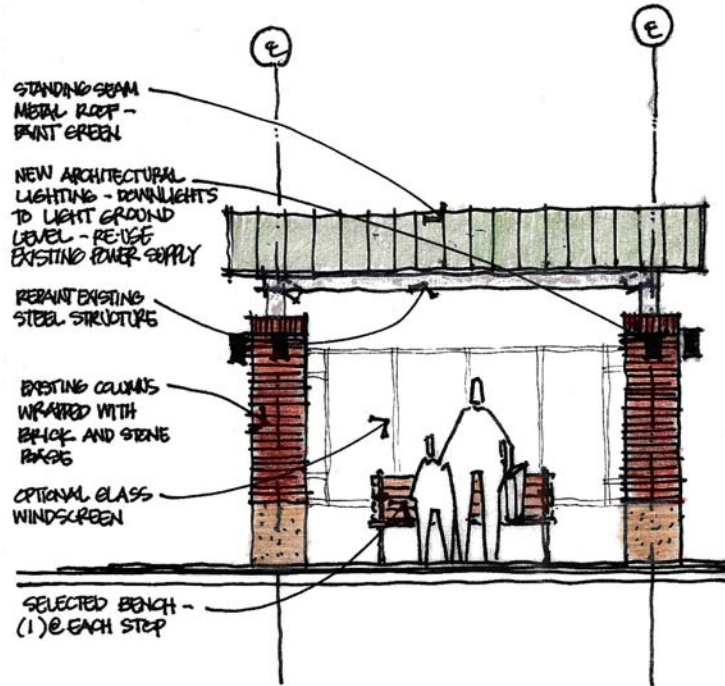
PROJECT MANAGER:  
HIGHLANDS PROPERTIES  
4555 MANSELL ROAD  
SUITE 200  
ALPHARETTA, GEORGIA 30022  
PHONE: 678.252.1500  
FAX: 678.252.1510

ELECTRICAL ENGINEER:  
PHILLIPS ENGINEERING GROUP, PC  
500 SUGARMILL ROAD  
BUILDING A, SUITE 105  
ATLANTA, GEORGIA 30350  
PHONE: 770.650.9061  
FAX: 770.642.2410

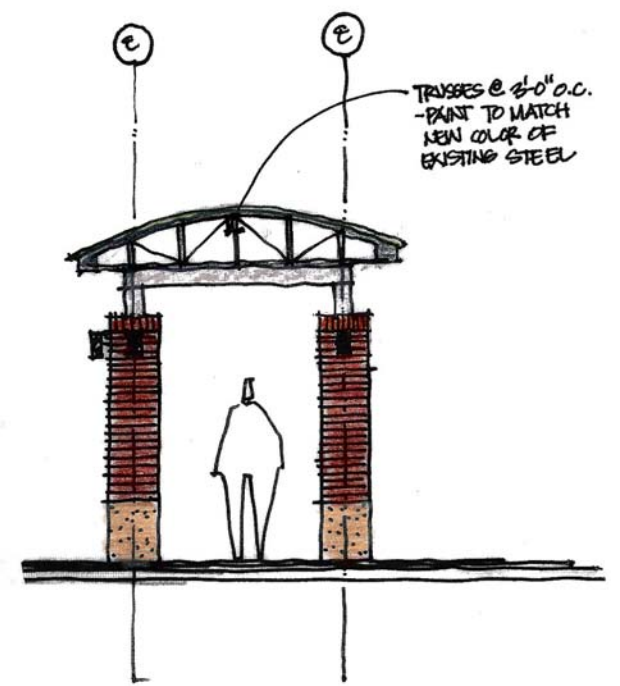
CUT SHEET  
**\*SD 2.07**  
STREETSCAPE & PARKING PLAN FOR  
PEDESTRIAN BUSINESS OVERLAY DISTRICT  
REVISED APRIL 17, 2003  
THE PRESTON PARTNERSHIP, LLC



Existing Bus Stop



1 BUS STOP FRONT ELEVATION  
A 1/4" = 1'-0" 4.9.03



2 BUS STOP SIDE ELEVATION  
A 1/4" = 1'-0" 4.9.03

# CAMERON VILLAGE

RALEIGH, NORTH CAROLINA

ARCHITECT:  
THE PRESTON PARTNERSHIP, LLC  
1000 ABERNATHY ROAD NE  
SUITE 600  
ATLANTA, GEORGIA 30328  
PHONE: 770.396.7248  
FAX: 770.396.2945

LANDSCAPE ARCHITECT:  
THE PRESTON PARTNERSHIP, LLC  
1000 ABERNATHY ROAD NE  
SUITE 600  
ATLANTA, GEORGIA 30328  
PHONE: 770.396.7248  
FAX: 770.396.2945

OWNER/DEVELOPER:  
BRANCH PROPERTIES, LLC  
400 COLONY SQUARE  
SUITE 1630  
ATLANTA, GEORGIA 30361  
PHONE: 404.832.8900  
FAX: 404.892.8898

PROPERTY MANAGER:  
YORK PROPERTIES  
1900 CAMERON STREET  
RALEIGH, NORTH CAROLINA 27605  
PHONE: 919.821.1350  
FAX: 919.828.9240

PROJECT MANAGER:  
HIGHLANDS PROPERTIES  
4555 MANSELL ROAD  
SUITE 200  
ALPHARETTA, GEORGIA 30022  
PHONE: 678.252.1500  
FAX: 678.252.1510

ELECTRICAL ENGINEER:  
PHILLIPS ENGINEERING GROUP, PC  
500 SUGARMILL ROAD  
BUILDING A, SUITE 105  
ATLANTA, GEORGIA 30350  
PHONE: 770.650.9061  
FAX: 770.642.2410

RENOVATED TRANSIT STOP

**\*SD 2.08**

STREETSCAPE & PARKING PLAN FOR  
PEDESTRIAN BUSINESS OVERLAY DISTRICT

REVISED APRIL 17, 2003



THE PRESTON PARTNERSHIP, LLC





North Elevation - Cameron Street



West Elevation - Daniels Street



South Elevation - Clark Avenue



East Elevation - Woodburn Road

- ELEVATION GENERAL NOTES**
1. GENERAL BRICK: UNLESS OTHERWISE SPECIFIED, BRICK TO BE FULLY RECONSTRUCTED WITH 2" MINIMUM THICKNESS OF 2" MINIMUM GAUGE, FULLY RECONSTRUCTED WITH 2" MINIMUM THICKNESS OF 2" MINIMUM GAUGE, FULLY RECONSTRUCTED WITH 2" MINIMUM THICKNESS OF 2" MINIMUM GAUGE.
  2. BRICK: 2" MINIMUM THICKNESS OF 2" MINIMUM GAUGE, FULLY RECONSTRUCTED WITH 2" MINIMUM THICKNESS OF 2" MINIMUM GAUGE, FULLY RECONSTRUCTED WITH 2" MINIMUM THICKNESS OF 2" MINIMUM GAUGE.
  3. ALL BRICK TO BE BY SEPARATE CONTRACTOR.
  4. SEE GENERAL NOTES FOR BRICK SPECIFICATIONS INCLUDING TYPES, COLORS, ETC.
  5. EXISTING STRUCTURES ARE TO REMAIN UNLESS OTHERWISE SPECIFIED.
  6. GENERAL CONTRACTOR TO MAINTAIN EXISTING STRUCTURES UNLESS OTHERWISE SPECIFIED.
  7. UNLESS OTHERWISE SPECIFIED, ALL BRICK TO BE FULLY RECONSTRUCTED WITH 2" MINIMUM THICKNESS OF 2" MINIMUM GAUGE.
  8. ALL BRICK TO BE CHANGABLE AS REQUIRED BY LOCAL BUILDING DEPARTMENT.
  9. FOR ALL BRICK, SEE SCHEDULE FOR BRICK TYPE, COLOR, TYPE AND LOCATION. SEE STRUCTURAL FOR BRICK TYPE AND LOCATION. SEE STRUCTURAL FOR BRICK TYPE AND LOCATION. SEE STRUCTURAL FOR BRICK TYPE AND LOCATION.
  10. ALL BRICK TO BE CHANGABLE AS REQUIRED BY LOCAL BUILDING DEPARTMENT.
  11. ALL BRICK TO BE CHANGABLE AS REQUIRED BY LOCAL BUILDING DEPARTMENT.

# CAMERON VILLAGE

RALEIGH, NORTH CAROLINA

ARCHITECT:  
THE PRESTON PARTNERSHIP, LLC  
1000 ABERNATHY ROAD NE  
SUITE 600  
ATLANTA, GEORGIA 30328  
PHONE: 770.396.7248  
FAX: 770.396.2945

LANDSCAPE ARCHITECT:  
THE PRESTON PARTNERSHIP, LLC  
1000 ABERNATHY ROAD NE  
SUITE 600  
ATLANTA, GEORGIA 30328  
PHONE: 770.396.7248  
FAX: 770.396.2945

OWNER/DEVELOPER:  
BRANCH PROPERTIES, LLC  
400 COLONY SQUARE  
SUITE 1630  
ATLANTA, GEORGIA 30361  
PHONE: 404.832.8900  
FAX: 404.892.8898

PROPERTY MANAGER:  
YORK PROPERTIES  
1900 CAMERON STREET  
RALEIGH, NORTH CAROLINA 27605  
PHONE: 919.821.1350  
FAX: 919.828.9240

PROJECT MANAGER:  
HIGHLANDS PROPERTIES  
4555 MANSELL ROAD  
SUITE 200  
ALPHARETTA, GEORGIA 30022  
PHONE: 678.252.1500  
FAX: 678.252.1510

ELECTRICAL ENGINEER:  
PHILLIPS ENGINEERING GROUP, PC  
500 SUGARMILL ROAD  
BUILDING A, SUITE 105  
ATLANTA, GEORGIA 30350  
PHONE: 770.650.9061  
FAX: 770.642.2410

## BLOCK 1 ELEVATIONS

# \*SE 3.01

STREETSCAPE & PARKING PLAN FOR  
PEDESTRIAN BUSINESS OVERLAY DISTRICT

REVISED APRIL 17, 2003



THE PRESTON PARTNERSHIP, LLC



North Elevation - Cameron Street



West Elevation - Daniels Street



South Elevation - Clark Avenue



East Elevation - Woodburn Road

# CAMERON VILLAGE

RALEIGH, NORTH CAROLINA

ARCHITECT:  
THE PRESTON PARTNERSHIP, LLC  
1000 ABERNATHY ROAD NE  
SUITE 600  
ATLANTA, GEORGIA 30328  
PHONE: 770.396.7248  
FAX: 770.396.2945

LANDSCAPE ARCHITECT:  
THE PRESTON PARTNERSHIP, LLC  
1000 ABERNATHY ROAD NE  
SUITE 600  
ATLANTA, GEORGIA 30328  
PHONE: 770.396.7248  
FAX: 770.396.2945

OWNER/DEVELOPER:  
BRANCH PROPERTIES, LLC  
400 COLONY SQUARE  
SUITE 1630  
ATLANTA, GEORGIA 30361  
PHONE: 404.832.8900  
FAX: 404.892.8898

PROPERTY MANAGER:  
YORK PROPERTIES  
1900 CAMERON STREET  
RALEIGH, NORTH CAROLINA 27605  
PHONE: 919.821.1350  
FAX: 919.828.9240

PROJECT MANAGER:  
HIGHLANDS PROPERTIES  
4555 MANSELL ROAD  
SUITE 200  
ALPHARETTA, GEORGIA 30022  
PHONE: 678.252.1500  
FAX: 678.252.1510

ELECTRICAL ENGINEER:  
PHILLIPS ENGINEERING GROUP, PC  
500 SUGARMILL ROAD  
BUILDING A, SUITE 105  
ATLANTA, GEORGIA 30350  
PHONE: 770.650.9061  
FAX: 770.642.2410

BLOCK 1 ELEVATIONS  
**\*SE 3.01A**  
STREETSCAPE & PARKING PLAN FOR  
PEDESTRIAN BUSINESS OVERLAY DISTRICT  
REVISED APRIL 17, 2003



THE PRESTON PARTNERSHIP, LLC





Block 2 East Elevation - Daniels Street



Block 3 West Elevation - Woodburn Road



Block 3 North Elevation - Cameron Street

Block 3 South Elevation - Clark Avenue

# CAMERON VILLAGE

RALEIGH, NORTH CAROLINA

ARCHITECT:  
THE PRESTON PARTNERSHIP, LLC  
1000 ABERNATHY ROAD NE  
SUITE 600  
ATLANTA, GEORGIA 30328  
PHONE: 770.396.7248  
FAX: 770.396.2945

LANDSCAPE ARCHITECT:  
THE PRESTON PARTNERSHIP, LLC  
1000 ABERNATHY ROAD NE  
SUITE 600  
ATLANTA, GEORGIA 30328  
PHONE: 770.396.7248  
FAX: 770.396.2945

OWNER/DEVELOPER:  
BRANCH PROPERTIES, LLC  
400 COLONY SQUARE  
SUITE 1630  
ATLANTA, GEORGIA 30361  
PHONE: 404.832.8900  
FAX: 404.892.8898

PROPERTY MANAGER:  
YORK PROPERTIES  
1900 CAMERON STREET  
RALEIGH, NORTH CAROLINA 27605  
PHONE: 919.821.1350  
FAX: 919.828.9240

PROJECT MANAGER:  
HIGHLANDS PROPERTIES  
4555 MANSELL ROAD  
SUITE 200  
ALPHARETTA, GEORGIA 30022  
PHONE: 678.252.1500  
FAX: 678.252.1510

ELECTRICAL ENGINEER:  
PHILLIPS ENGINEERING GROUP, PC  
500 SUGARMILL ROAD  
BUILDING A, SUITE 105  
ATLANTA, GEORGIA 30350  
PHONE: 770.650.9061  
FAX: 770.642.2410

## BLOCK 2 AND 3 ELEVATIONS

**\*SE 3.02**

STREETSCAPE & PARKING PLAN FOR  
PEDESTRIAN BUSINESS OVERLAY DISTRICT  
REVISED APRIL 17, 2003



THE PRESTON PARTNERSHIP, LLC



Block 2 East Elevation - Daniels Street



Block 3 West Elevation - Woodburn Road



Block 3 North Elevation - Cameron Street



Block 3 South Elevation - Clark Avenue

# CAMERON VILLAGE

RALEIGH, NORTH CAROLINA

ARCHITECT:  
THE PRESTON PARTNERSHIP, LLC  
1000 ABERNATHY ROAD NE  
SUITE 600  
ATLANTA, GEORGIA 30328  
PHONE: 770.396.7248  
FAX: 770.396.2945

LANDSCAPE ARCHITECT:  
THE PRESTON PARTNERSHIP, LLC  
1000 ABERNATHY ROAD NE  
SUITE 600  
ATLANTA, GEORGIA 30328  
PHONE: 770.396.7248  
FAX: 770.396.2945

OWNER/DEVELOPER:  
BRANCH PROPERTIES, LLC  
400 COLONY SQUARE  
SUITE 1630  
ATLANTA, GEORGIA 30361  
PHONE: 404.832.8900  
FAX: 404.892.8898

PROPERTY MANAGER:  
YORK PROPERTIES  
1900 CAMERON STREET  
RALEIGH, NORTH CAROLINA 27605  
PHONE: 919.821.1350  
FAX: 919.828.9240

PROJECT MANAGER:  
HIGHLANDS PROPERTIES  
4555 MANSELL ROAD  
SUITE 200  
ALPHARETTA, GEORGIA 30022  
PHONE: 678.252.1500  
FAX: 678.252.1510

ELECTRICAL ENGINEER:  
PHILLIPS ENGINEERING GROUP, PC  
500 SUGARMILL ROAD  
BUILDING A, SUITE 105  
ATLANTA, GEORGIA 30350  
PHONE: 770.650.9061  
FAX: 770.642.2410

BLOCK 2 AND 3 ELEVATIONS

**\*SE 3.02A**

STREETSCAPE & PARKING PLAN FOR  
PEDESTRIAN BUSINESS OVERLAY DISTRICT  
REVISED APRIL 17, 2003



THE PRESTON PARTNERSHIP, LLC





Block 5 South Elevation - Cameron Street



Block 5 West Elevation - Daniels Street



Block 5 East Elevation - Woodburn Road



Block 5 North Elevation - Smallwood Drive



Block 5 East Elevation - at Loading Dock



Block 6

# CAMERON VILLAGE

RALEIGH, NORTH CAROLINA

ARCHITECT:  
THE PRESTON PARTNERSHIP, LLC  
1000 ABERNATHY ROAD NE  
SUITE 600  
ATLANTA, GEORGIA 30328  
PHONE: 770.396.7248  
FAX: 770.396.2945

LANDSCAPE ARCHITECT:  
THE PRESTON PARTNERSHIP, LLC  
1000 ABERNATHY ROAD NE  
SUITE 600  
ATLANTA, GEORGIA 30328  
PHONE: 770.396.7248  
FAX: 770.396.2945

OWNER/DEVELOPER:  
BRANCH PROPERTIES, LLC  
400 COLONY SQUARE  
SUITE 1630  
ATLANTA, GEORGIA 30361  
PHONE: 404.832.8900  
FAX: 404.892.8898

PROPERTY MANAGER:  
YORK PROPERTIES  
1900 CAMERON STREET  
RALEIGH, NORTH CAROLINA 27605  
PHONE: 919.821.1350  
FAX: 919.828.9240

PROJECT MANAGER:  
HIGHLANDS PROPERTIES  
4555 MANSELL ROAD  
SUITE 200  
ALPHARETTA, GEORGIA 30022  
PHONE: 678.252.1500  
FAX: 678.252.1510

ELECTRICAL ENGINEER:  
PHILLIPS ENGINEERING GROUP, PC  
500 SUGARMILL ROAD  
BUILDING A, SUITE 105  
ATLANTA, GEORGIA 30350  
PHONE: 770.650.9061  
FAX: 770.642.2410

## BLOCK 5 AND 6 ELEVATIONS

**\*SE 3.03**

STREETSCAPE & PARKING PLAN FOR  
PEDESTRIAN BUSINESS OVERLAY DISTRICT  
REVISED APRIL 17, 2003



THE PRESTON PARTNERSHIP, LLC



Block 5 South Elevation - Cameron Street



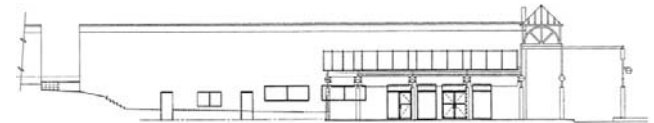
Block 5 West Elevation - Daniels Street



Block 5 East Elevation - Woodburn Road



Block 5 North Elevation - Smallwood Drive



Block 5 East Elevation - at Loading Dock



Block 6

# CAMERON VILLAGE

RALEIGH, NORTH CAROLINA

ARCHITECT:  
THE PRESTON PARTNERSHIP, LLC  
1000 ABERNATHY ROAD NE  
SUITE 600  
ATLANTA, GEORGIA 30328  
PHONE: 770.396.7248  
FAX: 770.396.2945

LANDSCAPE ARCHITECT:  
THE PRESTON PARTNERSHIP, LLC  
1000 ABERNATHY ROAD NE  
SUITE 600  
ATLANTA, GEORGIA 30328  
PHONE: 770.396.7248  
FAX: 770.396.2945

OWNER/DEVELOPER:  
BRANCH PROPERTIES, LLC  
400 COLONY SQUARE  
SUITE 1630  
ATLANTA, GEORGIA 30361  
PHONE: 404.832.8900  
FAX: 404.892.8898

PROPERTY MANAGER:  
YORK PROPERTIES  
1900 CAMERON STREET  
RALEIGH, NORTH CAROLINA 27605  
PHONE: 919.821.1350  
FAX: 919.828.9240

PROJECT MANAGER:  
HIGHLANDS PROPERTIES  
4555 MANSELL ROAD  
SUITE 200  
ALPHARETTA, GEORGIA 30022  
PHONE: 678.252.1500  
FAX: 678.252.1510

ELECTRICAL ENGINEER:  
PHILLIPS ENGINEERING GROUP, PC  
500 SUGARMILL ROAD  
BUILDING A, SUITE 105  
ATLANTA, GEORGIA 30350  
PHONE: 770.650.9061  
FAX: 770.642.2410

## BLOCK 5 AND 6 ELEVATIONS

# \*SE 3.03A

STREETSCAPE & PARKING PLAN FOR  
PEDESTRIAN BUSINESS OVERLAY DISTRICT  
REVISED APRIL 17, 2003



THE PRESTON PARTNERSHIP, LLC



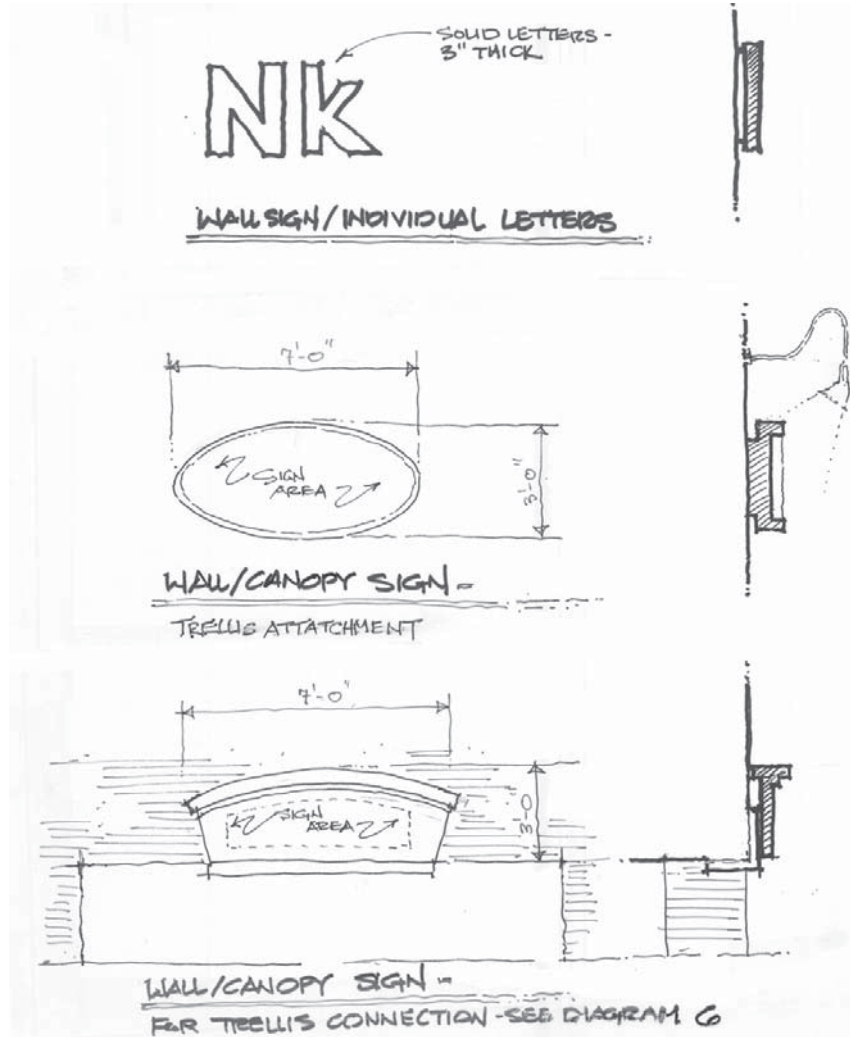
## DESIGN INTENT

The "custom" tenant signage at Cameron Village is to provide the opportunity to enhance each tenant's identity and better support their individual needs. Overall the Cameron Village "Main Street" character will be restored to its original context. The signage will reflect the quality of the existing tenants now at Cameron Village. Signage such as flashing "strobe" lights, formed plastic, injection molds, or internally illuminated box signs will not be permitted. Owner/Landlord will review the tenant signage, prior to submission to the City, to assure the character and quality.

## ALLOWABLE SIGN TYPES

The following sign types are allowed on or above existing storefronts. In specific locations tenant signage may be placed on architectural elements in front of storefronts.

1. Storefront or Wall Signage: Tenant is permitted one (1) sign per building "front" elevation. If a tenant has two or more "front" elevations (because of the tenant location at building corner(s)), then multiple signs will be considered specific to the individual tenant.
2. Canopy Signs or Graphics: Tenant is permitted to use canopies (including fabric awnings) as an opportunity to identify their store name, logos and crests.



# CAMERON VILLAGE

RALEIGH, NORTH CAROLINA

ARCHITECT:  
THE PRESTON PARTNERSHIP, LLC  
1000 ABERNATHY ROAD NE  
SUITE 600  
ATLANTA, GEORGIA 30328  
PHONE: 770.396.7248  
FAX: 770.396.2945

LANDSCAPE ARCHITECT:  
THE PRESTON PARTNERSHIP, LLC  
1000 ABERNATHY ROAD NE  
SUITE 600  
ATLANTA, GEORGIA 30328  
PHONE: 770.396.7248  
FAX: 770.396.2945

OWNER/DEVELOPER:  
BRANCH PROPERTIES, LLC  
400 COLONY SQUARE  
SUITE 1630  
ATLANTA, GEORGIA 30361  
PHONE: 404.832.8900  
FAX: 404.892.8898

PROPERTY MANAGER:  
YORK PROPERTIES  
1900 CAMERON STREET  
RALEIGH, NORTH CAROLINA 27605  
PHONE: 919.821.1350  
FAX: 919.828.9240

PROJECT MANAGER:  
HIGHLANDS PROPERTIES  
4555 MANSELL ROAD  
SUITE 200  
ALPHARETTA, GEORGIA 30022  
PHONE: 678.252.1500  
FAX: 678.252.1510

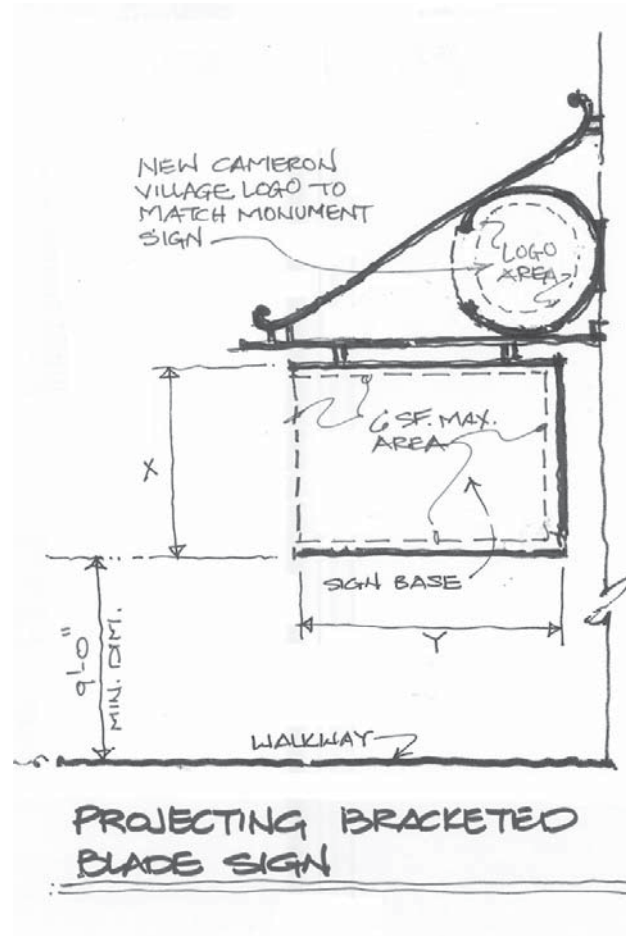
ELECTRICAL ENGINEER:  
PHILLIPS ENGINEERING GROUP, PC  
500 SUGARMILL ROAD  
BUILDING A, SUITE 105  
ATLANTA, GEORGIA 30350  
PHONE: 770.650.9061  
FAX: 770.642.2410

SITE SIGNAGE  
**SG 4.01**  
STREETSCAPE & PARKING PLAN FOR  
PEDESTRIAN BUSINESS OVERLAY DISTRICT  
MARCH 7, 2003



THE PRESTON PARTNERSHIP, LLC

3. Blade Signs: (Each tenant may provide a blade sign with maximum of one per tenant.)
  - A. Must extend perpendicular to storefront plane but no more than 5'-0" from the surface to which is mounted.
  - B. May not extend below 9'-0" above finished floor, however the location may be based on storefront design and visibility.
  - C. Face area may not exceed 6 SF not including area of bracket thickness. Thickness of sign shall be a minimum of 1 1/2" around the entire perimeter. In the case of a metal sign this can be in the form of an appropriately proportional frame.
  - D. Blade sign must have Tenant's name and may include a logo.
  - E. The sign may be fabricated from metal (no bare metal), painted wood, or an exterior grade foam with a weather-resistant coating(s). Molded, vacuum formed fiberglass or plastic signs are not permitted.
  - F. No blade sign may be internally illuminated but illumination from appropriate adjacent luminaries will be considered and encouraged.



# CAMERON VILLAGE

RALEIGH, NORTH CAROLINA

ARCHITECT:  
THE PRESTON PARTNERSHIP, LLC  
1000 ABERNATHY ROAD NE  
SUITE 600  
ATLANTA, GEORGIA 30328  
PHONE: 770.396.7248  
FAX: 770.396.2945

LANDSCAPE ARCHITECT:  
THE PRESTON PARTNERSHIP, LLC  
1000 ABERNATHY ROAD NE  
SUITE 600  
ATLANTA, GEORGIA 30328  
PHONE: 770.396.7248  
FAX: 770.396.2945

OWNER/DEVELOPER:  
BRANCH PROPERTIES, LLC  
400 COLONY SQUARE  
SUITE 1630  
ATLANTA, GEORGIA 30361  
PHONE: 404.832.8900  
FAX: 404.892.8898

PROPERTY MANAGER:  
YORK PROPERTIES  
1900 CAMERON STREET  
RALEIGH, NORTH CAROLINA 27605  
PHONE: 919.821.1350  
FAX: 919.828.9240

PROJECT MANAGER:  
HIGHLANDS PROPERTIES  
4555 MANSELL ROAD  
SUITE 200  
ALPHARETTA, GEORGIA 30022  
PHONE: 678.252.1500  
FAX: 678.252.1510

ELECTRICAL ENGINEER:  
PHILLIPS ENGINEERING GROUP, PC  
500 SUGARMILL ROAD  
BUILDING A, SUITE 105  
ATLANTA, GEORGIA 30350  
PHONE: 770.650.9061  
FAX: 770.642.2410

SITE SIGNAGE  
**SG 4.02**  
STREETSCAPE & PARKING PLAN FOR  
PEDESTRIAN BUSINESS OVERLAY DISTRICT  
MARCH 7, 2003





**SIGNAGE DESIGN**

1. Sign Illumination: All main tenant signs shall be illuminated. The following are suggested:

- A. Individual dimensional metal back-lit (halo effect) letters or lit by external light fixtures.
- B. Illuminated back lighted letters where only the letters appear to be illuminated.
- C. Individual tenant solid sign panels (with dimensional design components such as lettering and frame) lighted by external fixtures.

Note: No exposed neon tubes will be allowed.

2. Size:

- A. Maximum Area of Signage: 3 SF per 1 L.F. of storefront at sidewalk level. The Area shall be calculated as a box enclosing all letters, numbers and symbols of sign design, including all spaces separating letters, numbers and symbols. All signs shall not exceed the 3 SF per 1 L.F. of storefront – See Diagram 1.
- B. Maximum length of sign: 75% of length of leased storefront or thirty-six feet , whichever is less – See Diagram 2.
- C. Maximum height of single line of copy:
  - a) Internally lit: Major – 48”; Minor – 36”

Exception: An unusual shaped letter or ampersand may extend beyond the maximum height requirements if approved by Owner/Landlord.

3. Materials:

- A. The Owner/Landlord encourages innovation of design and sophistication of materials including the use of metals for frame background lettering, etc. These metals are polished brass, polished chrome or stainless steel, brushed stainless steel and copper (including patina copper).
- B. Additional materials, less visible are allowed for the construction and durability. Each sign will be reviewed based on the specific design and visibility of sign components.

4. Colors: In addition to the materials listed above one or more of the colors below can be used for the lettering, reveals, background, frame, etc.

A. Black



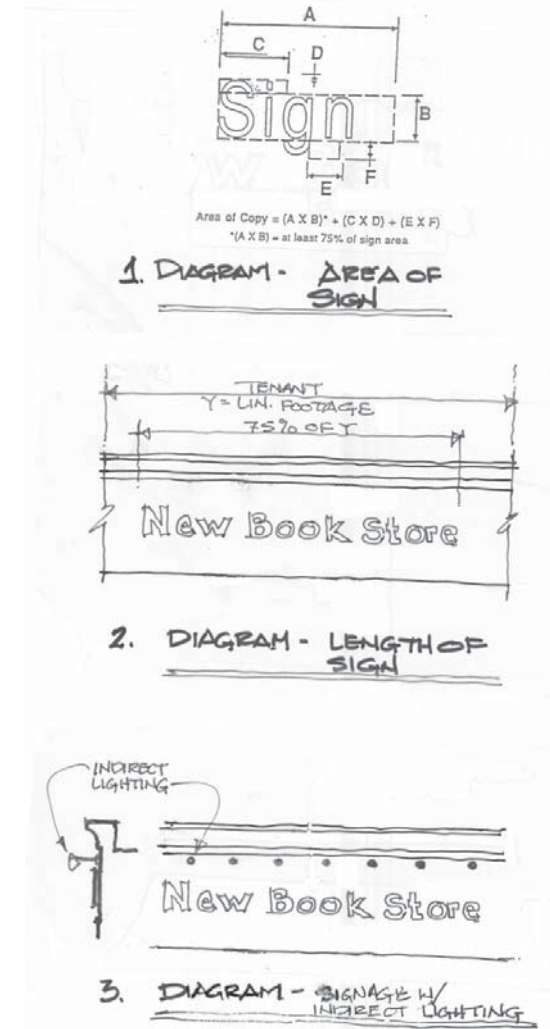
B. White



C. Red



D. Blue



**CAMERON VILLAGE**

RALEIGH, NORTH CAROLINA

ARCHITECT:  
 THE PRESTON PARTNERSHIP, LLC  
 1000 ABERNATHY ROAD NE  
 SUITE 600  
 ATLANTA, GEORGIA 30328  
 PHONE: 770.396.7248  
 FAX: 770.396.2945

LANDSCAPE ARCHITECT:  
 THE PRESTON PARTNERSHIP, LLC  
 1000 ABERNATHY ROAD NE  
 SUITE 600  
 ATLANTA, GEORGIA 30328  
 PHONE: 770.396.7248  
 FAX: 770.396.2945

OWNER/DEVELOPER:  
 BRANCH PROPERTIES, LLC  
 400 COLONY SQUARE  
 SUITE 1630  
 ATLANTA, GEORGIA 30361  
 PHONE: 404.832.8900  
 FAX: 404.892.8898

PROPERTY MANAGER:  
 YORK PROPERTIES  
 1900 CAMERON STREET  
 RALEIGH, NORTH CAROLINA 27605  
 PHONE: 919.821.1350  
 FAX: 919.828.9240

PROJECT MANAGER:  
 HIGHLANDS PROPERTIES  
 4555 MANSELL ROAD  
 SUITE 200  
 ALPHARETTA, GEORGIA 30022  
 PHONE: 678.252.1500  
 FAX: 678.252.1510

ELECTRICAL ENGINEER:  
 PHILLIPS ENGINEERING GROUP, PC  
 500 SUGARMILL ROAD  
 BUILDING A, SUITE 105  
 ATLANTA, GEORGIA 30350  
 PHONE: 770.650.9061  
 FAX: 770.642.2410

**SITE SIGNAGE**  
**SG 4.03**  
 STREETScape & PARKING PLAN FOR  
 PEDESTRIAN BUSINESS OVERLAY DISTRICT  
 MARCH 7, 2003

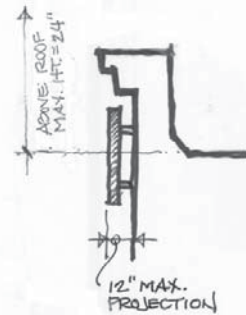
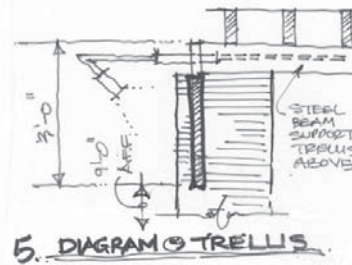
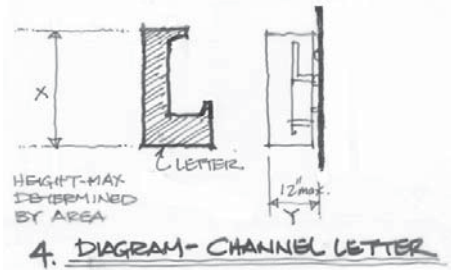


5. Signage Details

Internally illuminated box signs are not permitted. Wall mounted signs may be applied to any building elevation. Signs may be individual channel letters, or reverse channel letters - see Diagram 4, backlighted, projected from building wall with no exposed raceway or exposed box. User's trademark lettering style is acceptable. All Neon tubes shall be white, and concealed by an opaque cover. Signs may also be solid cast letters, or solid sign panels with indirect lighting of face – see Diagram 3.

Signs may not be flat against wall, but pinned away from the wall, but in no case project more than twelve (12") inches from the wall surface – See Diagram 6.

No part of a wall sign shall extend more than 2' above the line of the roof, or if a building does not have an eave line or parapet on the side where a sign is installed, no part of the sign shall extend above the top of fascia or parapet on that side of the building.



# CAMERON VILLAGE

RALEIGH, NORTH CAROLINA

ARCHITECT:  
THE PRESTON PARTNERSHIP, LLC  
1000 ABERNATHY ROAD NE  
SUITE 600  
ATLANTA, GEORGIA 30328  
PHONE: 770.396.7248  
FAX: 770.396.2945

LANDSCAPE ARCHITECT:  
THE PRESTON PARTNERSHIP, LLC  
1000 ABERNATHY ROAD NE  
SUITE 600  
ATLANTA, GEORGIA 30328  
PHONE: 770.396.7248  
FAX: 770.396.2945

OWNER/DEVELOPER:  
BRANCH PROPERTIES, LLC  
400 COLONY SQUARE  
SUITE 1630  
ATLANTA, GEORGIA 30361  
PHONE: 404.832.8900  
FAX: 404.892.8898

PROPERTY MANAGER:  
YORK PROPERTIES  
1900 CAMERON STREET  
RALEIGH, NORTH CAROLINA 27605  
PHONE: 919.821.1350  
FAX: 919.828.9240

PROJECT MANAGER:  
HIGHLANDS PROPERTIES  
4555 MANSELL ROAD  
SUITE 200  
ALPHARETTA, GEORGIA 30022  
PHONE: 678.252.1500  
FAX: 678.252.1510

ELECTRICAL ENGINEER:  
PHILLIPS ENGINEERING GROUP, PC  
500 SUGARMILL ROAD  
BUILDING A, SUITE 105  
ATLANTA, GEORGIA 30350  
PHONE: 770.650.9061  
FAX: 770.642.2410

SITE SIGNAGE  
**SG 4.04**  
STREETSCAPE & PARKING PLAN FOR  
PEDESTRIAN BUSINESS OVERLAY DISTRICT  
MARCH 7, 2003

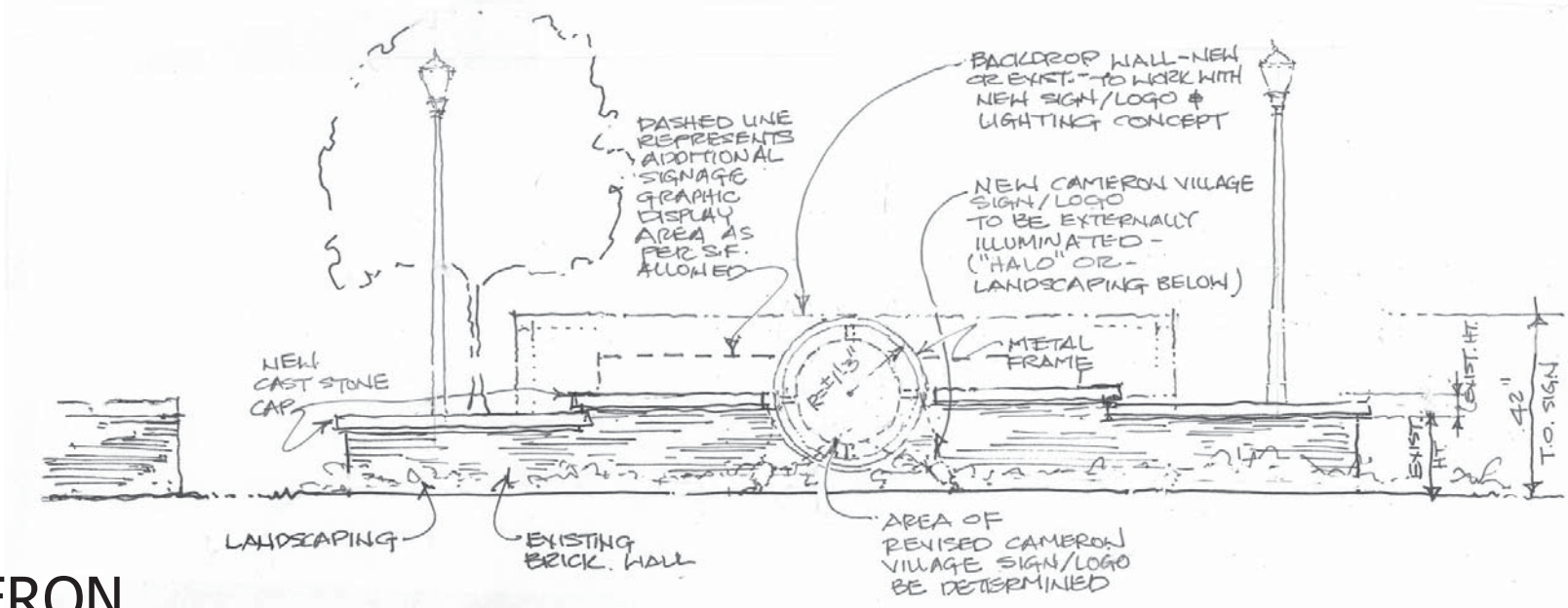




## MONUMENT / TRACT IDENTIFICATION SIGN

Monument/tract identification signs shall meet the following:

- Existing tract identification signage (9 locations) to remain and to be renovated to enhance architectural appearance.
- Monument/tract identification sign will be integral with existing sign structure - see photo. New Cameron Village sign/logo will replace existing white metal frame and blue logo.
- Architectural and landscaping accent features will be added to existing brick wall to enhance overall appearance.



# CAMERON VILLAGE

RALEIGH, NORTH CAROLINA

ARCHITECT:  
THE PRESTON PARTNERSHIP, LLC  
1000 ABERNATHY ROAD NE  
SUITE 600  
ATLANTA, GEORGIA 30328  
PHONE: 770.396.7248  
FAX: 770.396.2945

LANDSCAPE ARCHITECT:  
THE PRESTON PARTNERSHIP, LLC  
1000 ABERNATHY ROAD NE  
SUITE 600  
ATLANTA, GEORGIA 30328  
PHONE: 770.396.7248  
FAX: 770.396.2945

OWNER/DEVELOPER:  
BRANCH PROPERTIES, LLC  
400 COLONY SQUARE  
SUITE 1630  
ATLANTA, GEORGIA 30361  
PHONE: 404.832.8900  
FAX: 404.892.8898

PROPERTY MANAGER:  
YORK PROPERTIES  
1900 CAMERON STREET  
RALEIGH, NORTH CAROLINA 27605  
PHONE: 919.821.1350  
FAX: 919.828.9240

PROJECT MANAGER:  
HIGHLANDS PROPERTIES  
4555 MANSELL ROAD  
SUITE 200  
ALPHARETTA, GEORGIA 30022  
PHONE: 678.252.1500  
FAX: 678.252.1510

ELECTRICAL ENGINEER:  
PHILLIPS ENGINEERING GROUP, PC  
500 SUGARMILL ROAD  
BUILDING A, SUITE 105  
ATLANTA, GEORGIA 30350  
PHONE: 770.650.9061  
FAX: 770.642.2410

SITE SIGNAGE  
**SG 4.05**  
STREETSCAPE & PARKING PLAN FOR  
PEDESTRIAN BUSINESS OVERLAY DISTRICT  
MARCH 7, 2003

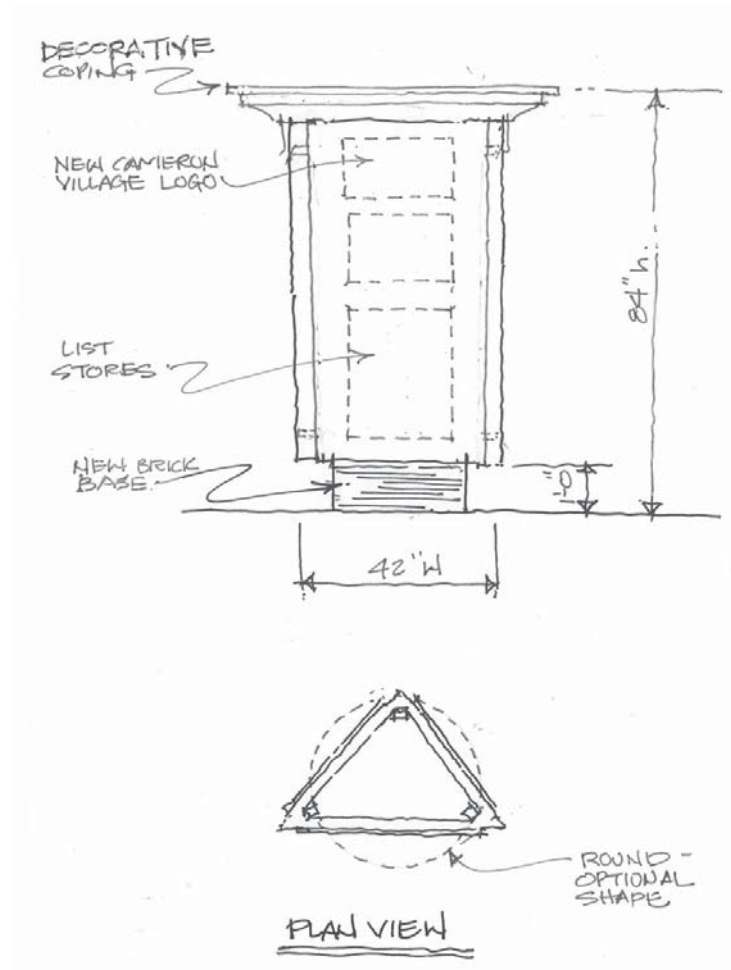


THE PRESTON PARTNERSHIP, LLC

## DIRECTORY SIGN (Information Kiosks)

- Directory sign may be either changeable copy sign or fixed professional nameplates.
- New Cameron Village logos – see match design of projecting/blade sign bracket.

- Directory sign – internally illuminated/backlit - also to contain area map/plan with represented businesses/tenants, activities, advertising, news.
- Directory sign affixed to private sidewalk locations are within each block to facilitate way-finding but shall not be visible from any public right-of-way.



# CAMERON VILLAGE

RALEIGH, NORTH CAROLINA

ARCHITECT:  
THE PRESTON PARTNERSHIP, LLC  
1000 ABERNATHY ROAD NE  
SUITE 600  
ATLANTA, GEORGIA 30328  
PHONE: 770.396.7248  
FAX: 770.396.2945

LANDSCAPE ARCHITECT:  
THE PRESTON PARTNERSHIP, LLC  
1000 ABERNATHY ROAD NE  
SUITE 600  
ATLANTA, GEORGIA 30328  
PHONE: 770.396.7248  
FAX: 770.396.2945

OWNER/DEVELOPER:  
BRANCH PROPERTIES, LLC  
400 COLONY SQUARE  
SUITE 1630  
ATLANTA, GEORGIA 30361  
PHONE: 404.832.8900  
FAX: 404.892.8898

PROPERTY MANAGER:  
YORK PROPERTIES  
1900 CAMERON STREET  
RALEIGH, NORTH CAROLINA 27605  
PHONE: 919.821.1350  
FAX: 919.828.9240

PROJECT MANAGER:  
HIGHLANDS PROPERTIES  
4555 MANSELL ROAD  
SUITE 200  
ALPHARETTA, GEORGIA 30022  
PHONE: 678.252.1500  
FAX: 678.252.1510

ELECTRICAL ENGINEER:  
PHILLIPS ENGINEERING GROUP, PC  
500 SUGARMILL ROAD  
BUILDING A, SUITE 105  
ATLANTA, GEORGIA 30350  
PHONE: 770.650.9061  
FAX: 770.642.2410

SITE SIGNAGE  
**SG 4.06**  
STREETSCAPE & PARKING PLAN FOR  
PEDESTRIAN BUSINESS OVERLAY DISTRICT  
MARCH 7, 2003



THE PRESTON PARTNERSHIP, LLC



# CAMERON VILLAGE

RALEIGH, NORTH CAROLINA

Block Three Jolie Day Spa

CONCEPTUAL RENDERING

**SR 5.01**

STREETSCAPE & PARKING PLAN FOR  
PEDESTRIAN BUSINESS OVERLAY DISTRICT  
MARCH 7, 2003



THE PRESTON PARTNERSHIP, LLC

ARCHITECT:  
THE PRESTON PARTNERSHIP, LLC  
1000 ABERNATHY ROAD NE  
SUITE 600  
ATLANTA, GEORGIA 30328  
PHONE: 770.396.7248  
FAX: 770.396.2945

LANDSCAPE ARCHITECT:  
THE PRESTON PARTNERSHIP, LLC  
1000 ABERNATHY ROAD NE  
SUITE 600  
ATLANTA, GEORGIA 30328  
PHONE: 770.396.7248  
FAX: 770.396.2945

OWNER/DEVELOPER:  
BRANCH PROPERTIES, LLC  
400 COLONY SQUARE  
SUITE 1630  
ATLANTA, GEORGIA 30361  
PHONE: 404.832.8900  
FAX: 404.892.8898

PROPERTY MANAGER:  
YORK PROPERTIES  
1900 CAMERON STREET  
RALEIGH, NORTH CAROLINA 27605  
PHONE: 919.821.1350  
FAX: 919.828.9240

PROJECT MANAGER:  
HIGHLANDS PROPERTIES  
4555 MANSELL ROAD  
SUITE 200  
ALPHARETTA, GEORGIA 30022  
PHONE: 678.252.1500  
FAX: 678.252.1510

ELECTRICAL ENGINEER:  
PHILLIPS ENGINEERING GROUP, PC  
500 SUGARMILL ROAD  
BUILDING A, SUITE 105  
ATLANTA, GEORGIA 30350  
PHONE: 770.650.9061  
FAX: 770.642.2410





# CAMERON VILLAGE

RALEIGH, NORTH CAROLINA

Block Five Southwest Corner at Village Deli

CONCEPTUAL RENDERING

**SR 5.02**

STREETSCAPE & PARKING PLAN FOR  
PEDESTRIAN BUSINESS OVERLAY DISTRICT  
MARCH 7, 2003



ARCHITECT:  
THE PRESTON PARTNERSHIP, LLC  
1000 ABERNATHY ROAD NE  
SUITE 600  
ATLANTA, GEORGIA 30328  
PHONE: 770.396.7248  
FAX: 770.396.2945

LANDSCAPE ARCHITECT:  
THE PRESTON PARTNERSHIP, LLC  
1000 ABERNATHY ROAD NE  
SUITE 600  
ATLANTA, GEORGIA 30328  
PHONE: 770.396.7248  
FAX: 770.396.2945

OWNER/DEVELOPER:  
BRANCH PROPERTIES, LLC  
400 COLONY SQUARE  
SUITE 1630  
ATLANTA, GEORGIA 30361  
PHONE: 404.832.8900  
FAX: 404.892.8898

PROPERTY MANAGER:  
YORK PROPERTIES  
1900 CAMERON STREET  
RALEIGH, NORTH CAROLINA 27605  
PHONE: 919.821.1350  
FAX: 919.828.9240

PROJECT MANAGER:  
HIGHLANDS PROPERTIES  
4555 MANSELL ROAD  
SUITE 200  
ALPHARETTA, GEORGIA 30022  
PHONE: 678.252.1500  
FAX: 678.252.1510

ELECTRICAL ENGINEER:  
PHILLIPS ENGINEERING GROUP, PC  
500 SUGARMILL ROAD  
BUILDING A, SUITE 105  
ATLANTA, GEORGIA 30350  
PHONE: 770.650.9061  
FAX: 770.642.2410

THE PRESTON PARTNERSHIP, LLC



# CAMERON VILLAGE

RALEIGH, NORTH CAROLINA

Block Five South Facade

CONCEPTUAL RENDERING

**SR 5.03**

STREETSCAPE & PARKING PLAN FOR  
PEDESTRIAN BUSINESS OVERLAY DISTRICT  
MARCH 7, 2003



THE PRESTON PARTNERSHIP, LLC

ARCHITECT:  
THE PRESTON PARTNERSHIP, LLC  
1000 ABERNATHY ROAD NE  
SUITE 600  
ATLANTA, GEORGIA 30328  
PHONE: 770.396.7248  
FAX: 770.396.2945

LANDSCAPE ARCHITECT:  
THE PRESTON PARTNERSHIP, LLC  
1000 ABERNATHY ROAD NE  
SUITE 600  
ATLANTA, GEORGIA 30328  
PHONE: 770.396.7248  
FAX: 770.396.2945

OWNER/DEVELOPER:  
BRANCH PROPERTIES, LLC  
400 COLONY SQUARE  
SUITE 1630  
ATLANTA, GEORGIA 30361  
PHONE: 404.832.8900  
FAX: 404.892.8898

PROPERTY MANAGER:  
YORK PROPERTIES  
1900 CAMERON STREET  
RALEIGH, NORTH CAROLINA 27605  
PHONE: 919.821.1350  
FAX: 919.828.9240

PROJECT MANAGER:  
HIGHLANDS PROPERTIES  
4555 MANSELL ROAD  
SUITE 200  
ALPHARETTA, GEORGIA 30022  
PHONE: 678.252.1500  
FAX: 678.252.1510

ELECTRICAL ENGINEER:  
PHILLIPS ENGINEERING GROUP, PC  
500 SUGARMILL ROAD  
BUILDING A, SUITE 105  
ATLANTA, GEORGIA 30350  
PHONE: 770.650.9061  
FAX: 770.642.2410





# CAMERON VILLAGE

RALEIGH, NORTH CAROLINA

Block One New Fabric Awning at South Facade

CONCEPTUAL RENDERING

**SR 5.04**

STREETSCAPE & PARKING PLAN FOR  
PEDESTRIAN BUSINESS OVERLAY DISTRICT  
MARCH 7, 2003



ARCHITECT:  
THE PRESTON PARTNERSHIP, LLC  
1000 ABERNATHY ROAD NE  
SUITE 600  
ATLANTA, GEORGIA 30328  
PHONE: 770.396.7248  
FAX: 770.396.2945

LANDSCAPE ARCHITECT:  
THE PRESTON PARTNERSHIP, LLC  
1000 ABERNATHY ROAD NE  
SUITE 600  
ATLANTA, GEORGIA 30328  
PHONE: 770.396.7248  
FAX: 770.396.2945

OWNER/DEVELOPER:  
BRANCH PROPERTIES, LLC  
400 COLONY SQUARE  
SUITE 1630  
ATLANTA, GEORGIA 30361  
PHONE: 404.832.8900  
FAX: 404.892.8898

PROPERTY MANAGER:  
YORK PROPERTIES  
1900 CAMERON STREET  
RALEIGH, NORTH CAROLINA 27605  
PHONE: 919.821.1350  
FAX: 919.828.9240

PROJECT MANAGER:  
HIGHLANDS PROPERTIES  
4555 MANSELL ROAD  
SUITE 200  
ALPHARETTA, GEORGIA 30022  
PHONE: 678.252.1500  
FAX: 678.252.1510

ELECTRICAL ENGINEER:  
PHILLIPS ENGINEERING GROUP, PC  
500 SUGARMILL ROAD  
BUILDING A, SUITE 105  
ATLANTA, GEORGIA 30350  
PHONE: 770.650.9061  
FAX: 770.642.2410

THE PRESTON PARTNERSHIP, LLC





# CAMERON VILLAGE

RALEIGH, NORTH CAROLINA

Block One Northwest Corner at Victoria's Secret

CONCEPTUAL RENDERING

**SR 5.05**

STREETSCAPE & PARKING PLAN FOR  
PEDESTRIAN BUSINESS OVERLAY DISTRICT  
MARCH 7, 2003



THE PRESTON PARTNERSHIP, LLC

ARCHITECT:  
THE PRESTON PARTNERSHIP, LLC  
1000 ABERNATHY ROAD NE  
SUITE 600  
ATLANTA, GEORGIA 30328  
PHONE: 770.396.7248  
FAX: 770.396.2945

LANDSCAPE ARCHITECT:  
THE PRESTON PARTNERSHIP, LLC  
1000 ABERNATHY ROAD NE  
SUITE 600  
ATLANTA, GEORGIA 30328  
PHONE: 770.396.7248  
FAX: 770.396.2945

OWNER/DEVELOPER:  
BRANCH PROPERTIES, LLC  
400 COLONY SQUARE  
SUITE 1630  
ATLANTA, GEORGIA 30361  
PHONE: 404.832.8900  
FAX: 404.892.8898

PROPERTY MANAGER:  
YORK PROPERTIES  
1900 CAMERON STREET  
RALEIGH, NORTH CAROLINA 27605  
PHONE: 919.821.1350  
FAX: 919.828.9240

PROJECT MANAGER:  
HIGHLANDS PROPERTIES  
4555 MANSELL ROAD  
SUITE 200  
ALPHARETTA, GEORGIA 30022  
PHONE: 678.252.1500  
FAX: 678.252.1510

ELECTRICAL ENGINEER:  
PHILLIPS ENGINEERING GROUP, PC  
500 SUGARMILL ROAD  
BUILDING A, SUITE 105  
ATLANTA, GEORGIA 30350  
PHONE: 770.650.9061  
FAX: 770.642.2410

City of Raleigh, NC  
 Development Plans Review Center  
 P. O. Box 590, Raleigh, N. C. 27602  
 Telephone: (919) 850-3842 FAX: 850-3650  
 www.raleigh-nc.org/planning/dprc

**UNITY OF DEVELOPMENT APPLICATION**  
 UNITY OF DEVELOPMENT GUIDELINES FOR MULTI-  
 ESTABLISHMENT PROJECTS

**Section A.**  
 SUBMITTAL REQUIREMENTS

PLEASE INCLUDE ALL OF THE FOLLOWING (CHECK OFF). If any information is missing from the application package, you will be asked to complete the application and re-submit, so please check the list below carefully.

- THIS APPLICATION FORM completed (Section B) in full and signed by the property owner (agent cannot sign for owner).
- ARCHITECTURAL ELEVATION OF A TYPICAL BUILDING, illustrating and keying by notes all specification noted below in this application

**Section B.**  
 INSTRUCTIONS – SUMMARY INFORMATION

Unity of development plans are required for the following developments: any retail area with more than one principal building, office parks, shopping centers, unit ownership (condominium) developments, shopping areas or any non-retail use included in such a development (City Code Section 10-2132.2(6)(5).)

Plans are reviewed by the Planning Department and approved by the Planning Director. The guidelines specified and approved in this plan will be binding on all future buildings on any parcel noted below as being part of this unity of development plan. SEE NOTES ON THE LAST PAGE OF THIS APPLICATION.

DEVELOPMENT NAME: Cameron Village Shopping Center (Blocks 1, 3, 4, 5 and Daniel St. sides of Block 2 & 6)  
 LOCATION: Raleigh, NC  
 SUBDIVISION OR SITE PLAN CASE NUMBER: \_\_\_\_\_

WAKE COUNTY PROPERTY IDENTIFICATION NUMBER(S) FOR EACH PARCEL TO WHICH THESE GUIDELINES WILL APPLY:  
 Zone D No. 23      D102, D102A, D102B      \_\_\_\_\_  
                                  D102C, D102D, D132      \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

PREPARER OF PLAN: The Preston Partnership, LLC  
 CONTACT PERSON: W. Ryan Miller, AIA  
 ADDRESS: 1000 Abernathy Road, Suite 600, Atlanta, Georgia, 30328  
 TELEPHONE: 770-396-7248      FAX: 770-396-2945      E-MAIL: rmiller@theprestonpartnership.com

Unity of Development Application 1  
 Form revised December 7, 2001

# CAMERON VILLAGE

RALEIGH, NORTH CAROLINA

ARCHITECT:  
 THE PRESTON PARTNERSHIP, LLC  
 1000 ABERNATHY ROAD NE  
 SUITE 600  
 ATLANTA, GEORGIA 30328  
 PHONE: 770.396.7248  
 FAX: 770.396.2945

LANDSCAPE ARCHITECT:  
 THE PRESTON PARTNERSHIP, LLC  
 1000 ABERNATHY ROAD NE  
 SUITE 600  
 ATLANTA, GEORGIA 30328  
 PHONE: 770.396.7248  
 FAX: 770.396.2945

OWNER/DEVELOPER:  
 BRANCH PROPERTIES, LLC  
 400 COLONY SQUARE  
 SUITE 1630  
 ATLANTA, GEORGIA 30361  
 PHONE: 404.832.8900  
 FAX: 404.892.8898

PROPERTY MANAGER:  
 YORK PROPERTIES  
 1900 CAMERON STREET  
 RALEIGH, NORTH CAROLINA 27605  
 PHONE: 919.821.1350  
 FAX: 919.828.9240

PROJECT MANAGER:  
 HIGHLANDS PROPERTIES  
 4555 MANSELL ROAD  
 SUITE 200  
 ALPHARETTA, GEORGIA 30022  
 PHONE: 678.252.1500  
 FAX: 678.252.1510

ELECTRICAL ENGINEER:  
 PHILLIPS ENGINEERING GROUP, PC  
 500 SUGARMILL ROAD  
 BUILDING A, SUITE 105  
 ATLANTA, GEORGIA 30350  
 PHONE: 770.650.9061  
 FAX: 770.642.2410

**\*UD 6.01**  
 STREETScape & PARKING PLAN FOR  
 PEDESTRIAN BUSINESS OVERLAY DISTRICT  
 REVISED APRIL 17, 2003



THE PRESTON PARTNERSHIP, LLC

OWNER / DEVELOPER: Branch Cameron, LLC

ADDRESS: 400 Colony Square, Suite 1630, Atlanta, GA 30361

TELEPHONE: (404) 832-8900 FAX: (404) 892-8898 E-MAIL: ntelesca@branchprop.com

OWNER'S SIGNATURE:

In filing this plan either by myself as the property owner(s) or through my duly authorized agents, I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to abide by these guidelines as approved in all future construction on the properties listed herein.

I/we hereby designate Chris Cassidy to serve as agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any discussion regarding this application. Furthermore, I (we) acknowledge that notation shall be placed on all plats that record property within the boundaries of this unified development stating that future development is subject to applicable unity of development guidelines on file with the City of Raleigh Planning Department.

Date: 03/06/2003 Signed: Michelle B. Jelenic

A MANAGER

Section C.

PRIMARY UNIFYING ELEMENTS (SPECIFY AT LEAST TWO)

At least two of the following primary unifying elements must be selected. These two elements must be present in each building of the development. A third primary element may be specified. If it is specified, it will become part of the guidelines and also must be present in each building of the development.

(1) BUILDING MATERIALS -- If selected, the dominant building material or combination of building materials shall be specified. The means by which a building material or combination of building materials is dominant must be clearly stated. If a building material is selected as a unifying element, the color of that building material shall also be specified, but the combination of the building material and its color shall only be credited as one unifying element.

Description of dominant material or combination of materials:

All building blocks in Cameron Village are currently dominated by red/brown brick and this will continue to be so. Additionally, E.I.F.S. cornice caps in the range of Drvrit #108 Manor White, will be typical at each block. The existing monolithic canopy system will be removed. The underlying building facades and storefronts will be exposed and enhanced with a variety of secondary materials (including painted brick and cast stone) in order to create the look of a main street.

Statement of how selected building material or combination of materials will be dominant:

The dominant combination of materials above the existing tenant storefronts and new canopy systems, will be brick with E.I.F.S. cornice and parapet.

Unity of Development Application  
Form revised December 7, 2001

2

(2) BUILDING COLORS -- If selected, the dominant building color or pattern of colors shall be specified below. The means by which a color or pattern of color is dominant and how that building color(s) is (are) to be used on the building facade must be clearly stated. A maximum of three (3) building colors may be designated as a primary unifying element. Colored renderings are encouraged, but are not a substitute for specifications. Provide actual manufacturers paint samples to identify colors.

Description of dominant color or pattern of colors:

Statement of how selected color or pattern of colors will be dominant:

(3) ARCHITECTURAL FEATURES -- If selected, the dominant architectural feature or combination of features shall be specified below. The means by which an architectural feature or combination of features is dominant must be clearly stated. Architectural features include, but are not limited to: Roof treatment, including style, material, and color of roof; facade treatments, including fenestration pattern and ornamentation; and building form, including overhangs, canopies, protected exterior walkways and entrance treatments.

Description of dominant architectural features or combination of features:

By removing the existing monolithic blue sign band, plexi-glass dome structure, and white columns, our concept is to restore Cameron Village's genuine urban theme. Each building block will now have new architectural cornice caps or parapets, typically in the range of Drvrit #108 Manor White. Additionally, pedestrian walkways featuring fabric awnings, covered trellises and built canopies will provide pedestrians a means of cover along the sidewalks -- in keeping with the aesthetic of a Main Street village.

Statement of how selected architectural features or combination of features will be dominant:

The architectural cornices will be visible at the top of buildings throughout the project, and the awnings, canopies, and covered trellises will be in the foreground relative to the existing variety expressed by individual storefronts.

Unity of Development Application  
Form revised December 7, 2001

3

# CAMERON VILLAGE

RALEIGH, NORTH CAROLINA

ARCHITECT:  
THE PRESTON PARTNERSHIP, LLC  
1000 ABERNATHY ROAD NE  
SUITE 600  
ATLANTA, GEORGIA 30328  
PHONE: 770.396.7248  
FAX: 770.396.2945

LANDSCAPE ARCHITECT:  
THE PRESTON PARTNERSHIP, LLC  
1000 ABERNATHY ROAD NE  
SUITE 600  
ATLANTA, GEORGIA 30328  
PHONE: 770.396.7248  
FAX: 770.396.2945

OWNER/DEVELOPER:  
BRANCH PROPERTIES, LLC  
400 COLONY SQUARE  
SUITE 1630  
ATLANTA, GEORGIA 30361  
PHONE: 404.832.8900  
FAX: 404.892.8898

PROPERTY MANAGER:  
YORK PROPERTIES  
1900 CAMERON STREET  
RALEIGH, NORTH CAROLINA 27605  
PHONE: 919.821.1350  
FAX: 919.828.9240

PROJECT MANAGER:  
HIGHLANDS PROPERTIES  
4555 MANSELL ROAD  
SUITE 200  
ALPHARETTA, GEORGIA 30022  
PHONE: 678.252.1500  
FAX: 678.252.1510

ELECTRICAL ENGINEER:  
PHILLIPS ENGINEERING GROUP, PC  
500 SUGARMILL ROAD  
BUILDING A, SUITE 105  
ATLANTA, GEORGIA 30350  
PHONE: 770.650.9061  
FAX: 770.642.2410

**\*UD 6.02**  
STREETSCAPE & PARKING PLAN FOR  
PEDESTRIAN BUSINESS OVERLAY DISTRICT  
REVISED APRIL 17, 2003



THE PRESTON PARTNERSHIP, LLC



**Section D.**  
**SECONDARY UNIFYING ELEMENTS (OPTIONAL)**

In addition to the primary unifying elements noted above, secondary unifying elements may be specified. If it is specified, these secondary elements will become part of the guidelines and must be present in each building of the development. Secondary unifying elements may include landscaping, architectural compatibility between a permitted ground sign and buildings, setbacks, additional building colors, height, lighting or any other element that may be relevant to a specific development. Attach additional pages if needed:

**SECONDARY UNIFYING ELEMENT 1:** Describe the secondary unifying element in sufficient detail to allow these guidelines to be administered through the plan review and building permit process:

Currently, the sidewalk and streetscape is dominated by a monolithic canopy system and white columns with little to no landscaping present. A new street tree program, with tree plantings typically spaced 30' to 40' on center, will be provided along the sidewalk edge of all primary building facades. Street trees are coordinated with existing and new building projections. Supplemental planting will be provided where trees cannot be added.

**SECONDARY UNIFYING ELEMENT 2:** Describe the secondary unifying element in sufficient detail to allow these guidelines to be administered through the plan review and building permit process:

Each block will maintain its existing brick pavers and pattern. A new exposed aggregate concrete pattern (to match the existing paver pattern) will be placed at the edge of the sidewalk (8' wide), and will occur where trenching is required for landscape irrigation and electrical conduit. Secondly, a new tenant signage program will be installed throughout the center that follows the City of Raleigh Sign Ordinance. Sign lighting will be powered through a variety of means including individual junction boxes, gooseneck lights, or raceways of colors and materials complimentary to the design of the renovated facades.

**SECONDARY UNIFYING ELEMENT 3:** Describe the secondary unifying element in sufficient detail to allow these guidelines to be administered through the plan review and building permit process:

Current sidewalk lighting, mounted on the plexi-glass canopy, will be removed and is to be replaced with new pedestrian light poles at the edge of the sidewalk, typically spaced 30' to 40' on center. Current site lighting, in the form of light fixtures on top of white concrete columns, will be replaced to match the pedestrian light poles at the sidewalk, consistent with the more traditional "Main Street" theme. Additionally, an amenity program consisting of planting pots, benches, trash receptacles and bike racks will be consistent block to block.

Unity of Development Application  
 Form revised December 7, 2001

4

**Section E.**  
**ADDITIONAL NOTES:**

**(1) REVISIONS TO APPROVED UNITY OF DEVELOPMENT GUIDELINES**

Any subsequent revisions or amendments to approved Unity of Development guidelines must be signed by the property owner. Within shopping centers or retail areas, where properties may be separately owned, the owner that controls the primary uses and structures of the unified development shall sign all guidelines and amendments thereto.

**(2) NOTATION ON RECORDED PLATS**

A notation shall be placed on all plats for recording within a unified development stating that all future development is subject to the guidelines as contained in the approved unity of development plan.

**(3) ARCHITECTURAL COMPATIBILITY BETWEEN GROUND SIGN AND BUILDING**

If specified as a secondary unifying element (page 3 of this application), architectural compatibility between a ground sign and the building may be approved. In this case, the base and supporting structure of the ground sign shall not be subject to the three sign color limitation as stated in Section 10-2083.1(b).

**Section F.**  
**APPROVAL INFORMATION:**

I hereby certify that this document has been reviewed and meets the requirement of Section 10-2090 Of the Raleigh City Code.

Date March 5, 2003 Signature Archie B. Fellers

Unity of Development Application  
 Form revised December 7, 2001

5

# CAMERON VILLAGE

RALEIGH, NORTH CAROLINA

ARCHITECT:  
 THE PRESTON PARTNERSHIP, LLC  
 1000 ABERNATHY ROAD NE  
 SUITE 600  
 ATLANTA, GEORGIA 30328  
 PHONE: 770.396.7248  
 FAX: 770.396.2945

LANDSCAPE ARCHITECT:  
 THE PRESTON PARTNERSHIP, LLC  
 1000 ABERNATHY ROAD NE  
 SUITE 600  
 ATLANTA, GEORGIA 30328  
 PHONE: 770.396.7248  
 FAX: 770.396.2945

OWNER/DEVELOPER:  
 BRANCH PROPERTIES, LLC  
 400 COLONY SQUARE  
 SUITE 1630  
 ATLANTA, GEORGIA 30361  
 PHONE: 404.832.8900  
 FAX: 404.892.8898

PROPERTY MANAGER:  
 YORK PROPERTIES  
 1900 CAMERON STREET  
 RALEIGH, NORTH CAROLINA 27605  
 PHONE: 919.821.1350  
 FAX: 919.828.9240

PROJECT MANAGER:  
 HIGHLANDS PROPERTIES  
 4555 MANSELL ROAD  
 SUITE 200  
 ALPHARETTA, GEORGIA 30022  
 PHONE: 678.252.1500  
 FAX: 678.252.1510

ELECTRICAL ENGINEER:  
 PHILLIPS ENGINEERING GROUP, PC  
 500 SUGARMILL ROAD  
 BUILDING A, SUITE 105  
 ATLANTA, GEORGIA 30350  
 PHONE: 770.650.9061  
 FAX: 770.642.2410

**\*UD 6.03**  
 STREETScape & PARKING PLAN FOR  
 PEDESTRIAN BUSINESS OVERLAY DISTRICT  
 REVISED APRIL 17, 2003



THE PRESTON PARTNERSHIP, LLC

BRANCH PROPERTIES, LLC

SUITE 1630  
400 COLONY SQUARE  
1801 PEACHTREE STREET  
ATLANTA, GEORGIA 30361

404/832-8900

FACSIMILE 404/892-8898

April 17, 2003

Ms. Christine Darges  
City of Raleigh Planning Department  
222 W. Hargett Street  
4th Floor  
Raleigh, NC 27602

RE: Cameron Village (SC-9-90)

Dear Ms. Darges,

As you know, we plan to phase the redevelopment of Cameron Village. The first phase (which is the subject of the attached Streetscape and Parking Plan for Pedestrian Business Overlay District) will address all of Cameron Village except for Block IV, the Oberlin Road / Clark Ave. side of Block II (400 Oberlin, 410 Oberlin, and Village Citgo), and the Harris Teeter side of Block VI.

The Harris Teeter, having been renovated relatively recently, is not intended to be redeveloped. We plan to redevelop the remainder of the above blocks, which are not part of Phase I, within the next 2-3 years. At the time of redevelopment, appropriate applications of the Unity of Development concepts within the Phase I project will be included in the redevelopment of Block IV, and the 400 Oberlin, 410 Oberlin, and Village Citgo sites.

Sincerely,



Richard Lee

# CAMERON VILLAGE

RALEIGH, NORTH CAROLINA

ARCHITECT:  
THE PRESTON PARTNERSHIP, LLC  
1000 ABERNATHY ROAD NE  
SUITE 600  
ATLANTA, GEORGIA 30328  
PHONE: 770.396.7248  
FAX: 770.396.2945

LANDSCAPE ARCHITECT:  
THE PRESTON PARTNERSHIP, LLC  
1000 ABERNATHY ROAD NE  
SUITE 600  
ATLANTA, GEORGIA 30328  
PHONE: 770.396.7248  
FAX: 770.396.2945

OWNER/DEVELOPER:  
BRANCH PROPERTIES, LLC  
400 COLONY SQUARE  
SUITE 1630  
ATLANTA, GEORGIA 30361  
PHONE: 404.832.8900  
FAX: 404.892.8898

PROPERTY MANAGER:  
YORK PROPERTIES  
1900 CAMERON STREET  
RALEIGH, NORTH CAROLINA 27605  
PHONE: 919.821.1350  
FAX: 919.828.9240

PROJECT MANAGER:  
HIGHLANDS PROPERTIES  
4555 MANSELL ROAD  
SUITE 200  
ALPHARETTA, GEORGIA 30022  
PHONE: 678.252.1500  
FAX: 678.252.1510

ELECTRICAL ENGINEER:  
PHILLIPS ENGINEERING GROUP, PC  
500 SUGARMILL ROAD  
BUILDING A, SUITE 105  
ATLANTA, GEORGIA 30350  
PHONE: 770.650.9061  
FAX: 770.642.2410

**\*UD 6.04**

STREETSCAPE & PARKING PLAN FOR  
PEDESTRIAN BUSINESS OVERLAY DISTRICT  
REVISED APRIL 17, 2003



THE PRESTON PARTNERSHIP, LLC

# CAMERON VILLAGE

RALEIGH, NORTH CAROLINA

CRESCENT RESOURCES, LLC  
DEVELOPER

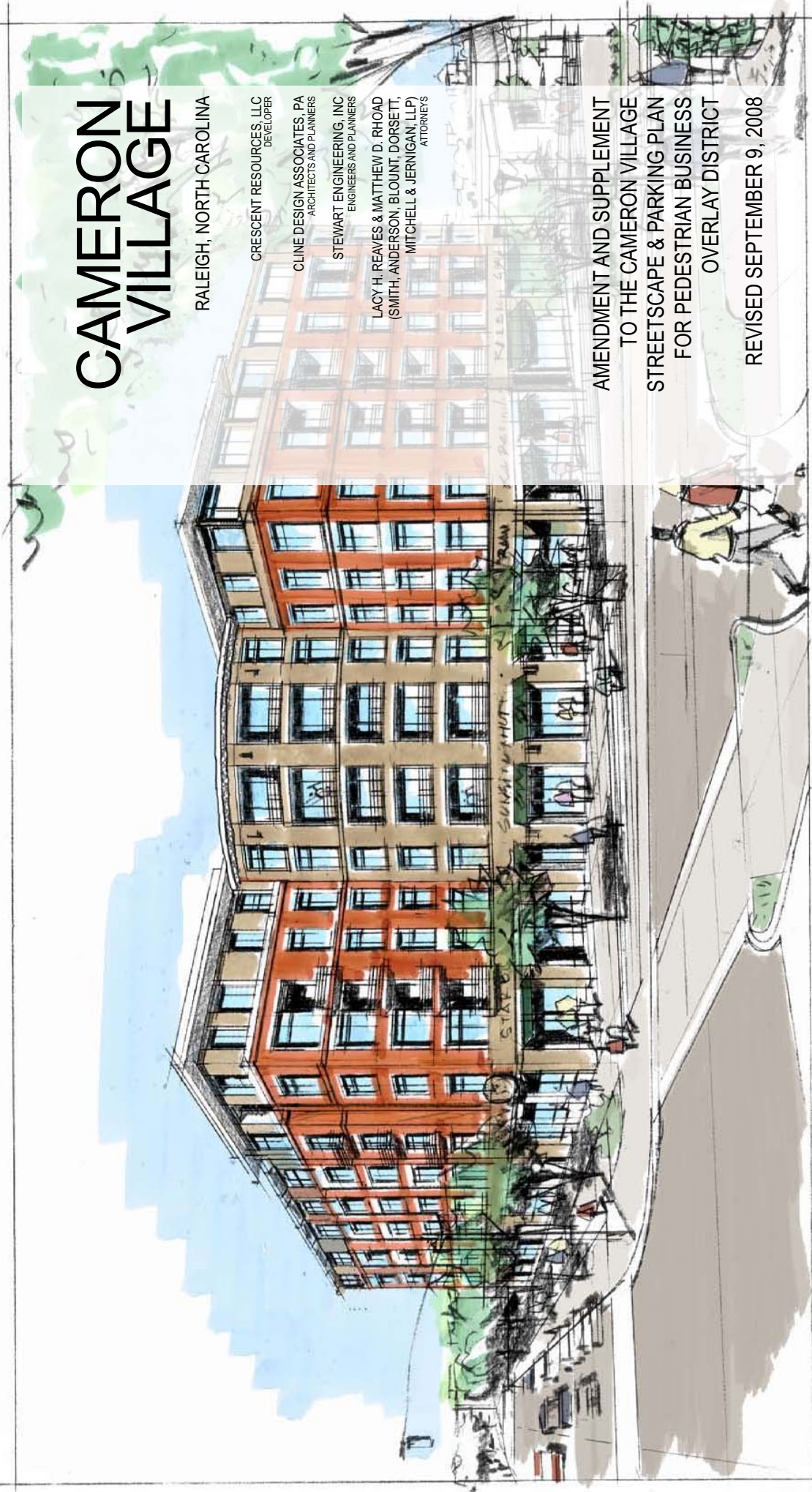
CLINE DESIGN ASSOCIATES, PA  
ARCHITECTS AND PLANNERS

STEWART ENGINEERING, INC  
ENGINEERS AND PLANNERS

LACY H. REAVES & MATTHEW D. RHOD  
(SMITH, ANDERSON, BLOUNT, DORSETT,  
MITCHELL & JERNIGAN, LLP)  
ATTORNEYS

AMENDMENT AND SUPPLEMENT  
TO THE CAMERON VILLAGE  
STREETSCAPE & PARKING PLAN  
FOR PEDESTRIAN BUSINESS  
OVERLAY DISTRICT

REVISED SEPTEMBER 9, 2008





AMENDMENT AND SUPPLEMENT TO  
THE CAMERON VILLAGE STREETScape AND PARKING PLAN  
FOR PEDESTRIAN BUSINESS OVERLAY DISTRICT

September 9, 2008

The Cameron Village Streetscape and Parking Plan for Pedestrian Business Overlay District approved by the City Council in 1990 and amended in 2003 (the "Plan") is hereby amended and supplemented as follows:

(1) The first page of the Plan is amended by adding a paragraph 3 under the heading "Features," which shall read as follows:

3. A redevelopment of the Oberlin Road / Clark Avenue side of Block 2 (400 Oberlin Road, 410 Oberlin Road, and the Village Citgo (2120 Clark Avenue)) (referred to hereinafter as "Block 2A") by the removal of the existing buildings and other improvements and the construction of a mixed use building incorporating retail, residential, and office amenity elements and design features consistent with the remaining blocks of Cameron Village.

(2) The Table of Contents of the Plan is amended by adding the following references:

SE 3.02B Conceptual Site Elevation – Block 2A (Oberlin Road)  
SE 3.02C Conceptual Site Elevation – Block 2A (Clark Avenue)  
SE 3.02D Building Envelope – Block 2A

(3) The Table of Contents of the Plan is amended by replacing the references to SP 1.01 and SP 1.02 with SP 1.01 (revised) and SP 1.02 (revised), respectively.

(4) The following sheets, copies of which are attached hereto, are added to the Plan:

SE 3.02B Conceptual Site Elevation – Block 2A (Oberlin Road)  
SE 3.02C Conceptual Site Elevation – Block 2A (Clark Avenue)  
SE 3.02D Building Envelope – Block 2A

(5) Existing sheet SP 1.01, entitled "Illustrative Site Plan," is deleted from the Plan and sheet SP 1.01 (revised), a copy of which is attached hereto, is inserted in lieu thereof.

(6) Existing sheet SP 1.02, entitled "Parking Plan," is deleted from the Plan and sheet SP 1.02 (revised), a copy of which is attached hereto, is inserted in lieu thereof.

(7) Existing sheet UD 6.01, entitled "Unity of Development Application" is amended to include Block 2A among the blocks of Cameron Village Shopping Center listed following the heading "Development Name."

(8) With respect to Block 2A, the New Tree Planting Plan (SP 1.03) and the Sketched Sidewalk Sections (SD 2.05) shall be amended and approved at the time of Site Plan Approval.

(9) Any building constructed upon Block 2A greater fifty (50) feet in height shall be subject to City Council site plan approval.

(10) With respect to any building constructed upon Block 2A, the face of the base of the building, level 1, shall be finished with oversized masonry (tan, natural stone, or gray in color) with a cornice element of cast stone or brick. The face of the mid-portion of the building, levels 2-5, shall be finished with a combination of red-brown and/or gray brick with a transition element of cast stone or brick. Level 6 of the building, shall be finished with a combination of red-brown and/or gray brick and Hardie Panel with a parapet of adequate height to screen the rooftop equipment and other roof elements from adjacent streets. The minimum glazing on the exterior faces of the building shall be 37%. At the base of the building, level 1, all entrances facing Clark Avenue, Oberlin Road or Cameron Street shall be covered with a combination of cloth and metal canopies, of various colors, shapes and forms. Detailed building elevations shall be included with documents submitted for site plan approval.

In all other aspects, the Plan is ratified and affirmed.

# CAMERON VILLAGE

RALEIGH, NORTH CAROLINA

DEVELOPER  
CRESCENT RESOURCES, LLC  
400 SOUTH TRYON STREET  
SUITE 1300  
CHARLOTTE, NORTH CAROLINA 28285  
PHONE: 980.321.6244  
FAX: 980.321.6240

ARCHITECT  
CLINE DESIGN ASSOCIATES, PA  
125 NORTH HARRINGTON ST.  
RALEIGH, NORTH CAROLINA 27603  
PHONE: 919.833.6413  
FAX: 919.836.1280

LANDSCAPE ARCHITECT  
CLINE DESIGN ASSOCIATES, PA  
125 NORTH HARRINGTON ST.  
RALEIGH, NORTH CAROLINA 27603  
PHONE: 919.833.6413  
FAX: 919.836.1280

ENGINEER  
STEWART ENGINEERING, INC  
427 FAYETTEVILLE STREET  
SUITE 400  
RALEIGH, NORTH CAROLINA 27601  
PHONE: 919.380.8750  
FAX: 919.380.8752

ATTORNEYS  
SMITH, ANDERSON, BLOUNT, DORSETT,  
MITCHELL & JERGIN, LLP  
2500 WACHOVIA CAPITOL CENTER  
FAYETTEVILLE, NORTH CAROLINA 27802  
PHONE: 919.821.6704  
FAX: 919.821.6800

STREETScape & PARKING PLAN FOR  
PEDESTRIAN BUSINESS OVERLAY DISTRICT  
REVISED SEPTEMBER 9, 2008



# CAMERON VILLAGE

RALEIGH, NORTH CAROLINA

DEVELOPER  
CRESCENT RESOURCES, LLC  
400 SOUTH TRYON STREET  
CHARLOTTE, NORTH CAROLINA 28285

PHONE: 980.321.6234  
FAX: 980.321.6240

ARCHITECT  
CLINE DESIGN ASSOCIATES, PA  
125 NORTH HARRINGTON ST.  
RALEIGH, NORTH CAROLINA 27603

PHONE: 919.833.6413  
FAX: 919.836.1280

LANDSCAPE ARCHITECT  
CLINE DESIGN ASSOCIATES, PA  
125 NORTH HARRINGTON ST.  
RALEIGH, NORTH CAROLINA 27603

PHONE: 919.833.6413  
FAX: 919.836.1280

ENGINEER  
STEWART ENGINEERING, INC  
427 FAYETTEVILLE STREET  
SUITE 400  
RALEIGH, NORTH CAROLINA 27801

PHONE: 919.380.8750  
FAX: 919.380.8752

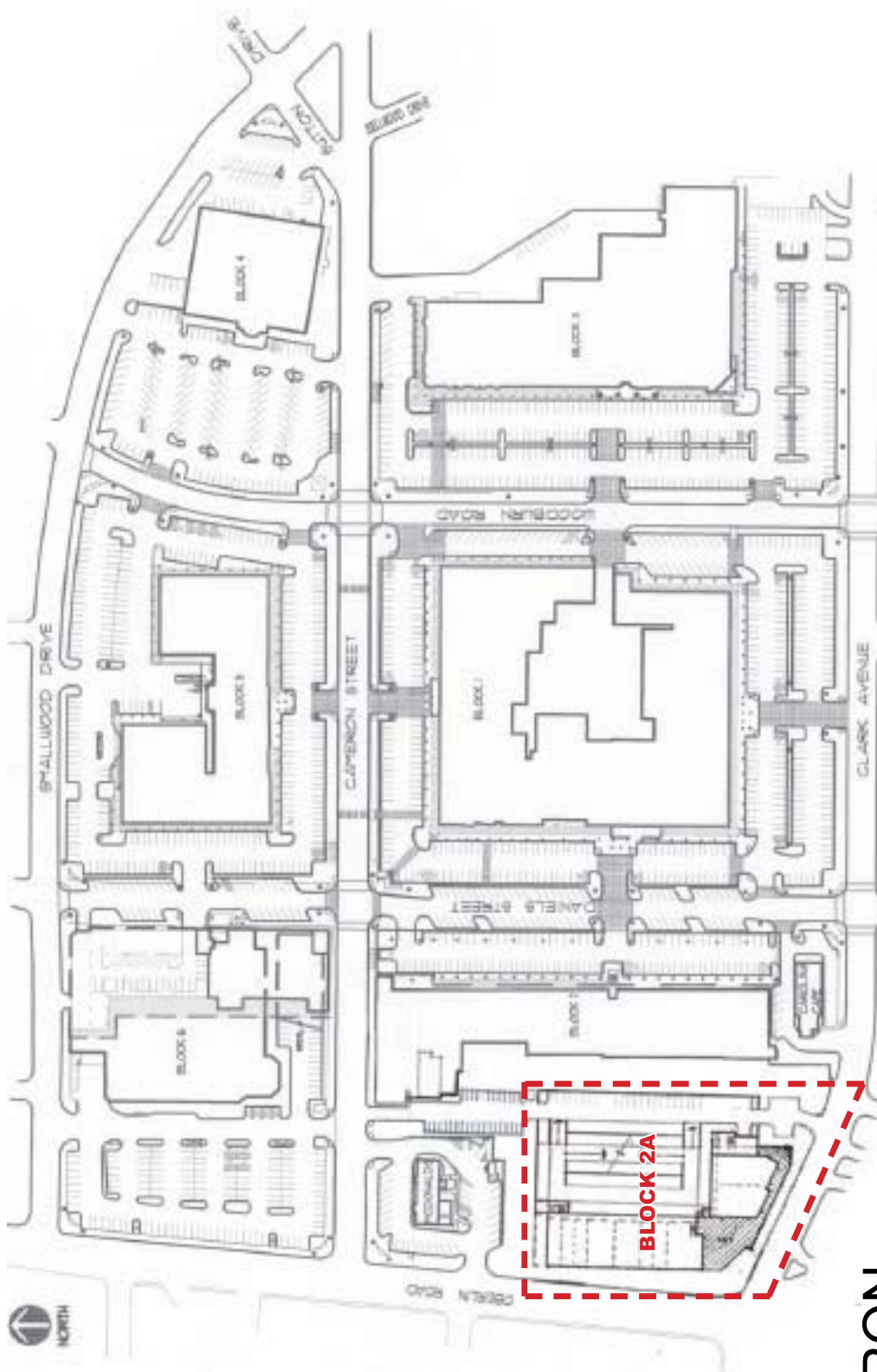
ATTORNEYS  
SMITH, ANDERSON, BLOUNT, DORSETT,  
MITCHELL & JERNIGAN, LLP  
2500 WACHOVIA CAPITOL CENTER  
RALEIGH, NORTH CAROLINA 27602

PHONE: 919.821.6704  
FAX: 919.821.6800

## ILLUSTRATIVE SITE PLAN

**SP1.01 (revised)**  
STREETSCAPE & PARKING PLAN FOR  
PEDESTRIAN BUSINESS OVERLAY DISTRICT  
REVISED SEPTEMBER 9, 2008





# CAMERON VILLAGE

RALEIGH, NORTH CAROLINA

## PARKING PLAN

The minimum number of parking spaces provided within Block 2A will be in accordance with the City Code. All parking within block 2A shall be within a parking structure and shall be below the grade of Oberlin Road. Parking will be screened on the facades of the building facing Clark Avenue, Oberlin Road, and Cameron Street.

**DEVELOPER**  
 CRESCENT RESOURCES, LLC  
 400 SOUTH TRYON STREET  
 CHARLOTTE, NORTH CAROLINA 28285  
 PHONE: 980.321.6224  
 FAX: 980.321.6240

**ARCHITECT**  
 CLINE DESIGN ASSOCIATES, PA  
 125 NORTH HARRINGTON ST.  
 RALEIGH, NORTH CAROLINA 27603  
 PHONE: 919.833.6413  
 FAX: 919.836.1280

**LANDSCAPE ARCHITECT**  
 CLINE DESIGN ASSOCIATES, PA  
 125 NORTH HARRINGTON ST.  
 RALEIGH, NORTH CAROLINA 27603  
 PHONE: 919.833.6413  
 FAX: 919.836.1280

**ENGINEER**  
 STEWART ENGINEERING, INC  
 427 FAYETTEVILLE STREET  
 SUITE 400  
 RALEIGH, NORTH CAROLINA 27601  
 PHONE: 919.380.8750  
 FAX: 919.380.8752

**ATTORNEYS**  
 SMITH, ANDERSON, BLOUNT, DORSETT,  
 MITCHELL & JERGINAN, LLP  
 2500 WACHOVIA CAPITOL CENTER  
 RALEIGH, NORTH CAROLINA 27602  
 PHONE: 919.821.6704  
 FAX: 919.821.6800

**SP1.02 (revised)**  
 STREETScape & PARKING PLAN FOR  
 PEDESTRIAN BUSINESS OVERLAY DISTRICT  
 REVISED SEPTEMBER 9, 2008







# CAMERON VILLAGE

RALEIGH, NORTH CAROLINA

## CONCEPTUAL SITE ELEVATION - BLOCK 2A (OBERLIN ROAD)

\*Building Elevations shown are conceptual only and subject to change

**\*SE3.02B**  
 STREETSCAPE & PARKING PLAN FOR  
 PEDESTRIAN BUSINESS OVERLAY DISTRICT  
 REVISED SEPTEMBER 9, 2008

**DEVELOPER**  
 CRESCENT RESOURCES, LLC  
 400 SOUTH TRYON STREET  
 CHARLOTTE, NORTH CAROLINA 28285  
 PHONE: 980.321.6224  
 FAX: 980.321.6240

**ARCHITECT**  
 CLINE DESIGN ASSOCIATES, PA  
 125 NORTH HARRINGTON ST.  
 RALEIGH, NORTH CAROLINA 27603  
 PHONE: 919.833.6413  
 FAX: 919.836.1280

**LANDSCAPE ARCHITECT**  
 CLINE DESIGN ASSOCIATES, PA  
 125 NORTH HARRINGTON ST.  
 RALEIGH, NORTH CAROLINA 27603  
 PHONE: 919.833.6413  
 FAX: 919.836.1280

**ENGINEER**  
 STEWART ENGINEERING, INC  
 427 FAYETTEVILLE STREET  
 SUITE 400  
 RALEIGH, NORTH CAROLINA 27801  
 PHONE: 919.380.8750  
 FAX: 919.380.8752

**ATTORNEYS**  
 SMITH, ANDERSON, BLOUNT, DORSETT,  
 MITCHELL & JERNIGAN, LLP  
 2500 WACHOVIA CAPITOL CENTER  
 FOLEY, NORTH CAROLINA 27602  
 PHONE: 919.821.6704  
 FAX: 919.821.6800

The average setback of the face of the building along the right-of-way of Oberlin Road shall be a minimum of twenty-two (22) feet from such right-of-way (excluding any terrace structure). The minimum setback of the face of the building along the right-of-way of Oberlin Road shall be fifteen (15) feet from such right-of-way. No building on Block 2A shall exceed six (6) stories (excluding parking deck levels, which shall be below the grade of Oberlin Road) and eighty (80) feet in height as determined from the right-of-way of Oberlin Road. The overall maximum building height shall not exceed ninety (90) feet as determined pursuant to section 10-2076 of the Raleigh City Code, which calculates maximum building height based upon the average natural ground elevation adjoining the building.







# CAMERON VILLAGE

RALEIGH, NORTH CAROLINA

The average setback of the face of the building along the right-of-way of Clark Avenue shall be a minimum of forty-five (45) feet from such right-of-way (excluding any terrace structure). The minimum setback of the face of the building along the right-of-way of Clark Avenue shall be fifteen (15) feet from such right-of-way. No building on Block 2A shall exceed six (6) stories (excluding parking deck levels) and ninety (90) feet in height as determined from the average grade of the right-of-way of Clark Avenue. The overall maximum building height shall not exceed ninety (90) feet as determined pursuant to section 10-2076 of the Raleigh City Code, which calculates maximum building height based upon the average natural ground elevation adjoining the building.

\*Building Elevations shown are conceptual only and subject to change

CONCEPTUAL SITE ELEVATION - BLOCK 2A (CLARK AVENUE)

DEVELOPER  
CRESCENT RESOURCES, LLC  
400 SOUTH TRYON STREET  
CHARLOTTE, NORTH CAROLINA 28285  
PHONE: 980.321.6224  
FAX: 980.321.6240

ARCHITECT  
CLINE DESIGN ASSOCIATES, PA  
125 NORTH HARRINGTON ST.  
RALEIGH, NORTH CAROLINA 27603  
PHONE: 919.833.6413  
FAX: 919.836.1280

LANDSCAPE ARCHITECT  
CLINE DESIGN ASSOCIATES, PA  
125 NORTH HARRINGTON ST.  
RALEIGH, NORTH CAROLINA 27603  
PHONE: 919.833.6413  
FAX: 919.836.1280

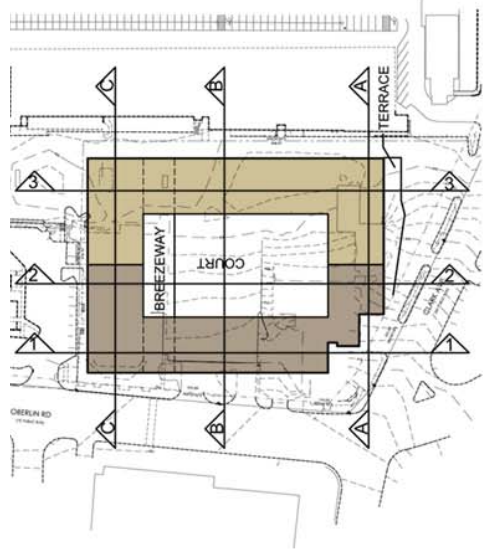
ENGINEER  
STEWART ENGINEERING, INC  
427 FAYETTEVILLE STREET  
SUITE 400  
RALEIGH, NORTH CAROLINA 27601  
PHONE: 919.380.8750  
FAX: 919.380.8752

ATTORNEYS  
SMITH, ANDERSON, BLOUNT, DORSETT,  
MITCHELL & JERNIGAN, LLP  
2500 WACHOVIA CAPITOL CENTER  
RALEIGH, NORTH CAROLINA 27602  
PHONE: 919.821.6704  
FAX: 919.821.6800

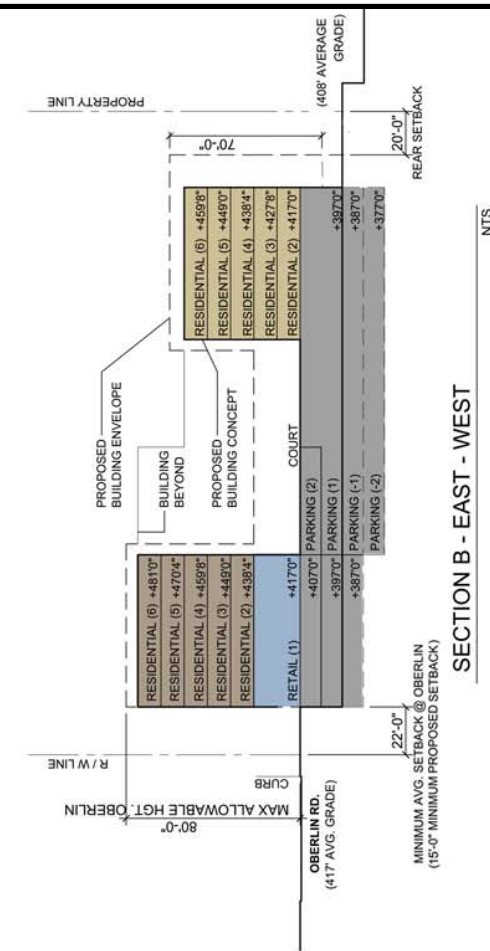
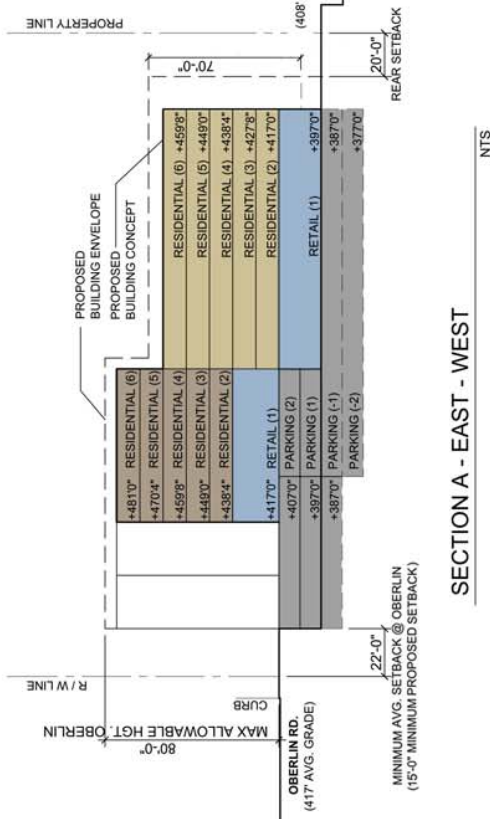
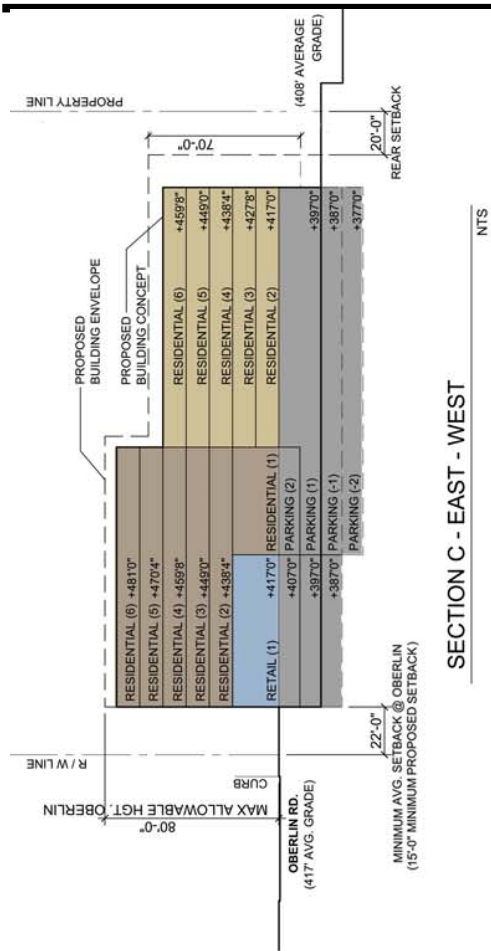
**\*SE3.02C**

STREETSCAPE & PARKING PLAN FOR  
PEDESTRIAN BUSINESS OVERLAY DISTRICT  
REVISED SEPTEMBER 9, 2008





PLAN VIEW  
NTS



# CAMERON VILLAGE

\*Any building constructed upon Block 2A shall have the general design, layout and massing shown above

The overall maximum building height shall not exceed ninety (90) feet as determined pursuant to section 10-2076 of the Raleigh City Code, which calculates maximum building height based upon the average natural ground elevation adjoining the building.

RALEIGH, NORTH CAROLINA

**BUILDING ENVELOPE - BLOCK 2A**

**\*SE3.02D - Page 1**

STREETScape & PARKING PLAN FOR PEDESTRIAN BUSINESS OVERLAY DISTRICT

REVISED SEPTEMBER 9, 2008

DEVELOPER  
CRESCENT RESOURCES, LLC  
400 SOUTH TRYON STREET  
CHARLOTTE, NORTH CAROLINA 28285

PHONE: 980.321.6244  
FAX: 980.321.6240

ARCHITECT  
CLINE DESIGN ASSOCIATES, PA  
125 NORTH HARRINGTON ST.  
RALEIGH, NORTH CAROLINA 27603

PHONE: 919.833.6413  
FAX: 919.836.1280

LANDSCAPE ARCHITECT  
CLINE DESIGN ASSOCIATES, PA  
125 NORTH HARRINGTON ST.  
RALEIGH, NORTH CAROLINA 27603

PHONE: 919.833.6413  
FAX: 919.836.1280

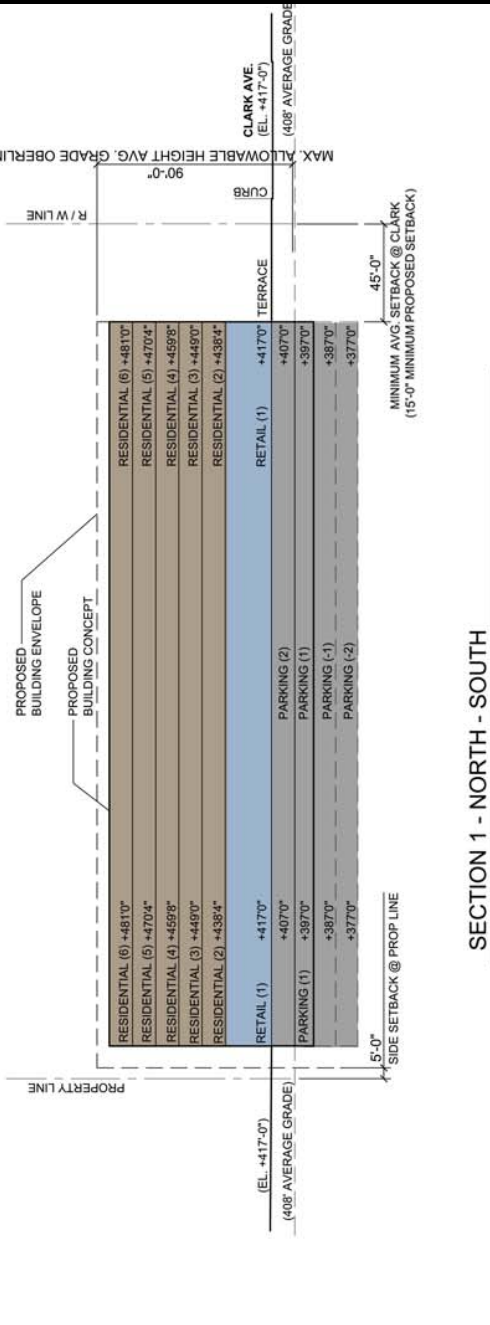
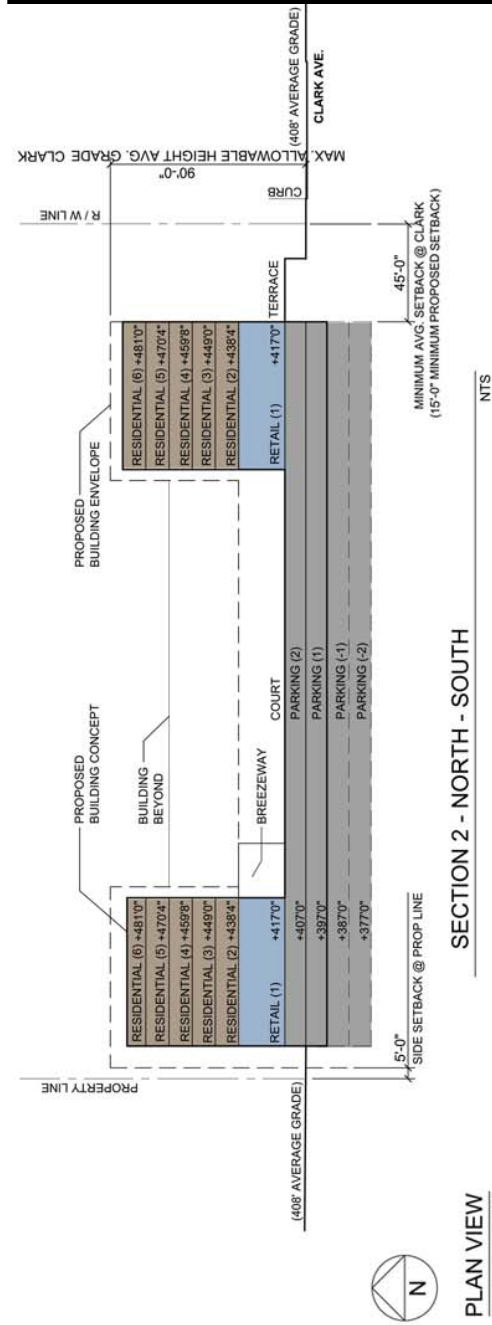
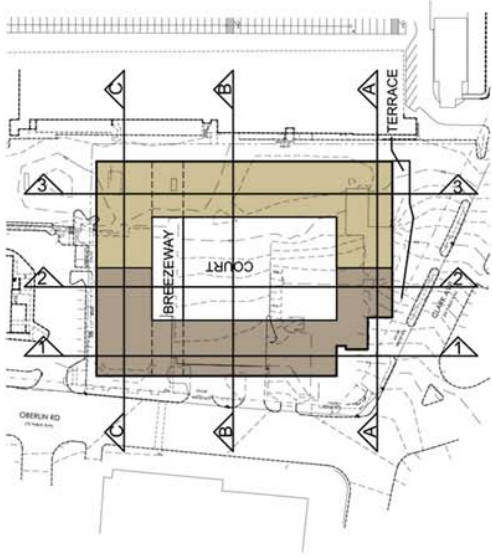
ENGINEER  
STEWART ENGINEERING, INC  
427 FAYETTEVILLE STREET  
SUITE 400  
RALEIGH, NORTH CAROLINA 27601

PHONE: 919.380.8750  
FAX: 919.380.8752

ATTORNEYS  
SMITH, ANDERSON, BLOUNT, DORSETT,  
MITCHELL & JERIGAN, LLP  
2500 WACHOVIA CAPITOL CENTER  
FALEIGH, NORTH CAROLINA 27602

PHONE: 919.821.6704  
FAX: 919.821.6800





# CAMERON VILLAGE

RALEIGH, NORTH CAROLINA

\*Any building constructed upon Block 2A shall have the general design, layout and massing shown above  
The overall maximum building height shall not exceed ninety (90) feet as determined pursuant to section 10-2076 of the Raleigh City Code, which calculates maximum building height based upon the average natural ground elevation adjoining the building.

DEVELOPER: CRESCENT RESOURCES, LLC  
400 SOUTH TRYON STREET  
SUITE 1300  
CHARLOTTE, NORTH CAROLINA 28285  
PHONE: 980.321.6240  
FAX: 980.321.6240

ARCHITECT: CLINE DESIGN ASSOCIATES, PA  
125 NORTH HARRINGTON ST.  
RALEIGH, NORTH CAROLINA 27603  
PHONE: 919.833.6413  
FAX: 919.836.1280

LANDSCAPE ARCHITECT: CLINE DESIGN ASSOCIATES, PA  
125 NORTH HARRINGTON ST.  
RALEIGH, NORTH CAROLINA 27603  
PHONE: 919.833.6413  
FAX: 919.836.1280

ENGINEER: STEWART ENGINEERING, INC  
427 FAYETTEVILLE STREET  
SUITE 400  
RALEIGH, NORTH CAROLINA 27601  
PHONE: 919.380.8750  
FAX: 919.380.8752

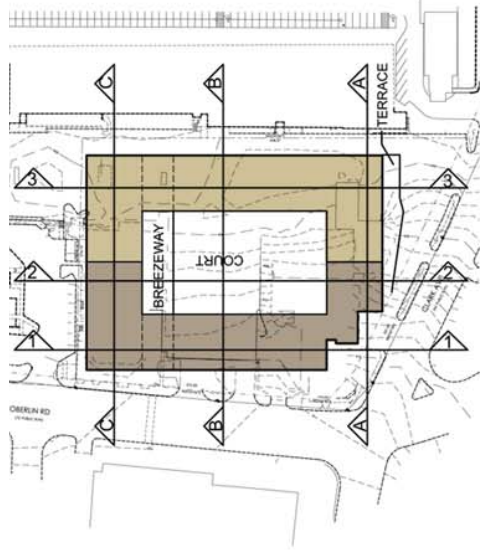
ATTORNEYS: SMITH, ANDERSON, BLOUNT, DORSETT,  
MITCHELL & JERNIGAN, LLP  
2500 WACHOVIA CAPITOL CENTER  
RALEIGH, NORTH CAROLINA 27602  
PHONE: 919.821.6704  
FAX: 919.821.6800

## BUILDING ENVELOPE - BLOCK 2A

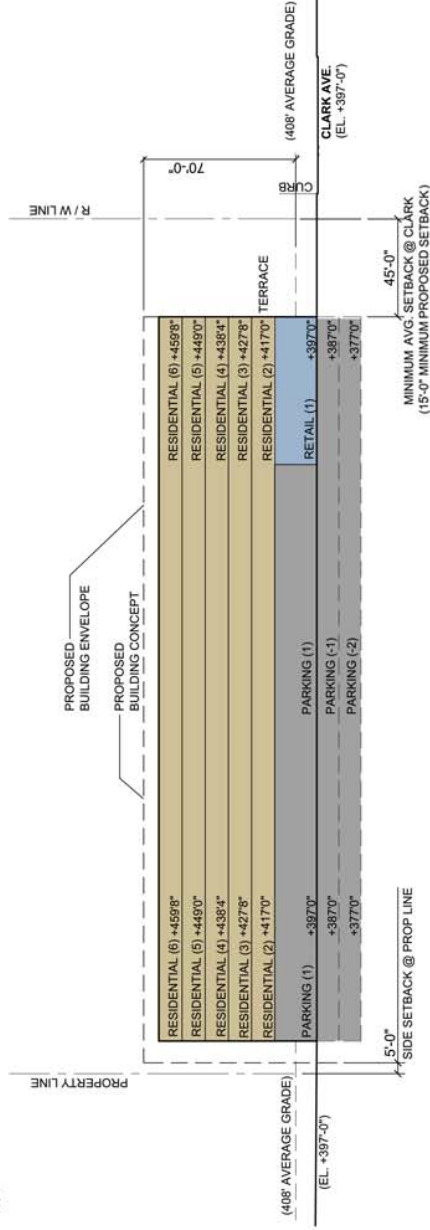
# \*SE3.02D - Page 2

STREETSCAPE & PARKING PLAN FOR  
PEDESTRIAN BUSINESS OVERLAY DISTRICT  
REVISED SEPTEMBER 9, 2008





PLAN VIEW  
NTS



SECTION 3 - NORTH - SOUTH  
NTS

\*Any building constructed upon Block 2A shall have the general design, layout and massing shown above

The overall maximum building height shall not exceed ninety (90) feet as determined pursuant to section 10-2076 of the Raleigh City Code, which calculates maximum building height based upon the average natural ground elevation adjoining the building.

# CAMERON VILLAGE

RALEIGH, NORTH CAROLINA

DEVELOPER  
CRESCENT RESOURCES, LLC  
400 SOUTH TRYON STREET  
SUITE 1300  
CHARLOTTE, NORTH CAROLINA 28285  
PHONE: 980.321.6244  
FAX: 980.321.6240

ARCHITECT  
CLINE DESIGN ASSOCIATES, PA  
125 NORTH HARRINGTON ST.  
RALEIGH, NORTH CAROLINA 27603  
PHONE: 919.833.6413  
FAX: 919.836.1280

LANDSCAPE ARCHITECT  
CLINE DESIGN ASSOCIATES, PA  
125 NORTH HARRINGTON ST.  
RALEIGH, NORTH CAROLINA 27603  
PHONE: 919.833.6413  
FAX: 919.836.1280

ENGINEER  
STEWART ENGINEERING, INC  
427 FAYETTEVILLE STREET  
SUITE 400  
RALEIGH, NORTH CAROLINA 27601  
PHONE: 919.380.8750  
FAX: 919.380.8752

ATTORNEYS  
SMITH, ANDERSON, BLOUNT, DORSETT,  
MITCHELL & JERNIGAN, LLP  
2500 WACHOVIA CAPITOL CENTER  
RALEIGH, NORTH CAROLINA 27602  
PHONE: 919.821.6704  
FAX: 919.821.6800

## BUILDING ENVELOPE - BLOCK 2A

# \*SE3.02D - Page 3

STREETScape & PARKING PLAN FOR  
PEDESTRIAN BUSINESS OVERLAY DISTRICT  
REVISED SEPTEMBER 9, 2008



**APPENDIX 1**  
**VILLAGE DISTRICT COMMON SIGNAGE PLAN AMENDMENT**  
**ORDINANCE NO. (2024) 612**  
**SSP-1-23**  
**APPROVED ON MARCH 19, 2024**  
**EFFECTIVE DATE: MARCH 24, 2024**

**Introduction**

The Cameron Village Streetscape & Parking Plan for Pedestrian Business Overlay District, dated April 17, 2003 (the “2003 Streetscape Plan”), contained a Common Signage Plan depicted on Plan Sheets SG 4.01 through SG 4.06 (the “CSP”). On September 9, 2008, the 2003 Streetscape Plan was amended, but that amendment did not pertain to the Common Signage Plan (the “2008 Amendment”). On March 19, 2024, the City Council for the City of Raleigh approved an amendment to the CSP as outlined below. Through this amendment, the CSP is hereby renamed the Village District Common Signage Plan. Except as to the signage amendments outlined herein, the 2003 Streetscape Plan and the 2008 Amendment shall remain in full force and effect as previously adopted.

**General Information**

This Amendment to the Common Signage Plan shall apply to the following properties only:

<u>Property Addresses:</u>	<u>Property PIN:</u>	<u>Owner:</u>	<u>Deed Reference:</u>
2000 Cameron Street	1704132174	Columbia Village District LLC	11056/1785
2016 Cameron Street	1704035117	Columbia Village District LLC	11056/1785
2105 Cameron Street	1704023663	Columbia Village District LLC	11056/1785
416 Oberlin Road	1704020882	Columbia Village District LLC	11056/1785
400 Daniels Street	1704027651	Columbia Village District LLC	11056/1785
422 Woodburn Road	1704122660	Columbia Village District LLC	11056/1785

**Design Statement and History**

The Village District CSP has not been updated since 2003. After evaluating the current CSP and the City of Raleigh UDO signage criteria, we would like to tailor signage for The Village District that is more flexible and diverse than the current Village District CSP allows. For example, we would like to have the ability to reintroduce historic mid-century style signage once utilized at The Village District on a limited and Landlord only (not tenant) specified basis.

The Village District (formerly Cameron Village) is a unique historic property representing the post-Second World War building and economic growth that heralded an era of cultural shifts, unprecedented prosperity, and increased consumer consumption. This center and others that followed were designed to accommodate the increased reliance upon and exploding numbers of automobiles while simultaneously reflecting the trend of suburban growth as populations began to abandon traditional dense urban centers.

The Village District (Cameron Village) is the first shopping center (not a mall) to be built in North Carolina and widely believed to be the first in the Southeast. Planning began in 1947 and the first phase of the shopping center opened on November 17, 1949. The opening of the center began the urban flight of many Raleigh merchants from the traditional Raleigh downtown shopping district; Sears being one of the first major retailers to leave downtown Raleigh in favor of the newly developed Cameron Village shopping center.





Master Plan from "Cameron Village," a commercial brochure, c.1947 and an early architect's rendering.



"Cameron Village" was specifically designed to accommodate the post war increase in automobile use.

### **Amended Village District Common Signage Plan**

The following amendments to the exiting 2003 Village District common signage plan are as follows and shall be incorporated. These amendments provide for additional sign allocations within the Village District over and above what the current CSP allows. All other current CSP provisions not specifically amended herein shall remain in full force and effect.

#### **Tract Signs**

- Allow Tract Identification Signs for The Village District (The Village District currently utilizes 8 existing tract signs). Ground signs of medium and high-profile classification will **not** to be allowed.
- Low Profile Ground signs will only be allowed on a limited basis for tenants with a separate ground lease of at least 75,000 s.f.



Site Plan of The Village District: Stars note present location of all eight existing tract signs at the Village District.



This image demonstrates a historic precedent for High Profile Ground Signs at "Cameron Village". The Village District will **NOT** allow the use of ground signs of medium and high-profile classification.

### Wall Signs

Apply 2 s.f. of signage area per linear foot of street facing frontage (maximum 300 s.f. of signage area) equally to basement and second level tenant spaces. Each occupied level has representation of 2 s.f. per linear foot of street facing frontage to the maximum of 300 s.f. of signage area.

- Allow internally illuminated box letter signs for tenant logos and/or letters, with a maximum letter height limitation of 2'-0".

## **Roof Signs**

The UDO currently does not allow roof top signage. Roof top signage is currently prohibited at the Village District.

## **Projecting Signs**

- Allow projecting signage per current UDO standards.

## **Awning, Gallery, Marquee Signs**

- Basement level and second story level tenants shall be allowed 2 s.f. of signage area per linear foot of street facing frontage (maximum 300 s.f. of signage area)
- Maximum letter height shall be 2'-0"
- Internally illuminated box letter signs are permitted for tenant logos and/or letters.

## **Window Signs**

- Allow window signs per the Raleigh UDO criteria.

## **A-Frame Signs**

- Allow A-frame signs per the Raleigh UDO criteria.

## **Special Sign Types**

- Allow changeable copy signs per the Raleigh UDO on a limited basis.
- Changeable copy signs are limited to theaters and entertainment venues having regularly changing programs/ acts. Except changeable copy time and temperature signs, no changeable copy sign may change more than 4 times in any 24-hour period.

## **Digital Signs**

- Digital signs for advertising of any type are prohibited at The Village District.

## **Additional Materials Allowed**

- Exposed neon tubes: green, red, blue color- other colors as approved by landlord.
- Bare / mill finished metals.
- All other materials as allowed under the Raleigh UDO.





Contemporary neon letter signage: a similar aesthetic could be utilized at the Village District

### Additional Provisions

- The number of colors allowed per sign shall be as set forth in the Raleigh UDO.
- The landlord shall have the ability to evaluate and approve signage that is non-compliant within the Village District Common Signage Plan.
- In all other respects, except as amended herein, the 2003 CSP is ratified and affirmed, and shall remain in full force and effect.

### Signage Synopsis

CSP 2003	Y	Y (under canopy)	Y	Y (painted)	N.A.	N.A.	N.A.	N.A.	N	N	N.A.
UDO	Y	Y	Y	Y	N	N	N	N	N	N	Y
CSP 2023	Y	Y	Y	Y	Y	N	N	Y	N	N	Y
Sign Type	Wall	projecting	awning gallery marquee	window	ground low profile	ground med. profile	ground high profile	Tract I.D.	roof	over-parapet	changeable copy

Y= Yes

N= No

N.A.= Not Addressed